CITY OF ALBUQUERQUE

March 8, 2013

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: Rights Carlton Apartments Grading and Drainage Plan
Engineer's Stamp date 03-11-2013 (J-13/D094)

Dear Mr. Soule,

Based upon the information provided in your submittal received 03-01-2013, the above referenced plan is approved for Building and Grading Permit.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order.

To obtain a permanent Certificate of Occupancy, the sidewalk culvert in the City ROW must be inspected and accepted. Please contact Jason Rodriguez, 235-8016, to schedule an inspection.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Email

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: ***Rights Carlton Apartments*** ZONE MAP/DRG. FILE #: J13-D094

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: _____

CITY ADDRESS: _____

ENGINEERING FIRM:	Rio Grande Engineering	CONTACT:	David Soule, PE
ADDRESS:	PO Box 9394	PHONE:	(505)321-9099
CITY, STATE:	Alb	ZIP CODE:	87199
OWNER:	***Jane Carlton***	CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	95003
ARCHITECT:	***Robert Raynor***	CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
SURVEYOR:	Construction technologies	CONTACT:	John Gallegos
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

- ____ DRAINAGE REPORT
- ____ DRAINAGE PLAN 1st SUBMITTAL, ***REQUIRES TCL or equal***
- ____ DRAINAGE PLAN RESUBMITTAL
- ____ CONCEPTUAL GRADING & DRAINAGE PLAN
- x GRADING PLAN
- ____ EROSION CONTROL PLAN
- ____ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ____ CLOMR/LOMR
- ____ TRAFFIC CIRCULATION LAYOUT (TCL)
- ____ ENGINEERS CERTIFICATION (TCL)
- ____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ____ SIA / FINANACIAL GUARANTEE RELEASE
- ____ PRELIMINARY PLAT APPROVAL
- ____ S. DEV. PLAN FOR SUB'D. APPROVAL
- ____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ____ SECTOR PLAN APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
- x BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY (PERM.)
- ____ CERTIFICATE OF OCCUPANCY (TEMP.)
- x GRADING PERMIT APPROVAL
- ____ PAVING PERMIT APPROVAL
- ____ WORK ORDER APPROVAL
- ____ OTHER (SPECIFY)

RECEIVED
MAR 01 2013

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ____ YES
- x NO
- ____ COPY PROVIDED

DATE SUBMITTED: 3/1/2013 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of sumbittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans**: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report**: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

March 1, 2013

Mr. Shahab Biazar PE
Senior Engineer
Hydrology
City of Albuquerque

RE: Grading and Drainage Plan
Rights Carlton (J13/D094)

Dear Mr. Biazar:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project.

This plan has been modified to address your comments dated February 28, 2013. The following is a summary of your comments with the annotation as to how the plans were modified to address the comments.

1. Please provide reference of how western portion of roof calculated
   The drainage report didn't correspond to the hydraulic calculations within the report. The report has been corrected. The western roof discharges .64 cfs and the calculation is shown in appendix using the weighted E method. The combined flow meets the .77 cfs or 2.75 cfs per acre.
2. The letter refers to a 54"x 60' tank, hydraulic calculations show 66'.
   This tank size was increased to match the required flow and the letter was not update. The tank is 54"x 66'.
3. Adjusts the 4959.01 elevation should be raised so flow will exit drive.
   I have increased this elevation to 4959.59 to match the opposite site. The garage is at 4959 due to height restraints of building. The parking garage drains to the inlet in the middle. The parking garage will not discharge until the water surface raises to 5960.05.
4. Consider gravity drain.
   The parking lot sump drain has been modified so it is gravity drained to tank.

Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque. NM 87199
321-9099

DRAINAGE REPORT

For

Rights- Carlton Appartments
Lot 12-A, Block 54
NM Towncompany
206 tenth street NW
Albuquerque, New Mexico

Prepared by

Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

Updated
March 2013

David Soule P.E. No. 14522

TABLE OF CONTENTS

PURPOSE

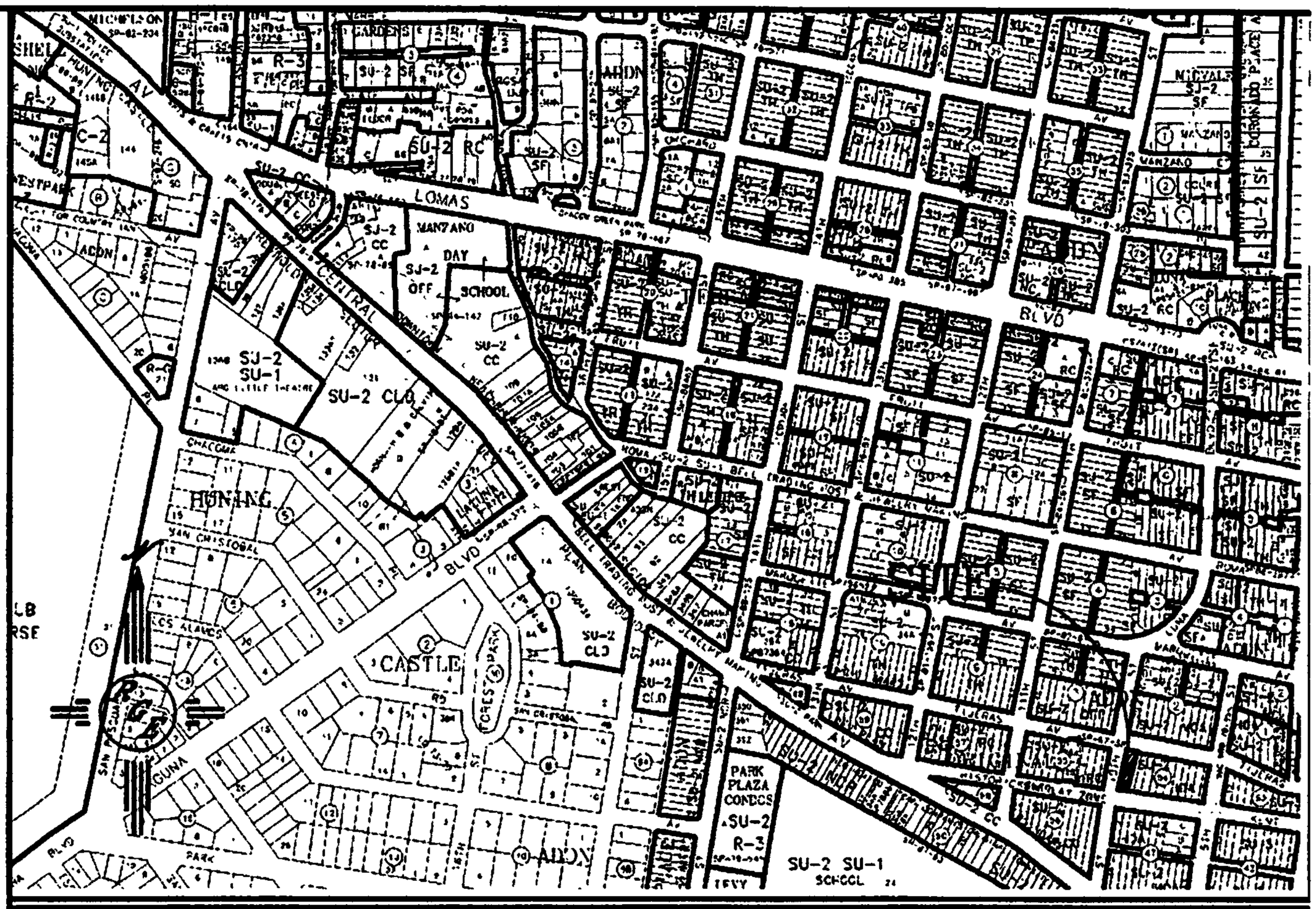
The purpose of this report is to provide the Drainage Management Plan for the redevelopment of an existing apartment complex located at 206 Tenth street northwest. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

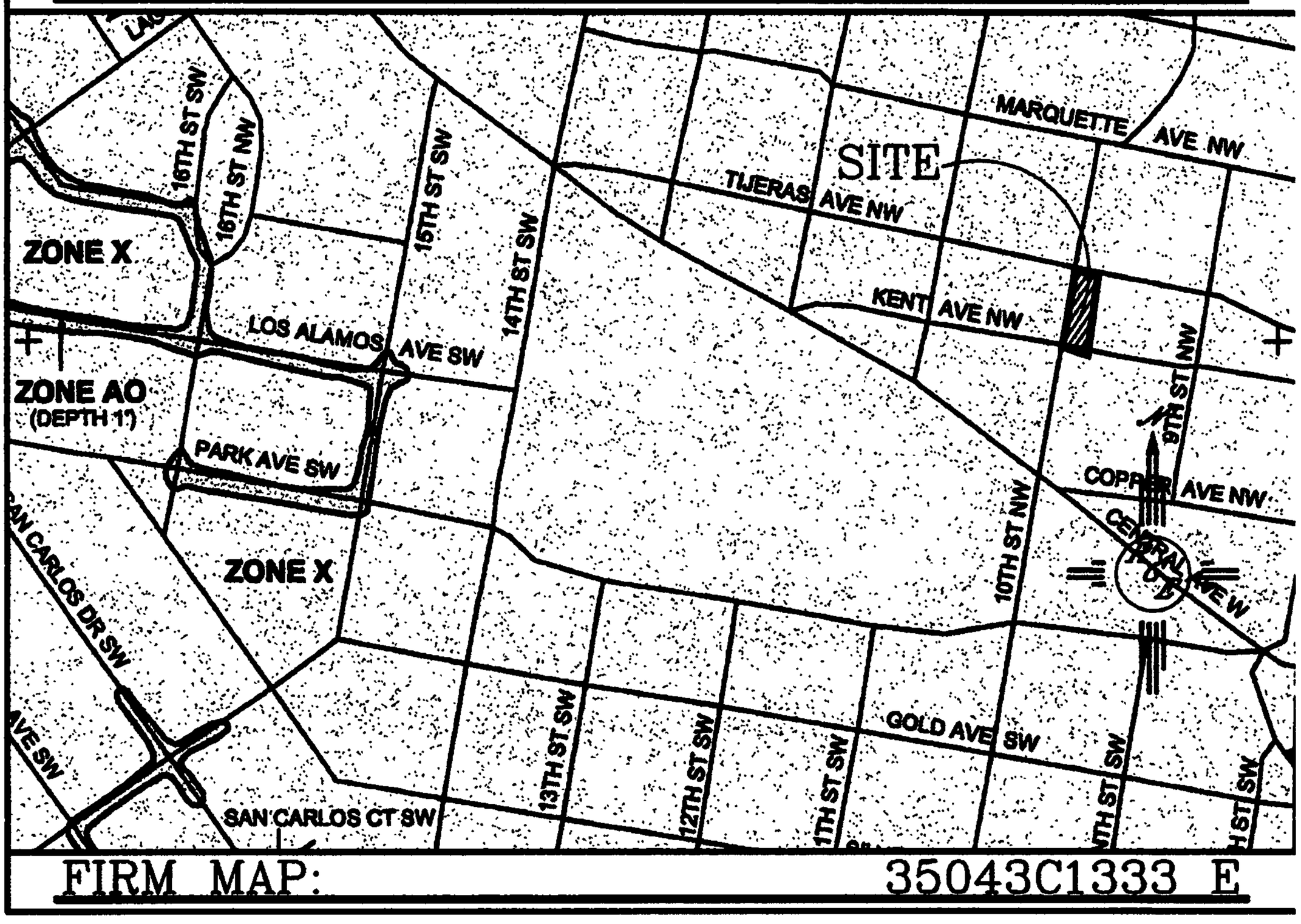
The subject of this report, as shown on the Exhibit A, is a .28-acre parcel of land located on the east side of tenth street between Tijeras and Kent Street The legal description of this site is Lot 12-A Block 54, New Mexico Town Company Original Town site. As shown on FIRM map35013C0133E, the entire site is located within Flood Zone X. Per the City of Albuquerque requirements for valley floor development, the proposed development must have a peak discharge of less than 2.75 cfs per acre or .77 cfs for this site.

EXISTING CONDITIONS

The site is currently developed as an existing complex of individual apartments. The site currently discharges 1.15 cfs directly to the adjacent right-of-way tenth street and to Kent. This flow is conveyed to an inlet located on Tenth Street adjacent to the site at Kent.



ZONE ATLAS: J-13-Z



FIRM MAP: 35043C1333 E

PROPOSED CONDITIONS

The proposed improvements consist of approximately 15,000 square feet multi story apartment complex. The ground floor is parking with the remaining floor above as apartments. Due to allowable building height restrictions, the parking level is depressed. The perimeter will be retaining and the vehicular access will have water block at the property line. The parking garage will have floor drains connected to a timed released holding tank Building has a ridge line running south to north. The western portion of the roof will discharge .64 cfs directly to the right of way. The eastern half will discharge 1041 cubic feet at a peak rate of .64 cfs to roof drains into a holding tank located adjacent to the site. The holding tank is sized to hold the entire flow. The tank will evacuate by a 1/3-1/2 hp sump pump at maximum rate of 58 gpm or 0.13 cfs. An example pump has been included in appendix. The tank will discharge at the face of the building to a sidewalk culvert on Kent Avenue. As shown the proposed redevelopment will decrease the existing discharge rate and match the 2.75 cfs per acre or .77 cfs required for valley floor development. In the event of mechanical failure, and greater storm volumes, the tank will overflow to the internal parking area. The site is a redevelopment and the surrounding infrastructure is functioning.

SUMMARY AND RECOMMENDATIONS

This project is a redevelopment of a currently developed site. The site is within a fully developed area. The site is not directly contributing to any adjacent flood plains. The site development will allow half the site to free discharge and the remaining to be captured by an underground storage tank that is pumped to the street. Since the effected area site encompasses less than 1/2 acre, a NPDES permit should not be required prior to any construction activity.

APPENDIX A

SITE HYDROLOGY

Weighted E Method

											100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
ALLOWED	12181.00	0.280											0.77
PROPOSED EAST BASIN	5890.00	0.135	0%	0	0%	0.000	0%	0	100%	0.135	2.120	0.024	0.64
PROPOSED WEST BASIN	6291.00	0.144	0%	0	7%	0.010	6%	0.00867	87%	0.126	1.967	0.024	0.64
Roof drain basin	10248.00	0.235	0%	0	0%	0.000	0%	0	100%	0.235	2.120	0.042	1.11

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm

Ea= 0.53 Qa= 1.56
Eb= 0.78 Qb= 2.28
Ec= 1.13 Qc= 3.14
Ed= 2.12 Qd= 4.7

FLOW RATE LEAVING SITE FROM ROOF 0.64 CFS
VOLUME TO BE CAPTURED WITH DELAYED RELEASE 0.02 AC-FT 1041 cubic feet
VOLUME OF 54" DIAMETER X 66' HOLDING TANK 1049 cubic feet

58gpm .002228gpm=1cfs
58gpm= =.13cfs

CITY OF ALBUQUERQUE

February 28, 2013

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: Rights Carlton Apartments Grading and Drainage Plan, 210 10th Street
Engineer's Stamp date 02-14-2013 (J-13/D094)

Dear Mr. Soule,

Based upon the information provided in your submittal received 02-19-2013, the above referenced plan cannot be approved for Building and Grading Permit until the following comments are addressed:

- Please provide a reference as to how the 0.71 cfs being discharged from the western portion of the roof was calculated; this flow when added to the 0.13 cfs from the sump pump equals a total of 0.84 cfs which surpasses the allowable flow of 0.77 cfs for the site.
- The letter accompanying the submitted plan states that a 54" x 60' HDPE tank will be utilized; the hydraulic calculations provided show a volume of 1049 cubic feet from a 54" x 66' tank.
- The 4959.01 elevation at the northwest corner of the parking garage should be raised above the adjacent elevation of 4959.28 so that flows will exit through the drive pad if water levels in the garage should rise.
- Consider using a gravity feed drain for the garage drain to the tank rather than pumping flows into the HDPE tank.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Email

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services

Richard J. Berry, Mayor

December 21, 2012

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: Rights Carlton Apartments Grading and Drainage Plan, 210 10th Street
Engineer's Stamp date 12-05-2012 (J-13/D094)

Dear Mr. Soule,

Based upon the information provided in your submittal received 12-11-12, the above referenced plan cannot be approved for Building and Grading Permit until the following comments are addressed:

1. This site is located in the valley floor area west of Broadway, hence redeveloped discharge shall be restricted to 2.75 cfs/acre; please show how this will be accomplished.
2. The proposed ponding in City Right-of-Way will not be permitted.
3. Roof discharge across the sidewalk will not be permitted.
4. The Water Utility Authority has determined that they will not allow connection to the sanitary sewer system for the proposed depressed parking area.
5. The legend should include symbols that are being used on the plan. Label all downspouts, walls, etc. Existing versus proposed spot elevations are unclear.
6. The drainage report for the project site will need to be revised to reflect the changes that are made to the proposed conditions.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you may contact me by telephone at 505-924-3695, or email at grolson@cabq.gov.

Sincerely,

12/21/12

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file J-13 D094
c.pdf Addressee via Email david@riograndeengineering.com

2-19-13

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

February 15, 2013

Mr. Shahab Biazar PE
Senior Engineer
Hydrology
City of Albuquerque

RE: Grading and Drainage Plan
Rights Carlton (J13/D094)

Dear Mr. Biazar:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your comments dated December 21, 2012. The following is a summary of your comments with the annotation as to how the plans were modified to address the comments.

1. The site is located on valley floor and limited to 2.75 cfs per acre

   The drainage concept has been modified. As shown in attached report the west half of roof and lot will free discharge to 10th street. At a flow rate of .71 cfs. The west site will be captured by an underground 54"x 60' HDPE tank. This tank is sized to contain the entire 100-year 6-hour event. The tank contains a sump pump operating at a peak discharge rate of 58 gpm or .13 cfs. In an event greater the tank will overflow to the underground garage. The allowable discharge rate of .77 cfs is not exceeded.

2. The proposed ponding in right of way is not allowed

   This has been eliminated.

3. Roof discharge across sidewalk not allowed

   The discharge from roof will pass under the sidewalks via sidewalk culverts

4. Parking garage can not drain to sanitary line

   We modified such that the parking area is pumped to the holding tank.

   Legend and labeling needs to be complete

   We feel we have added the information.

5. An updated Drainage report is required.

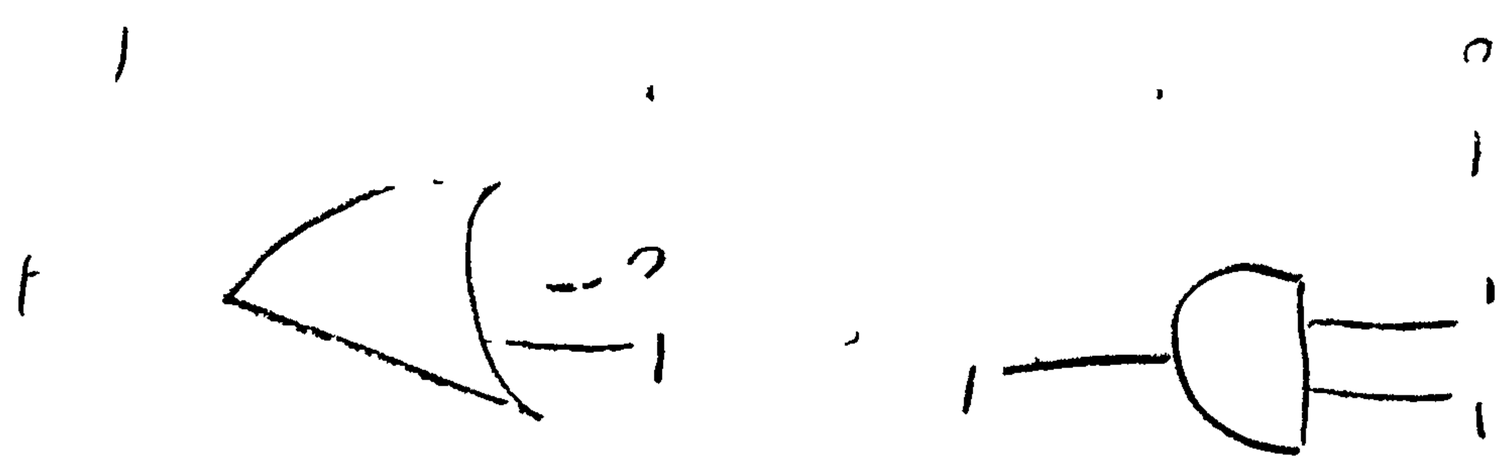
   An updated report is enclosed.

Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque. NM 87199
321-9099

2-19-13



DRAINAGE REPORT

For

Rights- Carlton Appartments
Lot 12-A, Block 54
NM Towncompany
206 tenth street NW
Albuquerque, New Mexico

Prepared by

Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

Updated
February 2013

David Soule P.E. No. 14522

Rec
2-19-13

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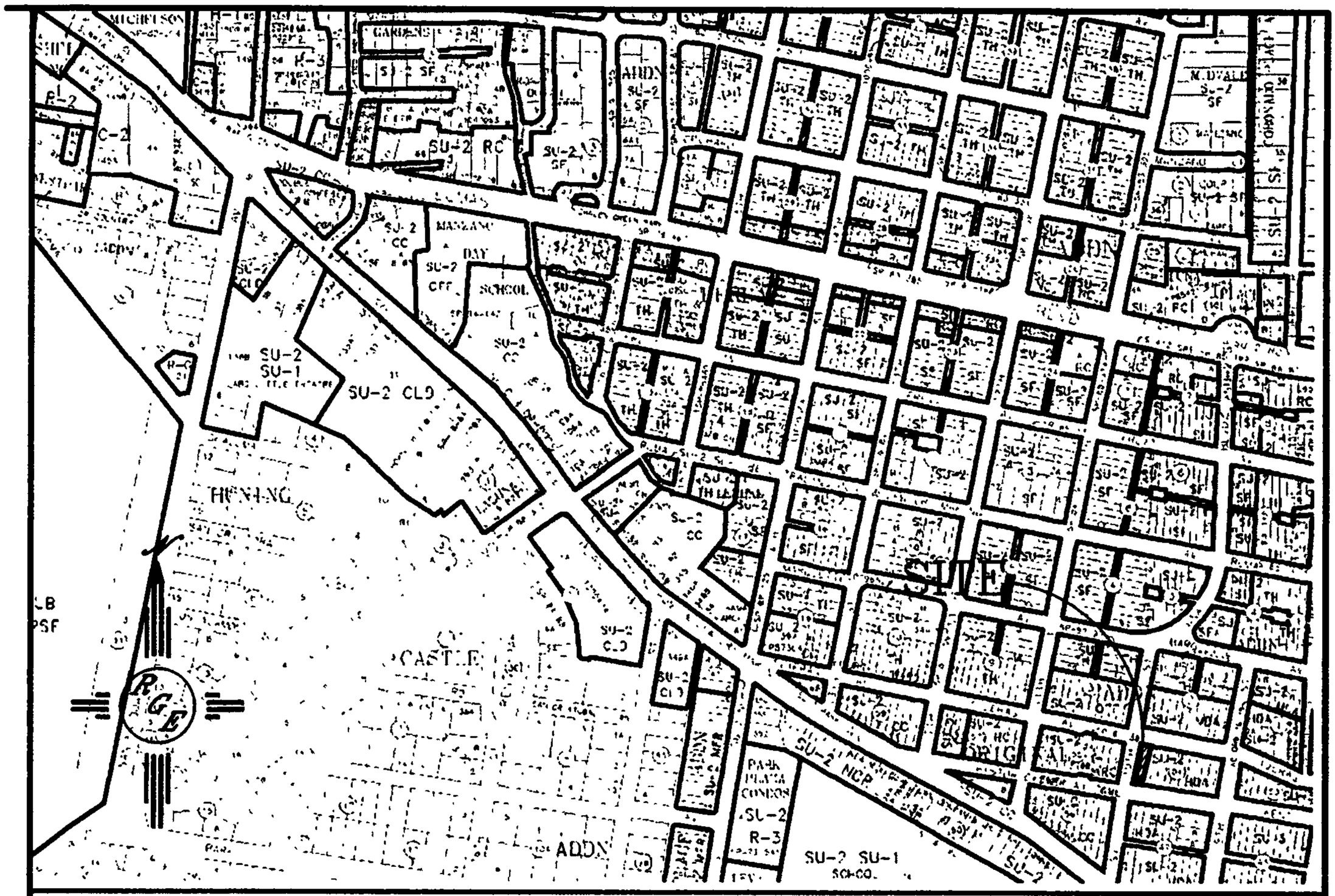
The subject of this report, as shown on the Exhibit A, is a .28-acre parcel of land located on the east side of tenth street between Tijeras and Kent Street The legal description of this site is Lot 12-A Block 54, New Mexico Town Company Original Town site. As shown on FIRM map35013C0133E, the entire site is located within Flood Zone X. Per the City of Albuquerque requirements for valley floor development, the proposed development must have a peak discharge of less than 2.75 cfs per acre or .77 cfs for this site. For C.I. - site combined

EXISTING CONDITIONS

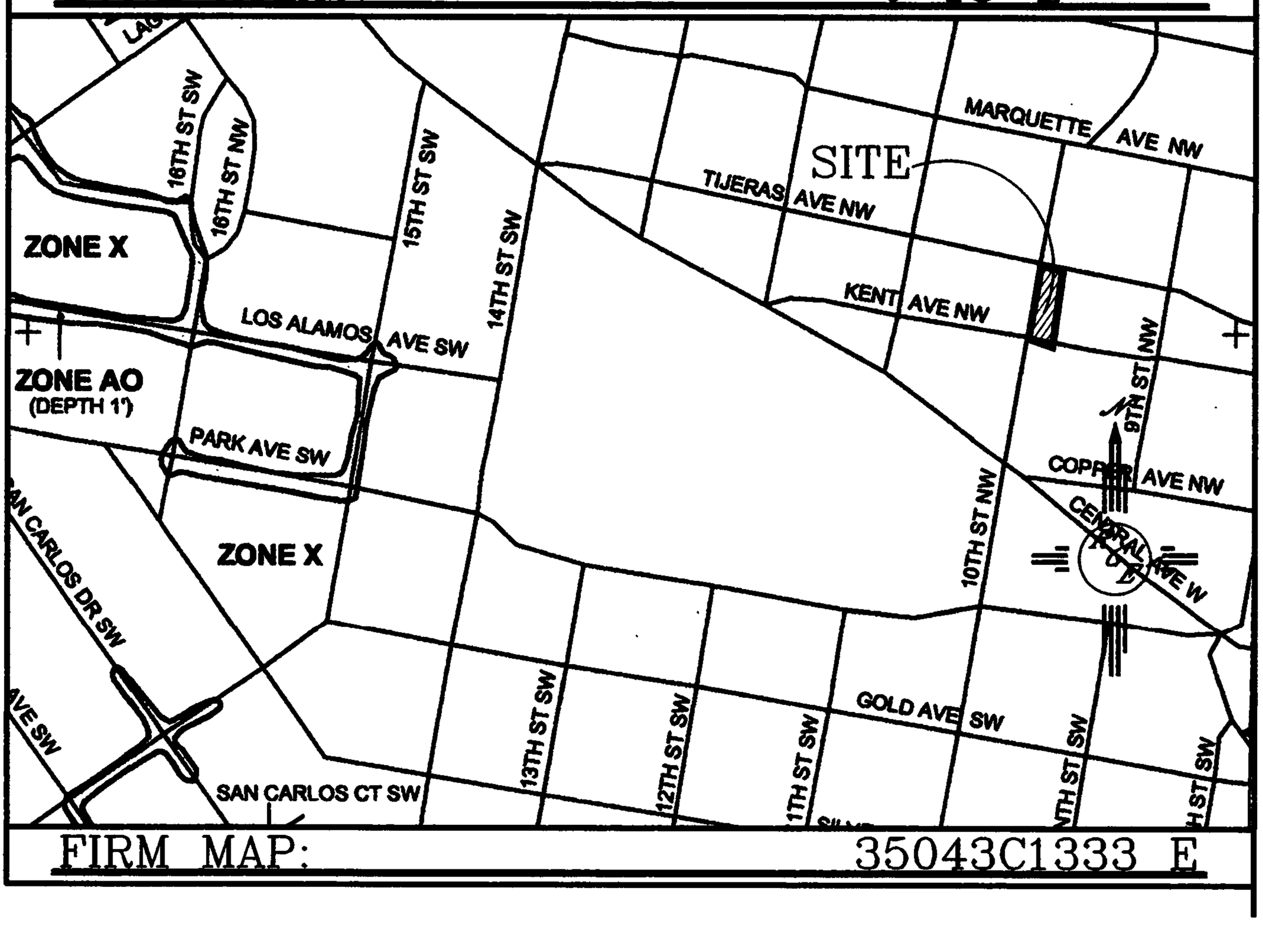
The site is currently developed as an existing complex of individual apartments. The site currently discharges 1.15 cfs directly to the adjacent right-of-way tenth street and to Kent. This flow is conveyed to an inlet located on Tenth Street adjacent to the site at Kent.

$\frac{2.75 \text{ cfs}}{\text{ac}} (X) \frac{24}{2} \text{ ac} = 0.33 \text{ cfs}$

allowed to be discharged from half the roof



ZONE ATLAS: J-13-Z



FIRM MAP: 35043C1333 E

PROPOSED CONDITIONS

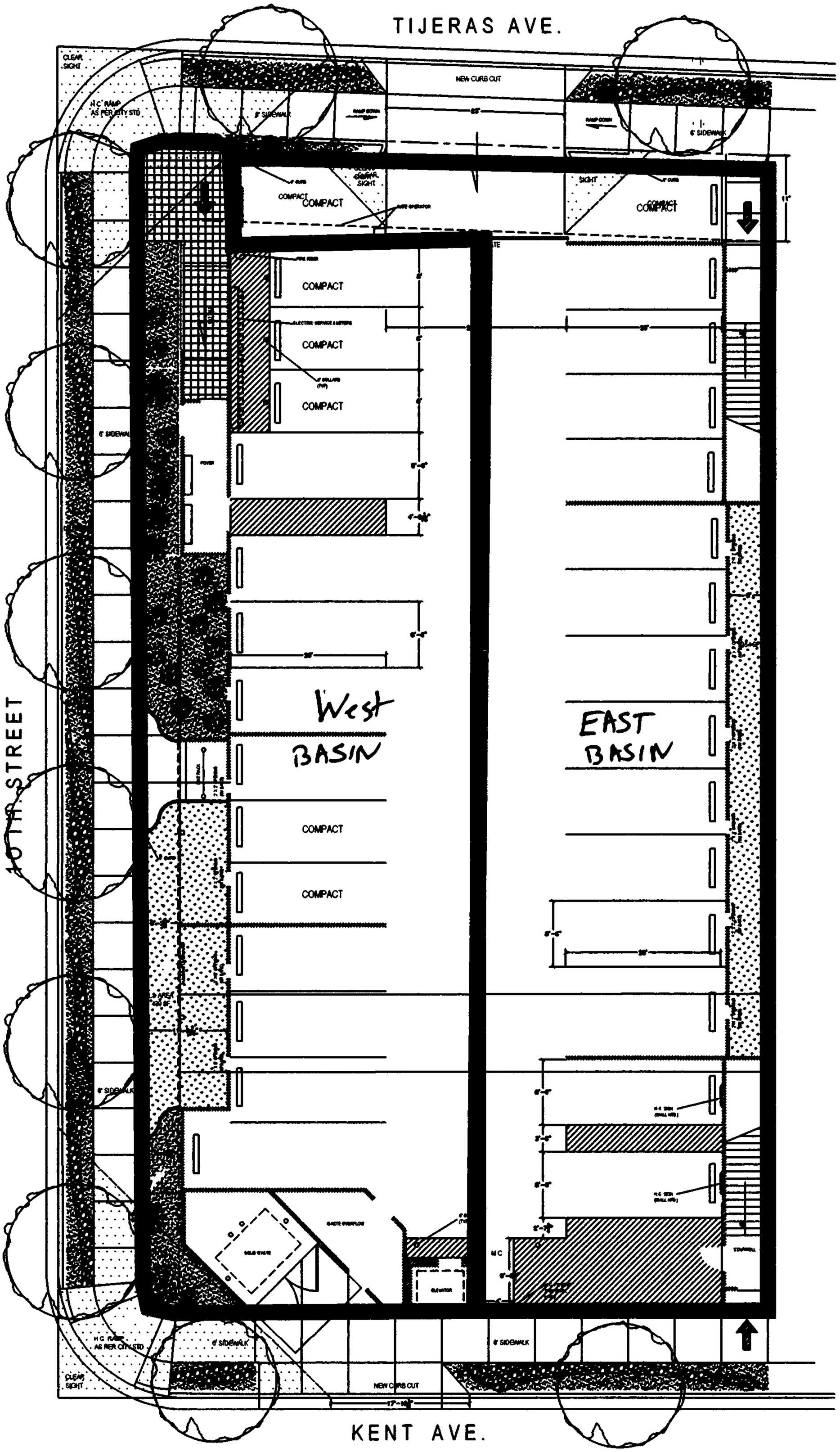
The proposed improvements consist of approximately 15,000 square feet multi story apartment complex. The ground floor is parking with the remaining floor above as apartments. Due to allowable building height restrictions, the parking level is depressed. The perimeter will be retaining and the vehicular access will have water block at the property line. The parking garage will have floor drains connected to a timed released holding tank Building has a ridge line running south to north. The western portion of the roof will discharge .71 cfs directly to the right of way. The eastern half will discharge 935 cubic feet at a peak rate of .55 cfs to roof drains into a holding tank located adjacent to the site. The holding tank is sized to hold the entire flow. The tank will evacuate by a 1/3-1/2 hp sump pump at maximum rate of 58 gpm or 0.13 cfs. An example pump has been included in appendix. The tank will discharge at the face of the building to a sidewalk culvert on Kent Avenue. As shown the proposed redevelopment will decrease the existing discharge rate and match the 2.75 cfs required for valley floor development. In the event of mechanical failure, and greater storm volumes, the tank will overflow to the internal parking area. The site is a redevelopment and the surrounding infrastructure is functioning.

SUMMARY AND RECOMMENDATIONS

This project is a redevelopment of a currently developed site. The site is within a fully developed area. The site is not directly contributing to any adjacent flood plains. The site development will allow half the site to free discharge and the remaining to be captured by an underground storage tank that is pumped to the street. Since the effected area site encompasses less than 1/2 acre, a NPDES permit should not be required prior to any construction activity.

APPENDIX A

SITE HYDROLOGY


TIJERAS AVE.
CLEAR SIGHT
H.C. RAMP AS PER CITY STD.
6' SIDEWALK
NEW CURB CUT
RAMP DOWN
6' SIDEWALK
SIGHT
COMPACT
COMPACT
COMPACT
COMPACT
COMPACT
6' SIDEWALK
10TH. STREET
West BASIN
EAST BASIN
COMPACT
COMPACT
6' SIDEWALK
H.C. SIGN (SMALL TYP.)
H.C. SIGN (SMALL TYP.)
M.C.
6' SIDEWALK
H.C. RAMP AS PER CITY STD.
6' SIDEWALK
6' SIDEWALK
CLEAR SIGHT
NEW CURB CUT
KENT AVE.

Weighted E Method

											100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
ALLOWED	12181.00	0.280											0.77
PROPOSED EAST BASIN	5890.00	0.135	0%	0	0%	0.000	0%	0	100%	0.135	2.120	0.024	0.64
PROPOSED WEST BASIN	6291.00	0.144	0%	0	7%	0.010	6%	0.00867	87%	0.126	1.967	0.024	0.64
Roof drain basin	10248.00	0.235	0%	0	0%	0.000	0%	0	100%	0.235	2.120	0.042	1.11

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm

Ea= 0.53	Qa= 1.56	
Eb= 0.78	Qb= 2.28	
Ec= 1.13	Qc= 3.14	
Ed= 2.12	Qd= 4.7	
FLOW RATE LEAVING SITE FROM ROOF	0.64 CFS	
VOLUME TO BE CAPTURED WITH DELAYED RELEASE	0.02 AC-FT	1041 cubic feet
VOLUME OF 54" DIAMETER X 66' HOLDING TANK		1049 cubic feet

Pump.

1 cf/s = 7.48 Gal/sec

.13 cfs = (7.48)(.13)(60 m/s)

= 58 gpm

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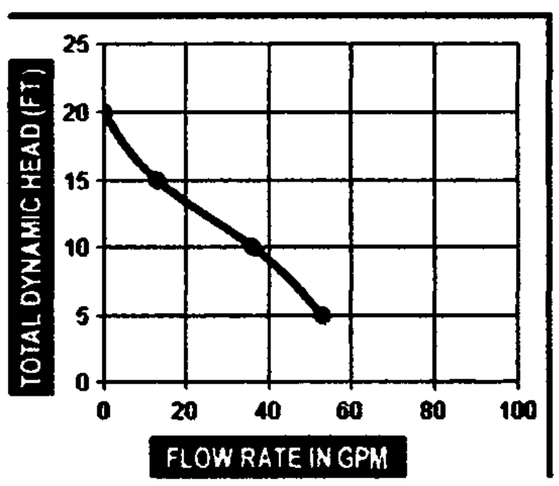

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- 8', SJT Power Cord
- 10" or Wider Sump Basins
- Shipping Weight, 22.5 lbs

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HI-RES IMAGE | MANUAL | SPEC SHEET

PERFORMANCE

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Gallons/Minute	53	36	13	-

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« Pedestal

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* example only. Architect will specify Pump.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: ***Rights Carlton Apartments*** ZONE MAP/DRG. FILE #: J13-D094

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: _____

CITY ADDRESS: _____

ENGINEERING FIRM:	Rio Grande Engineering	CONTACT:	David Soule, PE
ADDRESS:	PO Box 9394	PHONE:	(505)321-9099
CITY, STATE:	Alb	ZIP CODE:	87199
OWNER:	***Jane Carlton***	CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	95003
ARCHITECT:	***Robert Raynor***	CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
SURVEYOR:	Construction technologies	CONTACT:	John Gallegos
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

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- ____ CLOMR/LOMR
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- ____ FINAL PLAT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
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- ____ PAVING PERMIT APPROVAL
- ____ WORK ORDER APPROVAL
- ____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ____ YES
- x NO
- ____ COPY PROVIDED

2-19-13

DATE SUBMITTED: 2/14/2013 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.
The particular nature, location and scope of the proposed development defines the degree of drainage detail.
One or more of the following levels of sumbittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans**: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report**: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

February 19, 2013

Robert C. Rayner, R.A.
R2 Architectural Design LLC
730 San Mateo Blvd. SE
Albuquerque, NM 87108

Re: Carlton Apartments, 206 10th St. NW, Traffic Circulation Layout
Architect's Stamp dated 02-19-13 (J13-D094)

Dear Mr. Rayner,

The TCL submittal received 02-19-13 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3924.

Sincerely,

Cynthia K. Beck
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

J-13/D094.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: RIGHTS CARLTON APARTMENTS ZONE MAP: ~~J-13-D094~~
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: lot R-A Blocks 54 Replat of Lots 10, 11, 13
CITY ADDRESS: 206 10th St. NW. UPC. 101305849601240501

ENGINEERING FIRM: RIO GRANDE ENGINEERING CONTACT: DAVID SOULE
ADDRESS: 600 1st St. SW. PHONE: 321-9099
CITY, STATE: ALBUQ. NM ZIP CODE: _____
EMAIL: 87102

OWNER: JANE CARLTON CONTACT: Jane Carlton
ADDRESS: 800 VALVERDE PHONE: 450-4989
CITY, STATE: ALBUQ. NM ZIP CODE: 87107

ARCHITECT: R² Architects CONTACT: Robert Rayfel
ADDRESS: 730 SAN MATEO BLVD. SE PHONE: ~~505-884-8844~~ 321-3932
CITY, STATE: ALBUQ. NM. ZIP CODE: 87108
EMAIL: Robe@R2Architects.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
_____ DRAINAGE REPORT
_____ DRAINAGE PLAN 1st SUBMITTAL
_____ DRAINAGE PLAN RESUBMITTAL
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ EROSION CONTROL PLAN
_____ ENGINEER'S CERT (HYDROLOGY)
_____ CLOMR/LOMR
X TRAFFIC CIRCULATION LAYOUT
_____ ENGINEER'S CERT (TCL)
_____ ENGINEER'S CERT (DRB SITE PLAN)
_____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:
_____ SIA/FINANCIAL GUARANTEE RELEASE
_____ PRELIMINARY PLAT APPROVAL
_____ S. DEV. PLAN FOR SUB'D APPROVAL
_____ S. DEV. FOR BLDG. PERMIT APPROVAL
_____ SECTOR PLAN APPROVAL
_____ FINAL PLAT APPROVAL
_____ FOUNDATION PERMIT APPROVAL
✓ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY (PERM)
_____ CERTIFICATE OF OCCUPANCY (TEMP)
_____ GRADING PERMIT APPROVAL
_____ PAVING PERMIT APPROVAL
_____ WORK ORDER APPROVAL
_____ GRADING CERTIFICATION
_____ OTHER (SPECIFY) SO-19

RECEIVED
FEB 12 2013
LAND DEVELOPMENT SECTION

Feb. 19, 2013 Resubmittal Clean Copy.

WAS A PRE-DESIGN CONFERENCE ATTENDED:
_____ YES
_____ NO
_____ COPY PROVIDED

DATE SUBMITTED: 2-13-13 BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal The particular nature, location, and scope to the proposed development defines the degree of drainage detail One or more of the following levels of submittal may be required based on the following:

1 **Conceptual Grading and Drainage Plan**: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

CITY OF ALBUQUERQUE

4. Please provide detail notes of proposed (wheelchair) curb access ramps. Refer to COA STD drawing #2441 for design regulations.

5. The minimum parking aisle width for two-way movement with perpendicular parking is 24 feet. (Please note, if the widths of parking stalls are increased, the width of the drive aisle can be reduced. Discuss this option with Transportation Development for consideration.)

6. The request for on-street parking to meet zoning's parking requirements must be approved by Kristal Metro, P.E. Transportation Development, before TCL can be approved. Please be aware that the application process can take up to 4 weeks.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia Beck, Associate Engineer
Transportation Development, Planning Dept.
Development and Building Services

C: File

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

CITY OF ALBUQUERQUE

January 22, 2013

Robert C. Rayner, R.A.
R^2-Architectural Design
730 San Mateo Blvd SE
Albuquerque, NM 87108

Re: Carlton Apartments, Traffic Circulation Layout
Architect's Stamp dated 01-10--13 (J13-D094)

Dear Mr. Rayner,

Based upon the information provided in your submittal received 01-11-13, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Per our meeting on 01/22/13, please include the following notes to eliminate ambiguity on submitted site plan:
   - All existing sidewalks within the COA ROW fronting the proposed property will be replaced with new 6' sidewalk.
   - A leader line will be added to the site note "existing curb & gutter".
   - Indicate the proposed surface material at bike rack location.
   - Include location of proposed building's support column along Tijeras Ave that will abut the new 6 foot sidewalk; the property line and the adjacent existing 8 foot sidewalk.
   - Correct "Executive Summary" notes to reflect proposed plan. Specifically, "28 secured parking stalls" would more accurately be stated "27 parking stalls."

2. Clarify existing versus proposed conditions. The existing 8 foot sidewalk on Tijeras Ave. versus the proposed plan to remove a section and replace with a transition section from the existing 8 foot to the new 6 foot wide sidewalk.

3. Please provide detail notes of proposed drive pads at both locations; Tijeras Ave and Kent Ave., include slopes, widths, lengths and elevation transitions. Please refer to COA STD drawing #2425 for design regulations of drive pads with associated wings and abutting sidewalk, curb & gutter design.

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Albuquerque

NM 87103

www.cabq.gov.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: RIGHTS CARLTON APARTMENTS ZONE MAP: J-13-100941
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: lot 12-A BLOCKS 54 REPLAT OF LOTS 10, 11, 13
CITY ADDRESS: 206 10th St. NW. UPC 101305849601240501

ENGINEERING FIRM: RIO GRANDE ENGINEERING CONTACT: DAVID SOUZA
ADDRESS: 600 1st St. NW PHONE: 321-9099
CITY, STATE: ALBUQ NM ZIP CODE: 87102
EMAIL: _____

OWNER: JANE CARLTON CONTACT: JANE
ADDRESS: 800 VALVERDE DR. SE PHONE: ~~327~~ 450-4989
CITY, STATE: ALBUQ. NM. 87108 ZIP CODE: 87106

ARCHITECT: R² ARCHITECTURAL DESIGN LLC CONTACT: Robert
ADDRESS: _____ PHONE: 884-9654
CITY, STATE: _____ ZIP CODE: 87108
EMAIL: Robe R2Architectural.co

SURVEYOR: _____ CONTACT: 321-3932/cell.
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
_____ DRAINAGE REPORT
_____ DRAINAGE PLAN 1st SUBMITTAL
_____ DRAINAGE PLAN RESUBMITTAL
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ EROSION CONTROL PLAN
_____ ENGINEER'S CERT (HYDROLOGY)
_____ CLOMR/LOMR
✓ TRAFFIC CIRCULATION LAYOUT
_____ ENGINEER'S CERT (TCL)
_____ ENGINEER'S CERT (DRB SITE PLAN)
_____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:
_____ SIA/FINANCIAL GUARANTEE RELEASE
_____ PRELIMINARY PLAT APPROVAL
_____ S. DEV. PLAN FOR SUB'D APPROVAL
_____ S. DEV. FOR BLDG. PERMIT APPROVAL
_____ SECTOR PLAN APPROVAL
_____ FINAL PLAT APPROVAL
_____ FOUNDATION PERMIT APPROVAL
✓ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY (PERM)
_____ CERTIFICATE OF OCCUPANCY (TEMP)
_____ GRADING PERMIT APPROVAL
_____ PAVING PERMIT APPROVAL
_____ WORK ORDER APPROVAL
_____ GRADING CERTIFICATION
_____ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
_____ YES
_____ NO
_____ COPY PROVIDED

DATE SUBMITTED: 1-11-13 BY: Robert Raynolds

RECEIVED
JAN 11 2013
LAND DEVELOPMENT SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal The particular nature, location, and scope to the proposed development defines the degree of drainage detail One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

December 14, 2012

Robert C. Rayner, R.A.
R^2 Architectural Design
730 San Mateo Blvd SE
Albuquerque, NM 87108

Re: Rights Carlton Apartments, Traffic Circulation Layout
Architect's Stamp dated 12-04-12 (J13-D094)

Dear Mr. Rayner,

Based upon the information provided in your submittal received 12-05-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
2. A five-foot keyway is required for deadend parking aisles. Please show how vehicles parked in the two exterior compact stalls adjacent to Tijeras Ave will exit lot without backing into street. Will the parking lot gate be open for these parked vehicles to maneuver within the property?
3. The automatic gate appears to encroach into the adjacent parking stall provided, reducing the required minimum width for compact stall space. Please provide clear stall dimensions.
4. Does the automatic gate slide open or rise? Please clarify that gate action will not reduce the aisle opening below minimum standards.
5. Per Chapter 23, Section 6. Part B. 8. (b. 1) of the City of Albuquerque *Development Process Manual*, the minimum drivepad width for two-way access is 25 feet. The proposed 23 foot curb cut on Tijeras must be revised.
6. Please list the width and length for all parking spaces.
7. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
8. Please provide a clear 6 foot ADA accessible pedestrian pathway from ADA parking spaces to the building entrance. This pathway may not travel behind the parking stalls.
9. Provide a legend, define all hatching and linetypes (including the property line).
10. Please define limits of property line. An access easement will be required for all public sidewalk constructed within private property.

PO Box 1293

Albuquerque

NM 87103

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CITY OF ALBUQUERQUE

11. The proposed building layout must be provided. This can be shown on a separate layout on the sheet.
12. Define width of all sidewalk, existing and proposed.
13. Recent aerial information shows and existing drivepad along 10th Street. This drivepad must be removed and replaced with sidewalk and curb and gutter.
14. Per Chapter 23, Section 6, Part B.5 of the City of Albuquerque *Development Process Manual*, any drive near local cross streets must be located a minimum of 25 feet from the intersecting flowlines. Please provide the distances of proposed drivepads from adjacent intersections.
15. Clarify existing versus proposed conditions.
16. Build notes, referring to applicable city standards, must be provided for new building with the City of Albuquerque right of way (entrances, sidewalk, etc.).
17. Clarify what type of entrance is proposed off of Tijeras. Is this a curb cut? Curb cuts do not have ramps. Please refer to City Standard Specifications.
18. Please clarify surface material for proposed parking garage. Parking areas shall be paved per the City Zoning requirements.
19. Define the width of the parking aisle. Note that the minimum parking aisle width for two-way movement with perpendicular parking is 24 feet.
20. The proposed refuse enclosure appears to leave the gates encroaching into the public sidewalk when open. Please revise.
21. The site note "future 8' sidewalk" needs to be marked as "illustrative" or removed.
22. List all obstructions (fire hydrants, light poles, etc.) located within City right of way. Please note that the sector plan (Update for the Downtown Neighborhood Area) requires all obstructions to sidewalk accessibility to be relocated.
23. Please provide the width of the landscape area within the COA ROW.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

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Albuquerque

NM 87103

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206 10TH ST NW
6' → 8' sidewalk?
TIJERAS
10TH
Existing Drive pad.
SITE
sidewalk ends

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: RIGHTS CARLTON APARTMENTS ZONE MAP: J-13-Z009 4
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: lot 12-A BLOCK 54 Replat of Lts 10, 11 & 12
CITY ADDRESS: 206 10th street N.W UPC 101305849601240501

ENGINEERING FIRM: Rio Grande Engineering CONTACT: David Soul
ADDRESS: 600 1st St. NW. ste-209 PHONE: 321-9099
CITY, STATE: ALBUQ. NM ZIP CODE: 87102
EMAIL: _____

OWNER: JANE CARLTON. CONTACT: JANE
ADDRESS: 800 VALVERDE SE PHONE: 450-4985
CITY, STATE: ALBUQ NM ZIP CODE: 87108

ARCHITECT: R2 Architectural Design LLC CONTACT: Rob Rayner
ADDRESS: 72 SAN MATEO BLVD. SE PHONE: 884-9694
CITY, STATE: ALBUQ NM 87108 ZIP CODE: 87108
EMAIL: Rob@R2Architecture.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
_____ DRAINAGE REPORT
_____ DRAINAGE PLAN 1st SUBMITTAL
_____ DRAINAGE PLAN RESUBMITTAL
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ EROSION CONTROL PLAN
_____ ENGINEER'S CERT (HYDROLOGY)
_____ CLOMR/LOMR
✓ TRAFFIC CIRCULATION LAYOUT
_____ ENGINEER'S CERT (TCL)
_____ ENGINEER'S CERT (DRB SITE PLAN)
_____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:
_____ SIA/FINANCIAL GUARANTEE RELEASE
_____ PRELIMINARY PLAT APPROVAL
_____ S. DEV. PLAN FOR SUB'D APPROVAL
_____ S. DEV. FOR BLDG. PERMIT APPROVAL
_____ SECTOR PLAN APPROVAL
_____ FINAL PLAT APPROVAL
_____ FOUNDATION PERMIT APPROVAL
X BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY (PERM)
_____ CERTIFICATE OF OCCUPANCY (TEMP)
_____ GRADING PERMIT APPROVAL
_____ PAVING PERMIT APPROVAL
_____ WORK ORDER APPROVAL
_____ GRADING CERTIFICATION
_____ OTHER (SPECIFY) SO-19

Sector Downtown Neighborhood Area.

RECEIVED
DEC 05 2012
LAND DEVELOPMENT SECTION

WAS A PRE-DESIGN CONFERENCE ATTENDED:
_____ YES
✓ NO
_____ COPY PROVIDED

DATE SUBMITTED: 12-5-12 BY: Robert Rayner Robert Rayner Archtect

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal The particular nature, location, and scope to the proposed development defines the degree of drainage detail One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services

Richard J. Berry, Mayor

December 21, 2012

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: Rights Carlton Apartments Grading and Drainage Plan, 210 10th Street
Engineer's Stamp date 12-05-2012 (J-13/D094)

Dear Mr. Soule,

Based upon the information provided in your submittal received 12-11-12, the above referenced plan cannot be approved for Building and Grading Permit until the following comments are addressed:

1. This site is located in the valley floor area west of Broadway, hence redeveloped discharge shall be restricted to 2.75 cfs/acre; please show how this will be accomplished.
2. The proposed ponding in City Right-of-Way will not be permitted.
3. Roof discharge across the sidewalk will not be permitted.
4. The Water Utility Authority has determined that they will not allow connection to the sanitary sewer system for the proposed depressed parking area.
5. The legend should include symbols that are being used on the plan. Label all downspouts, walls, etc. Existing versus proposed spot elevations are unclear.
6. The drainage report for the project site will need to be revised to reflect the changes that are made to the proposed conditions.

If you have any questions, you may contact me by telephone at 505-924-3695, or email at grolson@cabq.gov.

Sincerely,

Gregory R. Olson 12/21/12

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file J-13/D094
c.pdf Addressee via Email david@riograndeengineering.com

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

December 10, 2012

Mr. Shahab Biazar PE
Senior Engineer
Hydrology
City of Albuquerque

RE: Grading and Drainage Plan
Rights Carlton (J13/D094)

Dear Mr. Biazar:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your comments dated June 29, 2012. The following is a summary of your comments with the annotation as to how the plans were modified to address the comments.

1. Please indicate if garages stem wall will extend above grade

   Minimum top of wall and bottom of wall have been added. The garage stems will extend above grade

2. Add note to tack weld sidewalk culverts

   This note has been added.

3. Legend needs to include description of all symbols

   We believe we have added descriptions for all symbols used

4. What city benchmark is used

   We have added the ACS benchmark as well as TBM.

5. Provide spot elevations on sidewalks and curbs

   We have added spots.

6. How much runoff is proposed to enter landscaping along Tenth

   The west half of the roof discharges .625 cfs as sheet flow along the 170' west property line. The design intent is to harvest water in the landscaping rather than pass under sidewalk.

7. Does roof overhang the east property line.

The roof does overhang and a gutter and down spout system intercepts flow from entering adjacent property.

8. Provide detail on plan for proposed 9" depressed landscaping area

The detail was included.

Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque. NM 87199
321-9099

Enclosures

CITY OF ALBUQUERQUE

July 26, 2012

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: Rights Carlton Apartments Grading and Drainage Plan
Engineer's Stamp date 06-29-2012 (J-13/D094)

Dear Mr. Soule,

Based upon the information provided in your submittal received 06-29-2012, the above referenced plan cannot be approved for Building and Grading Permit until the following comments are addressed:

- Plan should indicate if the garage stem wall will extend above the existing grades.
- Add a note on the sidewalk culvert specifying that all bolts on the plate will be tack welded.
- The legend should include descriptions of all symbols present on the drainage plan.
- What is the city benchmark designation being used on the plan?
- Provide spot elevations along the sidewalk as well as top-of-curb and back-of-curb elevations.
- How much runoff is proposed to enter the landscaping area along 10th Street? An additional culvert might be needed to drain this flow into the street.
- Does the roof overhang the eastern property line into the adjacent lot?
- Provide detail on the plan of the proposed 9" depressed landscaping area and its location on the site.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Email

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DEC 11 2012
LAND DEVELOPMENT SECTION

PO Box 1293
Albuquerque
NM 87103
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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: ***Rights Carlton Apartments*** ZONE MAP/DRG. FILE #: J13-D094

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: _____

CITY ADDRESS: _____

ENGINEERING FIRM:	Rio Grande Engineering	CONTACT:	David Soule, PE
ADDRESS:	PO Box 9394	PHONE:	(505)321-9099
CITY, STATE:	Alb	ZIP CODE:	87199
OWNER:	***Jane Carlton***	CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	95003
ARCHITECT:	***Robert Raynor***	CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
SURVEYOR:	Construction technologies	CONTACT:	John Gallegos
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

- ____ DRAINAGE REPORT
- ____ DRAINAGE PLAN 1st SUBMITTAL, ***REQUIRES TCL or equal***
- ____ DRAINAGE PLAN RESUBMITTAL
- ____ CONCEPTUAL GRADING & DRAINAGE PLAN
- x GRADING PLAN
- ____ EROSION CONTROL PLAN
- ____ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ____ CLOMR/LOMR
- ____ TRAFFIC CIRCULATION LAYOUT (TCL)
- ____ ENGINEERS CERTIFICATION (TCL)
- ____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ____ SIA / FINANACIAL GUARANTEE RELEASE
- ____ PRELIMINARY PLAT APPROVAL
- ____ S. DEV. PLAN FOR SUB'D. APPROVAL
- ____ S. DEV PLAN FOR BLDG. PERMIT APPROVAL
- ____ SECTOR PLAN APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
- x BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY (PERM.)
- ____ CERTIFICATE OF OCCUPANCY (TEMP.)
- x GRADING PERMIT APPROVAL
- ____ PAVING PERMIT APPROVAL
- ____ WORK ORDER APPROVAL
- ____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED.

- ____ YES
- x NO
- ____ COPY PROVIDED

RECEIVED
DEC 11 2012
LAND DEVELOPMENT SECTION

DATE SUBMITTED: 12/10/2012 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.
The particular nature, location and scope of the proposed development defines the degree of drainage detail.
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3. **Drainage Report**: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE REPORT

For

Rights- Carlton Appartments
Lot 12-A, Block 54
NM Towncompany
206 tenth street NW
Albuquerque, New Mexico

Prepared by

Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

June 2012

David Soule P.E. No. 14522

TABLE OF CONTENTS

Appendix

Map Pocket

Site Grading and Drainage Plan

PURPOSE

The purpose of this report is to provide the Drainage Management Plan for the redevelopment of an existing apartment complex located at 206 Tenth street northwest. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a .28-acre parcel of land located on the east side of tenth street between Tijeras and Kent Street The legal description of this site is Lot 12-A Block 54, New Mexico Town Company Original Town site. As shown on FIRM map35013C0133E, the entire site is located within Flood Zone X.

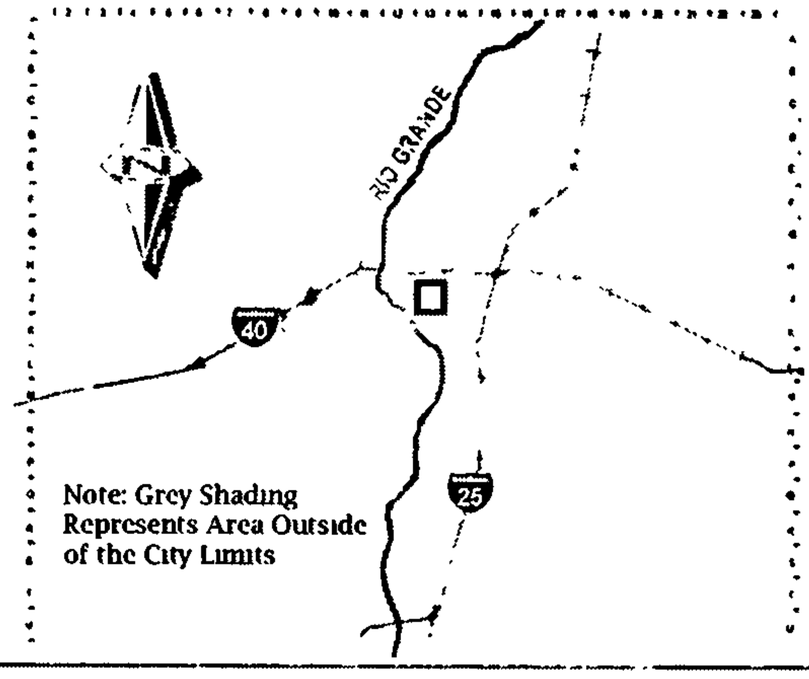
EXISTING CONDITIONS

The site is currently developed as an existing complex of individual apartments. The site currently discharges 1.15 cfs directly to the adjacent right-of-way tenth street and to Kent. This flow is conveyed to an inlet located on tenth street adjacent to the site at Kent.

For more current information and more details visit: http://www.cabq.gov/gis

Albuquerque Geographic Information System

Map amended through: 2/4/2010



Zone Atlas Page:

J-13-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

PROPOSED CONDITIONS

The proposed improvements consist of approximately 15,000 square feet multi story apartment complex. The ground floor is parking with the remaining floor above as apartments. Due to allowable building height restrictions, the parking level is depressed. The perimeter will be retaining and the vehicular access will have water block at the property line. The parking garage will have floor drains connected to the building sanitary drain line for. Building has a ridge line running south to north. The western portion of the roof will discharge directly to the right of way. The eastern half will discharge .55 cfs to a down spout and sidewalk culvert located at the southeast corner of the site. As shown the proposed redevelopment will increase the discharge rate from 1.15 cfs to 1.25 cfs. To mitigate the impact the landscape are between curb and sidewalk will be depressed 9". This will allow for 373 cubic feet of water harvesting storage. The site is a redevelopment and the surrounding infrastructure is functioning.

SUMMARY AND RECOMMENDATIONS

This project is a redevelopment of a currently developed site. The site is within a fully developed area. The site is not directly contributing to any adjacent flood plains. The increase in discharge rate of .1 cfs is mitigated by the addition of water harvesting areas in the landscape strips between sidewalks and curb. Since the effected area site encompasses less than 1/2 acre, a NPDES permit should not be required prior to any construction activity.

$\frac{1.15}{0.28} = 4.11$ cfs/ac

$\frac{1.25}{0.28} = 4.46$ cfs/ac

Downstream capacity to river

APPENDIX A

SITE HYDROLOGY

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	100-Year, 6-hr. Weighted E (ac-ft)	100-Year, 6-hr. Volume (ac-ft)	100-Year, 6-hr. Flow cfs	10-day Volume (ac-ft)
EXISTING	12181.00	0 280	0%	0	12%	0 034	20%	0 05593	68%	0 190	1.761	0 041	1 15	0 066
PROPOSED	12181.00	0.280	0%	0	5%	0 014	7%	0.01957	88%	0.246	1.984	0 046	1 25	0.079
DIFFERENCE	0.00	0.00		0 00		0.02		0 04		-0 06	-0 223	-0.005	-0 104	-0 013
Roof drain basin	5124.00	0 118	0%	0	0%	0 000	0%	0	100%	0.118	2 120	0 021	0.55	0.036

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

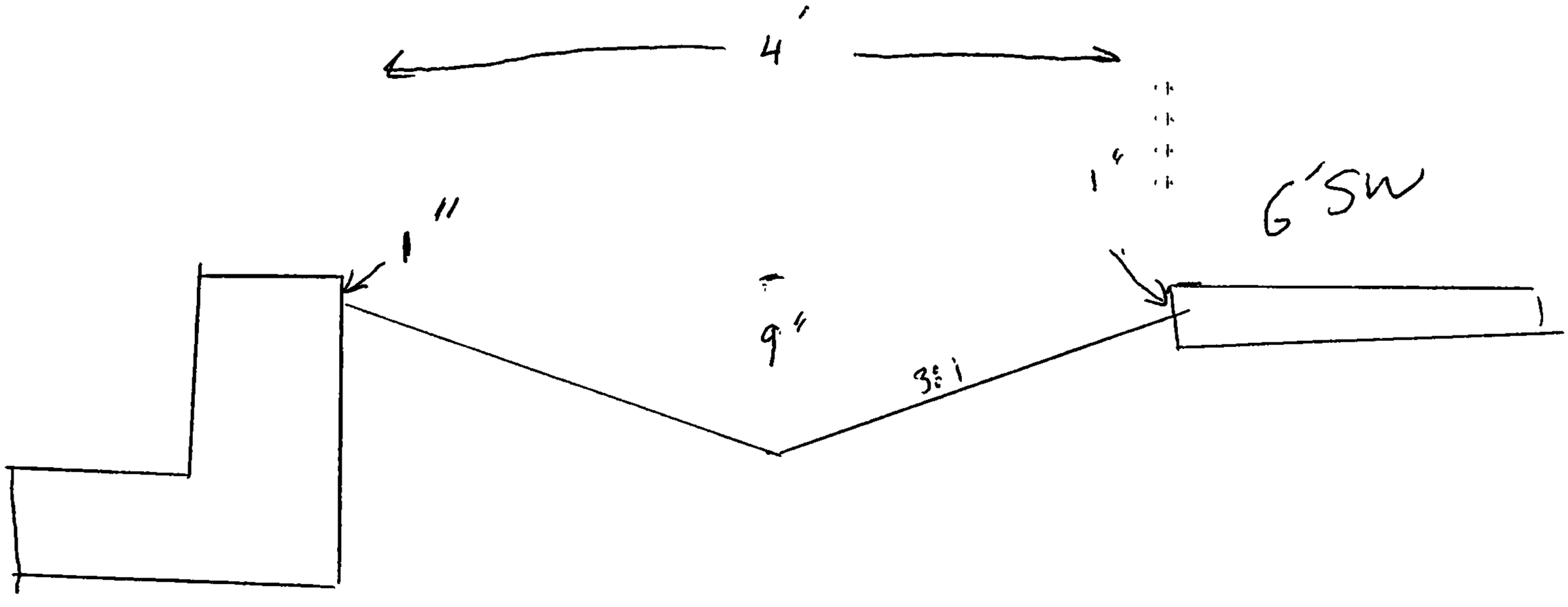
Where for 100-year, 6-hour storm

Ea= 0.53
Eb= 0.78
Ec= 1.13
Ed= 2.12

Qa= 1 56
Qb= 2.28
Qc= 3.14
Qd= 4.7

FLOW RATE EXCEEDANCE 0.10 CFS
FLOW VOLUME EXCEEDANCE 0.01 AC-FT 550 7 cubic feet
HARVEST PONDS 373 cubic feet

177.7 cubic feet exceedence



Unit Volume = $\frac{2}{3}(4)/2 = 1\frac{1}{3}$ ft^3/ ft

$+ \left(\frac{1}{12}\right)(4) = \frac{1}{3}$ ft^3/ft

$= 1\frac{2}{3}'$ / ft.

Length of Landscape buffer around Site

$= 224.$

Water harvest pond volume

$(224)(1\frac{2}{3}) = 373$

CITY OF ALBUQUERQUE

July 26, 2012

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: Rights Carlton Apartments Grading and Drainage Plan
Engineer's Stamp date 06-29-2012 (J-13/D094)

Dear Mr. Soule,

Based upon the information provided in your submittal received 06-29-2012, the above referenced plan cannot be approved for Building and Grading Permit until the following comments are addressed:

- Plan should indicate if the garage stem wall will extend above the existing grades.
- Add a note on the sidewalk culvert specifying that all bolts on the plate will be tack welded.
- The legend should include descriptions of all symbols present on the drainage plan.
- What is the city benchmark designation being used on the plan?
- Provide spot elevations along the sidewalk as well as top-of-curb and back-of-curb elevations.
- How much runoff is proposed to enter the landscaping area along 10th Street? An additional culvert might be needed to drain this flow into the street.
- Does the roof overhang the eastern property line into the adjacent lot?
- Provide detail on the plan of the proposed 9" depressed landscaping area and its location on the site.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Email

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: ***Rights Carlton Apartments*** ZONE MAP/DRG. FILE #: J13 / D094

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: ***Lot 12A- block 54, Newmexico town company original townsite***

CITY ADDRESS: ***206 Tenth street***

ENGINEERING FIRM:	Rio Grande Engineering	CONTACT:	David Soule, PE
ADDRESS:	PO Box 9394	PHONE:	(505)321-9099
CITY, STATE:	Alb	ZIP CODE:	87199
OWNER.	***Jane Carlton***	CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	95003
ARCHITECT:	***Rsquared***	CONTACT:	Robert Raynor
ADDRESS:	600 first street	PHONE:	
CITY, STATE:	alb nm	ZIP CODE:	
SURVEYOR:	Geo surv CO	CONTACT:	David Vigil
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

- x DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL, ***REQUIRES TCL or equal***
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL GRADING & DRAINAGE PLAN
- x GRADING PLAN
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERTIFICATION (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEERS CERTIFICATION (TCL)
- _____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- _____ OTHER

CHECK TYPE OF APPROVAL SOUGHT.

- _____ SIA / FINANACIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S DEV. PLAN FOR SUB'D. APPROVAL
- _____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- x BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM.)
- _____ CERTIFICATE OF OCCUPANCY (TEMP.)
- x GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED.

- _____ YES
- x NO
- _____ COPY PROVIDED

RECEIVED
JUN 29 2012
HYDROLOGY SECTION

bal $50.00

DATE SUBMITTED: 6/29/2012 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.
The particular nature, location and scope of the proposed development defines the degree of drainage detail.
One or more of the following levels of sumbittal may be required based on the following

1. **Conceptual Grading and Drainage Plans**: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report**: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more