

# CITY OF ALBUQUERQUE



***Planning Department  
Transportation Development Services***

November 25, 2015

Jake Bordenave P.E.  
Bordenave Designs  
P.O. Box 91194  
Albuquerque, NM 87199

**Re: Garcias Kitchen, 1736 Central Ave SW**  
**Request for Certificate of Occupancy- Transportation Development**  
Engineer's Stamp dated 11-03-2015  
Administrative Amendment Dated 11-13-2015 (J13-D096)  
Certification dated 11-23-2015

Dear Mr. Bordenave,

PO Box 1293

Albuquerque

New Mexico 87103

Based upon the information provided in your submittal received 11-23-2015, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

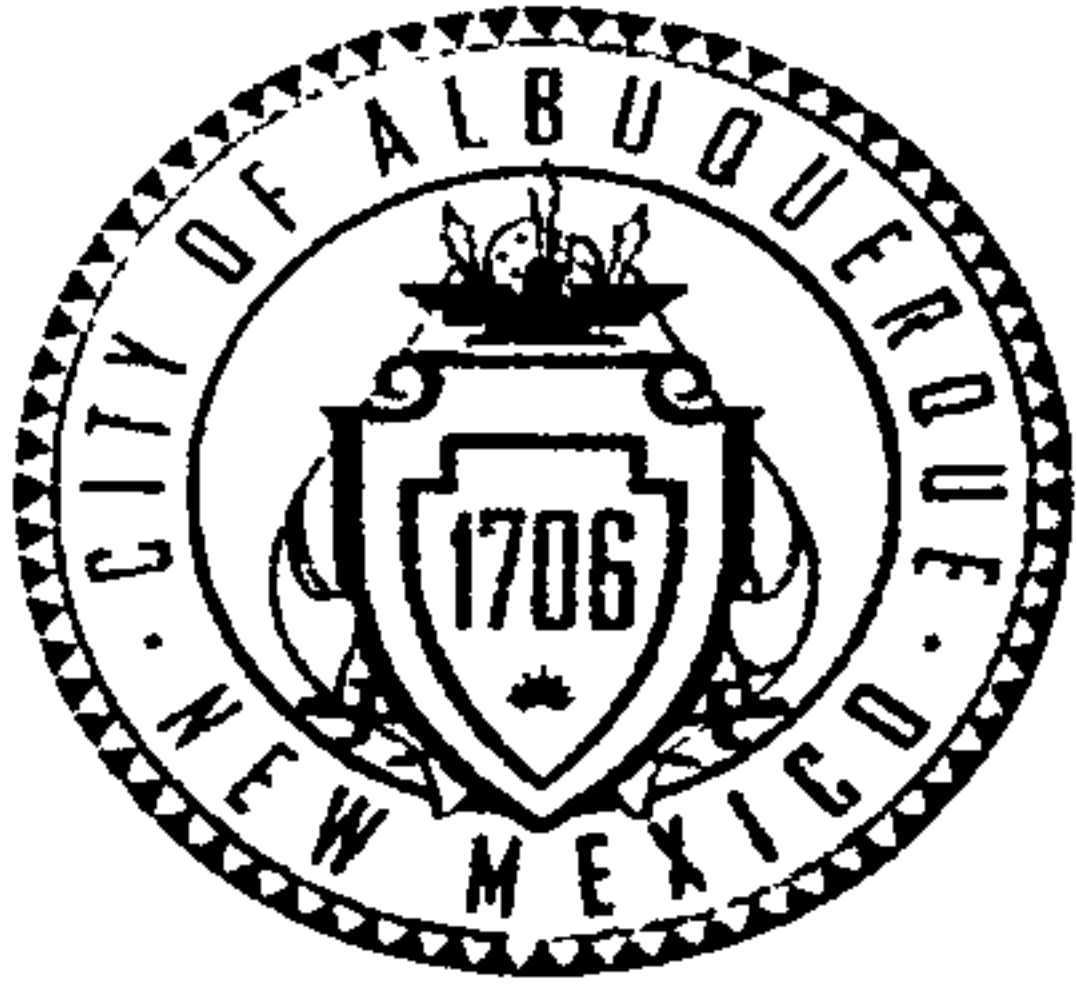
If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

www.cabq.gov

Sincerely,

John Gurule, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

mao via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Garcia's Kitchen Building Permit #: \_\_\_\_\_ City Drainage #: J13/D096

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lots 1 & 2 Garcia's Properties and Tract 132, MRGCD Map No. 28

City Address: 1736 Central Ave SW

Engineering Firm: Bordenave Designs Contact: Jake Bordenave

Address: P O Box 91194 Albuquerque, NM 87199

Phone#: 505-823-1344 Fax#: 505-821-9105 E-mail: jakebordenave@comcast.net

Owner: Garcia's Kitchen Contact: Dan Garcia

Address: \_\_\_\_\_

Phone#: 505-362-2753 Fax#: \_\_\_\_\_ E-mail: dan@garciaskitchen.com

Architect: J S Rogers Contact: Jim Rogers

Address: 821 Mountain Rd. NW, Albuquerque, NM 87102

Phone#: 505-247-1168 Fax#: 505-247-0262 E-mail: info@jsrogersarchitects.com

Surveyor: Wayjohn Surveying Contact: Thomas Johnston

Address: 330 Louisiana Blvd. NE

Phone#: 505-255-2052 Fax#: \_\_\_\_\_ E-mail: thomas@wayjohn.com

Contractor: Freeman's Finest Construction Contact: Earl Freeman

Address: 1236 Peyton Rd. Los Lunas, NM 87031

Phone#: 505-80-1796 Fax#: 505-866-6448 E-mail: eagleeye270@aol.com

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 11/25/15 By: Jake Bordenave

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development

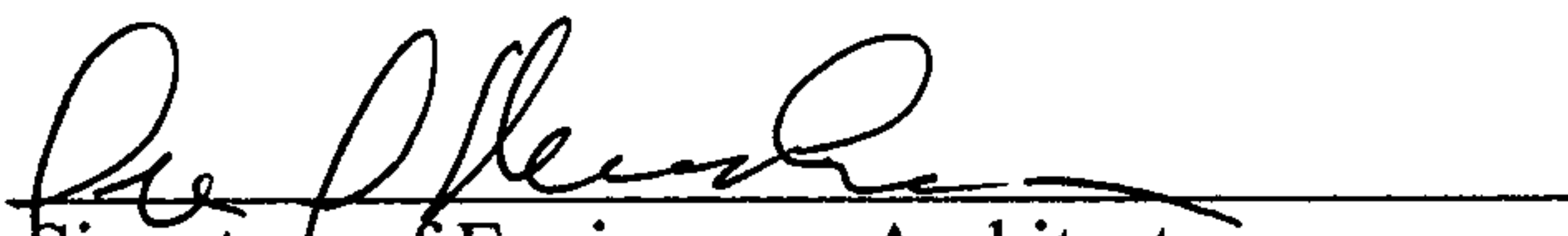


## TRAFFIC CERTIFICATION

I, JEAN J. BORDENAVE, NMPE OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLANS DATED 06/16/2014 AND 11/13/2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY (NONE) OF THE FIRM (NONE). I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/16/2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

NO EXCEPTIONS

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

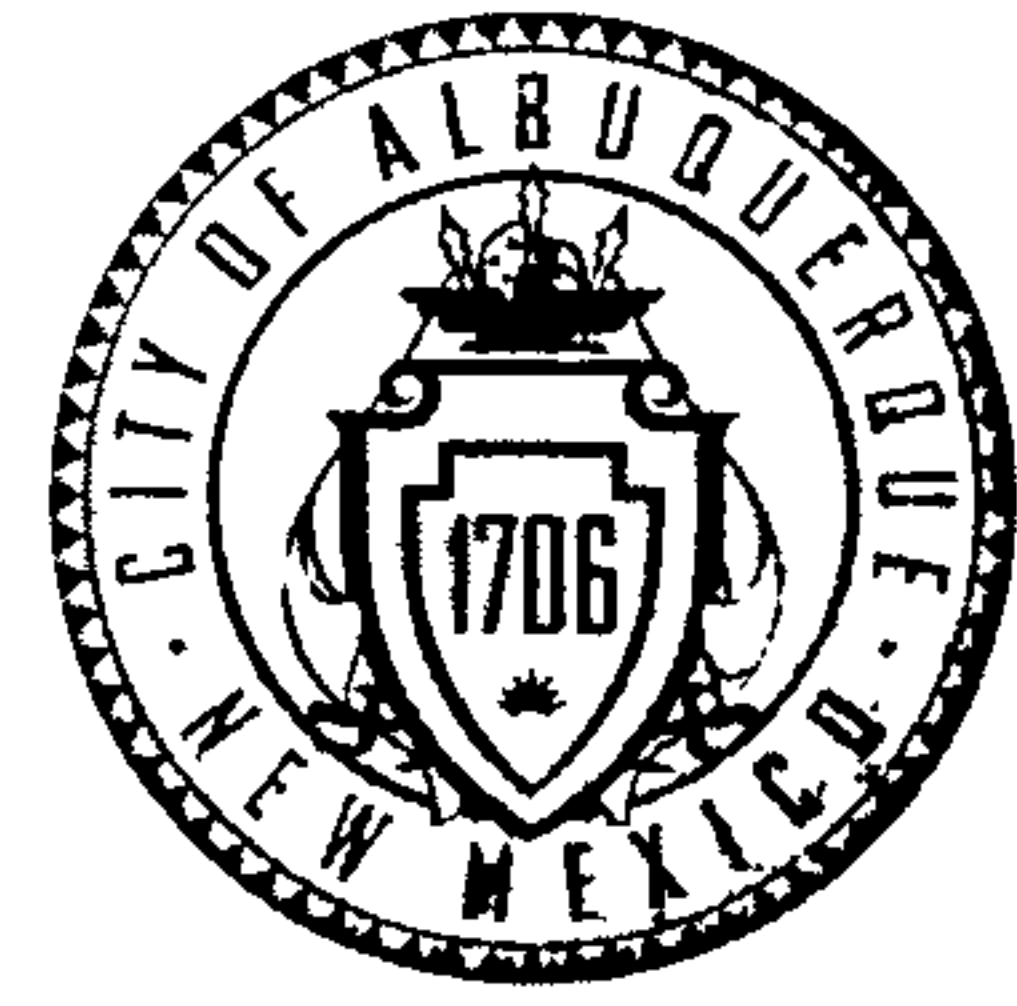
  
Signature of Engineer or Architect

11/23/15  
Date





# CITY OF ALBUQUERQUE



November 20, 2015

Thomas Johnson, P.E.  
330 Louisiana Blvd. NE  
Albuquerque, New Mexico 87108

RE: **Garcia's Kitchen, 1736 Central Ave NW (J13D096)**  
**Request Permanent C.O. – Accepted**

- 1) **South Portion of site – Warehouse and paving**  
**Engineers Stamp Date 9-8-14**  
**Certification Dated : 11-4-15**
- 2) **North Portion of site – Maintenance /Paving plan**  
**Engineers Stamp Date – not submitted**  
**Certification Dated 10-14-15**
- 3) **Drainage Remediation Plan at apartments**  
**Engineers Stamp Date – not submitted**  
**Certification Dated 11-4-15**

PO Box 1293

Dear Mr. Thomson,

Albuquerque

Based upon the information provided in your submittal received 11/5/2015, the site is acceptable for a Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions you can contact me at 924-3695.

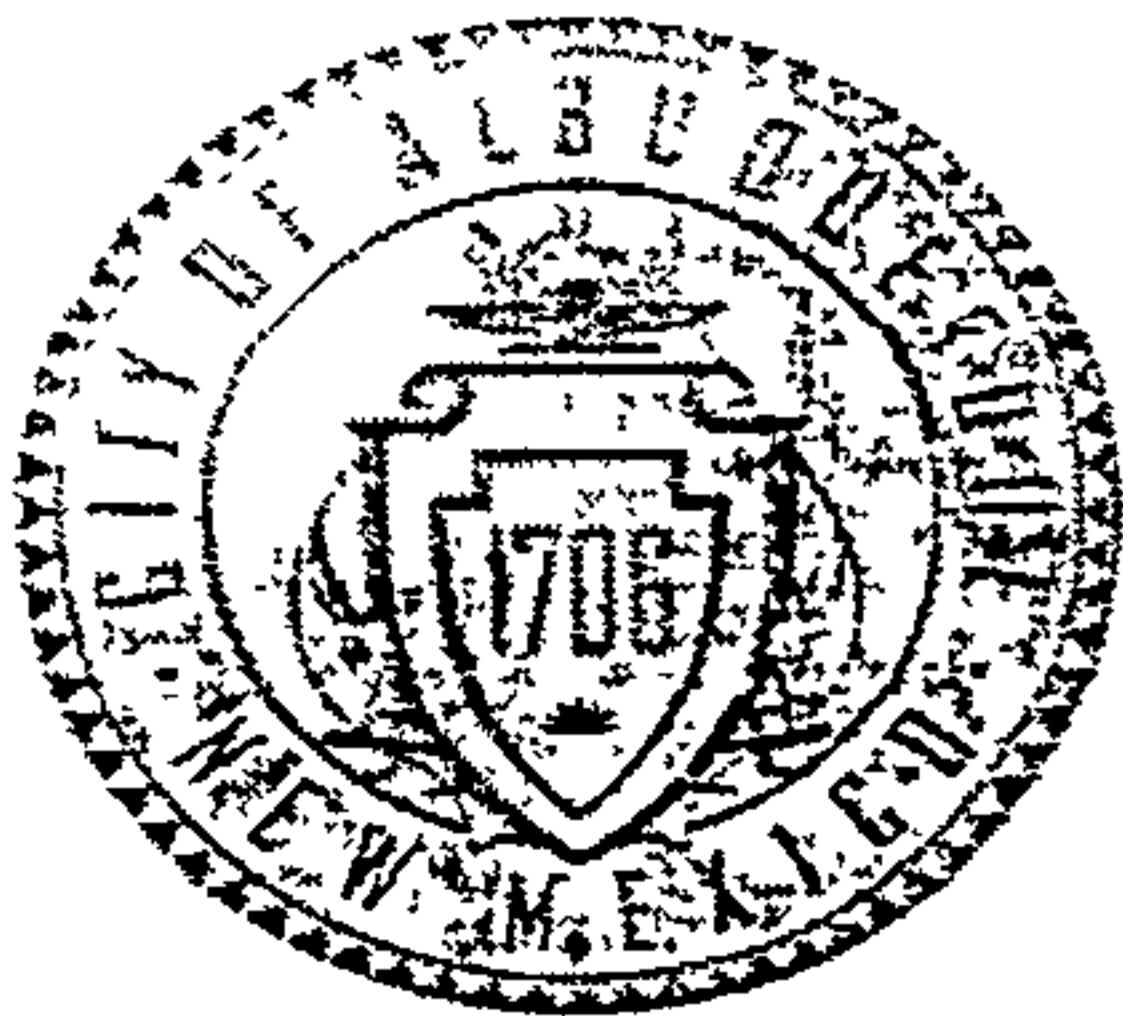
Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Rita Harmon, P.E.  
Senior Engineer  
Planning Department

Orig: Drainage file  
c.pdf via email: Recipient, Francis Connor, Camelle Cordova, Darlene Sandoval

J13D096\_CO\_Appr.doc



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Garcia's Kitchen Food Production & Warehouse Building Permit #: \_\_\_\_\_ City Drainage #: 513/D096  
DRB#: 1004667 EPC#: 1004667 Work Order#: \_\_\_\_\_  
Legal Description: Lots 1 & 2 Garcia Properties Development  
City Address: 1736 Central Avenue, SW

Engineering Firm: TGC Engineering Inc. Contact: Thomas D. Johnston, PS, PE  
Address: 330 Louisiana Blvd NE, Albuquerque, NM 87108  
Phone#: 505-266-7256 Fax#: 505-255-2887 E-mail: tgceengineering@aol.com

Owner: AG & Five LLC Contact: Dan Garcia  
Address: 1113 4th Street, NW, Albuquerque, NM 87102  
Phone#: 505-362-2753 Fax#: \_\_\_\_\_ E-mail: dan@garciaskitchen.com

Architect: J.S. Rogers Architects PC Contact: \_\_\_\_\_  
Address: 821 Mountain Road, NW, Albuquerque, NM 87102  
Phone#: 505-247-1168 Fax#: 505-247-0262 E-mail: info@jsrogersarchitects.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

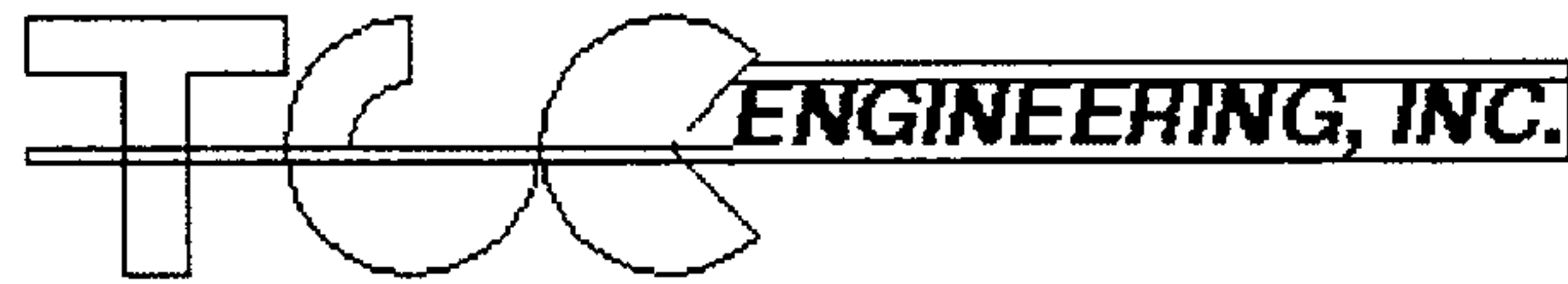
IS THIS A RESUBMITTAL?: Yes ☒ No

DATE SUBMITTED: NOVEMBER 4, 2015  
October 14, 2015

By: \_\_\_\_\_

COA STAFF ELECTRONIC SUBMITTAL RECEIVED \_\_\_\_\_





**330 LOUISIANA BLVD. NE - ALBUQUERQUE, NM 87108-2062**  
**(505) 266-7256 Fax: (505) 255-2887 - email: TGCENGINEERING.@aol.com**

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November 4, 2015

City of Albuquerque Hydrology  
600 2<sup>nd</sup> Street NW  
Plaza Del Sol Building  
Albuquerque, NM 87102

RE: Garcia's Kitchen Food Production & Warehouse Final Certificate of Occupancy

To Whom It May Concern:

I have been brought in to complete the Certificate of Occupancy and as-builts for the Garcia's Kitchen Food Production & Warehouse. The contractor made some changes to the site to facilitate drainage into the ponding areas. The final construction of this site is in substantial compliance with the grading plan prepared by Martin Garcia, NMPE 11767, dated September 8, 2014.

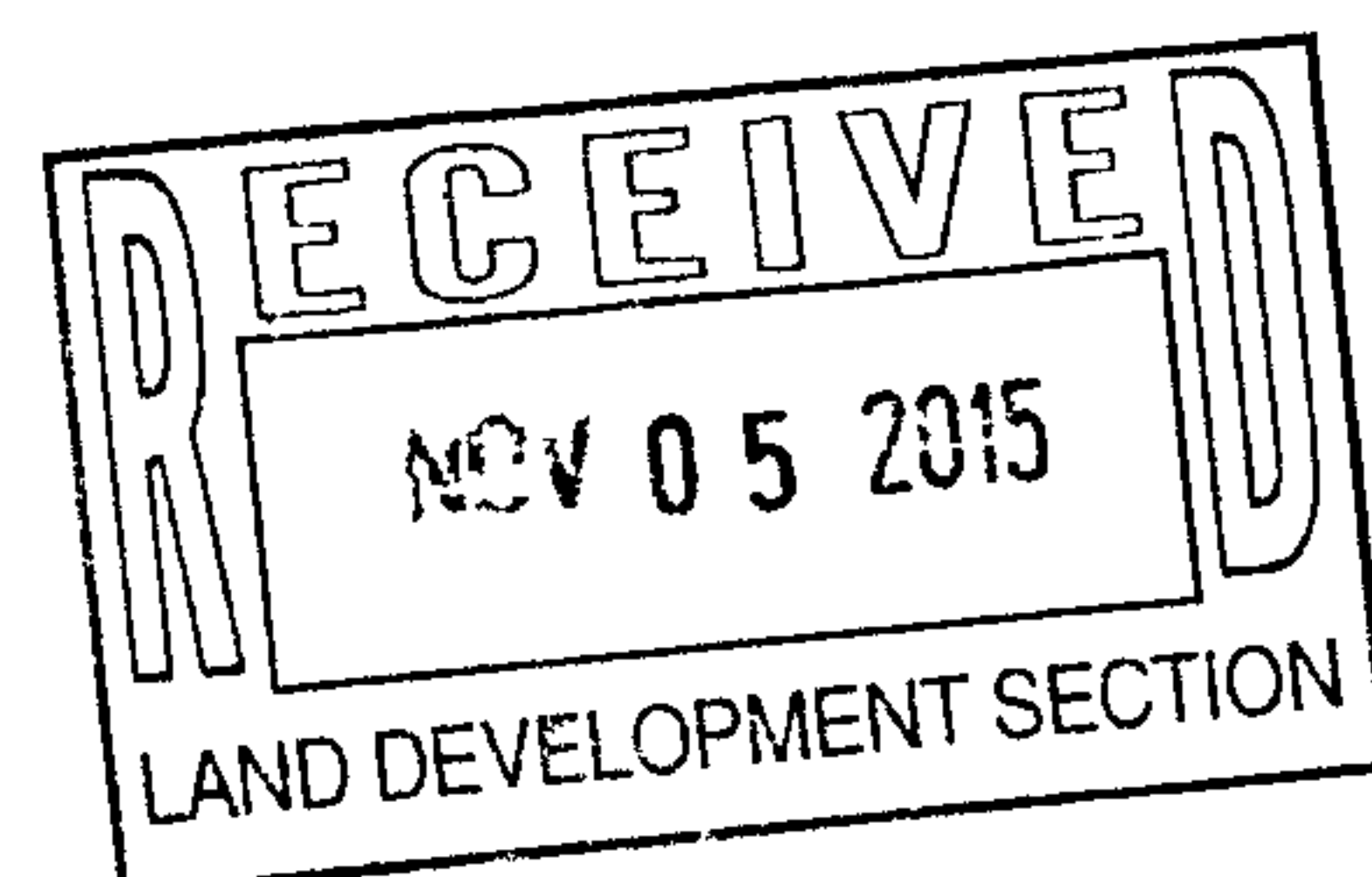
There was also an undated plan prepared by Mr. Garcia as a "maintenance plan" (Sheet C1.1) for the parking area north of the site. This plan was unpermitted, but it was constructed as part of the overall construction of the Food Production and Warehouse site. I have prepared an as-built and certification of the site, which I have previously submitted on October 14, 2015. I am formally requesting by this letter that the unpermitted plan is accepted by the City of Albuquerque, as it is in substantial compliance with the overall grading scheme and it improves the drainage conditions leading to the Food Production and Warehouse site.

There were some drainage deficiencies around the existing apartments and restaurant that were created by the design on Sheet C1.1. I have also submitted a supplemental drainage plan to accommodate the existing infrastructure in place and to drain the sumps created with the new construction. The basic concept is to provide drainage scuppers at the low spots, which will drain into a Type D catch basin containing a duplex pump. This pump will lift the drainage to the ponds constructed as part of this project.

Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

A handwritten signature in black ink, appearing to read 'Thomas Johnston', is written over a horizontal line.

Thomas Johnston, PE  
Principal  
TGC Engineering, Inc.





**Harmon Rita T.**

---

**From:** Harmon Rita T.  
**Sent:** Wednesday, October 21, 2015 4:13 PM  
**To:** 'tgcengineering@aol.com'  
**Cc:** Biazar, Shahab  
**Subject:** Garcia's Kitchen Food Production and Warehouse  
**Attachments:** J13D096\_BP\_Appr.pdf

Mr. Johnston,

The following is a summary of what was discussed on the phone:

- 1) This Grading and Drainage Plan (G&D) that was approved has a stamp date of 9-8-14
- 2) All previous submittals had substantial issues and there were many comments that had to be addressed.
- 3) The G&D that was submitted for the Temporary C.O. did not show any as-built information, only a letter from Jake Bordenave, saying that it drained in substantial compliance. The G&D submitted had a stamp date of 4-16-14 which was 4 submittals before the final approved submittal, so it had significant issues that had to be worked out. Jake's submittal also had another G&D sheet C1.1, which showed grading and paving for the northern part of the site. This sheet was never submitted to Hydrology for review or approval – nor is there a stamp date.
- 4) It is possible that the contractor worked off of the 4-16-14 plan, and the unapproved C1.1 plan.
- 5) The G&D plan submitted for Permanent C.O. is the same plan set that Jake Bordenave submitted. It is not the approved plan. It does however show as-built information.
- 6) The Plan Reviewer went to inspect the site for C.O. and took pictures. It appears the northern part of the site has been graded and paved without a permit. Those same pictures show that the paved area is much higher than the apartment complex and there is concern it will discharge to the front doors of the apartments. (This does not seem to be reflected on the as-built elevations shown.
- 7) The as-built information needs to be shown on the Final Approved plan which I am sending with this email.
- 8) I will go out to inspect the site to determine how the site was graded, and what issues there may be.

***Rita Harmon, P.E.***

*Senior Engineer*

Planning Department

Development & Review Services Division

600 2<sup>nd</sup> St. NW, Suite 201

Albuquerque, NM 87102

t 505-924-3695

f 505-924-3864

• Thompson will submit the as-built into ~~to~~ on the original approved plan. I will reapprove the temp CO for the south portion of site & the write final C.O. will not be issued for entire site until northern part built and. C.O. obtained for northern.

Hydro-

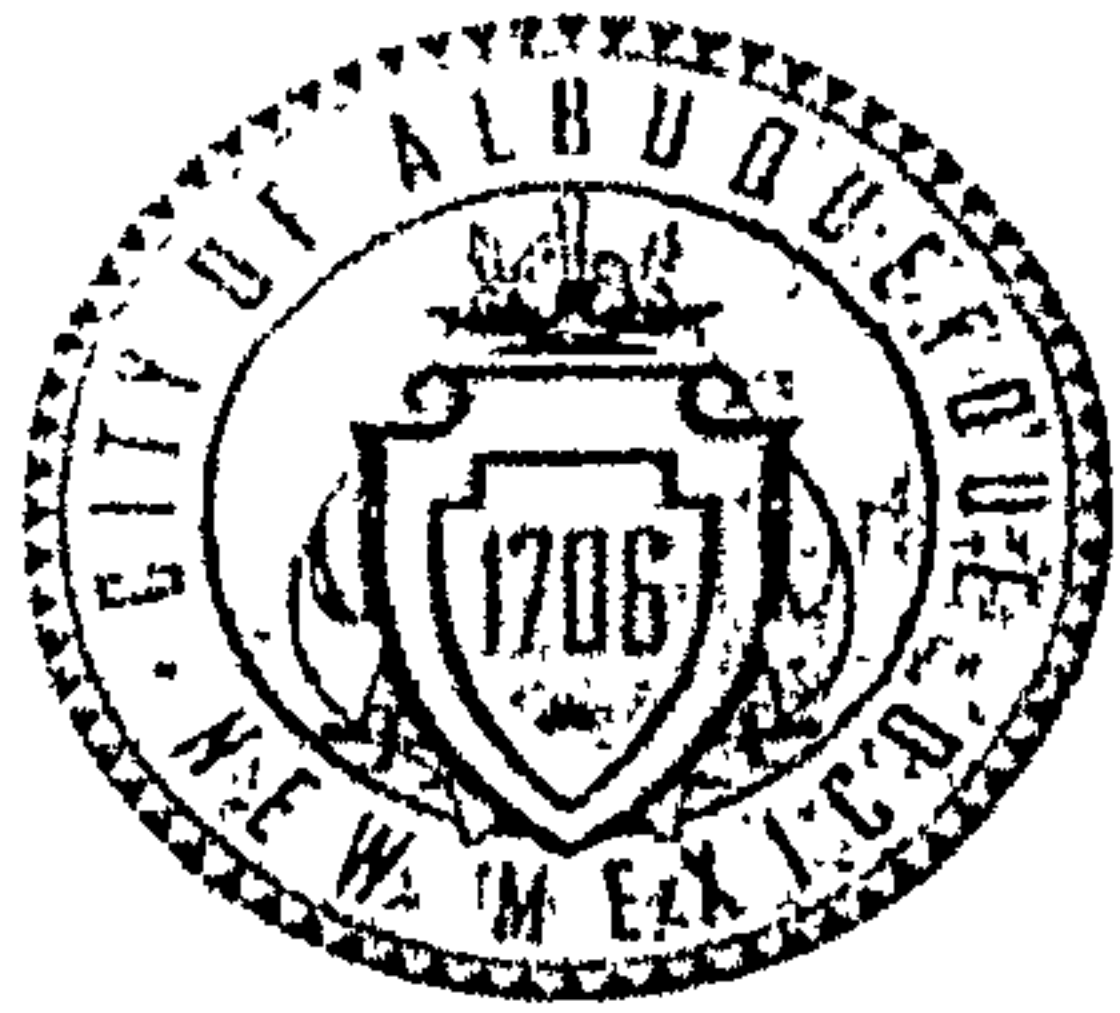
\*) I will accept C.I.1 w/ AS-built (delta should explain)

• w/ same submitted - opt plan of permission to drainage around apts

Both approved together

CO. for whole site





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

SOUTH Side

Verbal No on 10-14-15 Eng. Cent.  
since not approved plan.

SHT. C1.1 which is  
part of this submittal  
moved to North Site.

Project Title: Garcia's Kitchen Food Production & Warehouse Building Permit #: \_\_\_\_\_ City Drainage # J13D096  
DRB#: 1004667 EPC#: 1004667 Work Order#: \_\_\_\_\_  
Legal Description: Lots 1 & 2 Garcia Properties Development  
City Address: 1736 Central Avenue, SW  
Engineering Firm: TGC Engineering Inc Contact: Thomas D. Johnston, PS, PE  
Address: 330 Louisiana Blvd NE, Albuquerque, NM 87108  
Phone#: 505-266-7256 Fax#: 505-255-2887 E-mail: tcengineering@aol.com  
Owner: AG & Five LLC Contact: Dan Garcia  
Address: 1113 4th Street, NW, Albuquerque, NM 87102  
Phone#: 505-362-2753 Fax#: \_\_\_\_\_ E-mail: dan@garciaskitchen.com  
Architect: J.S. Rogers Architects PC Contact: \_\_\_\_\_  
Address: 821 Mountain Road, NW, Albuquerque, NM 87102  
Phone#: 505-247-1168 Fax#: 505-247-0262 E-mail: info@jsrogersarchitects.com  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

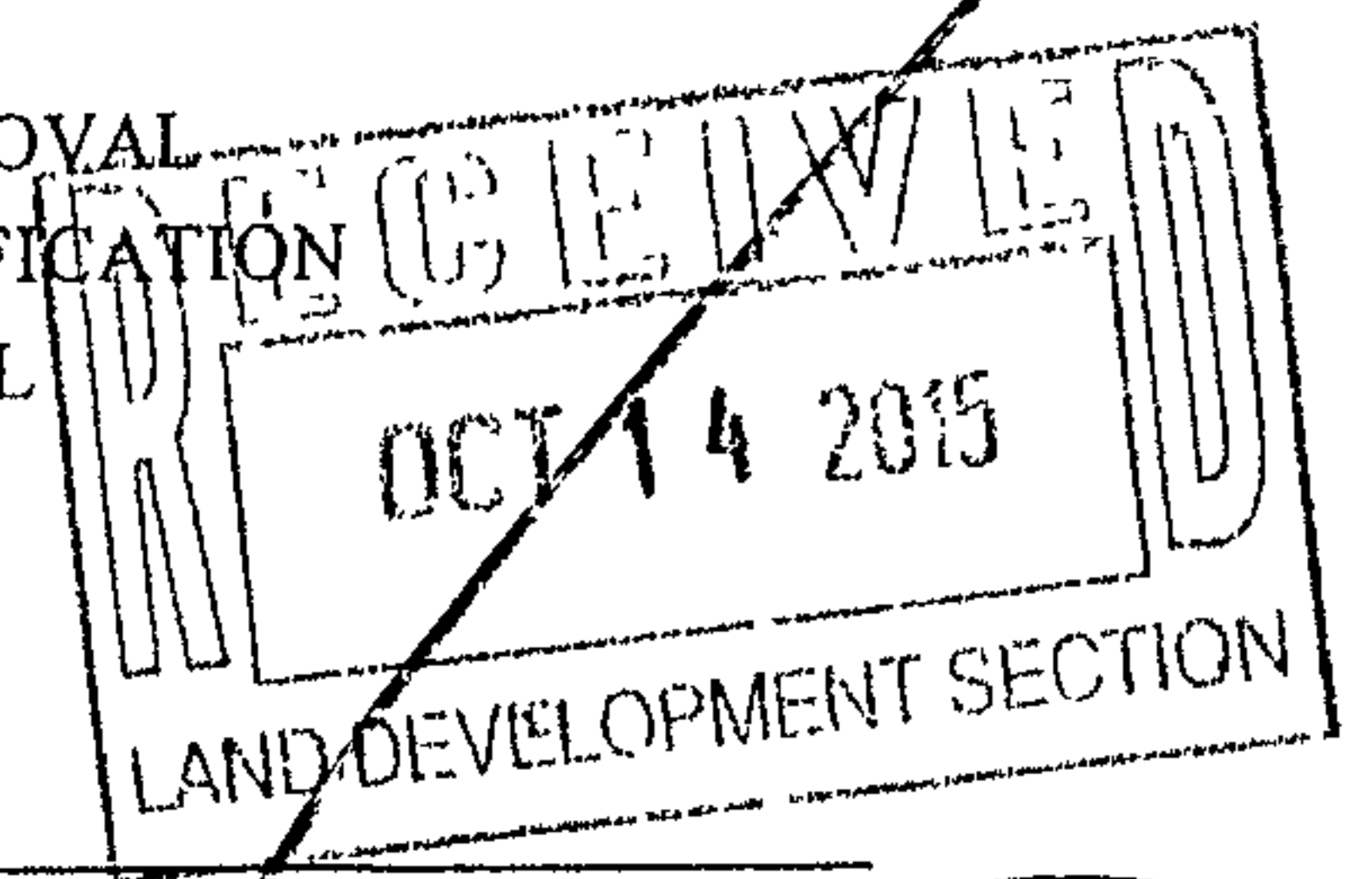
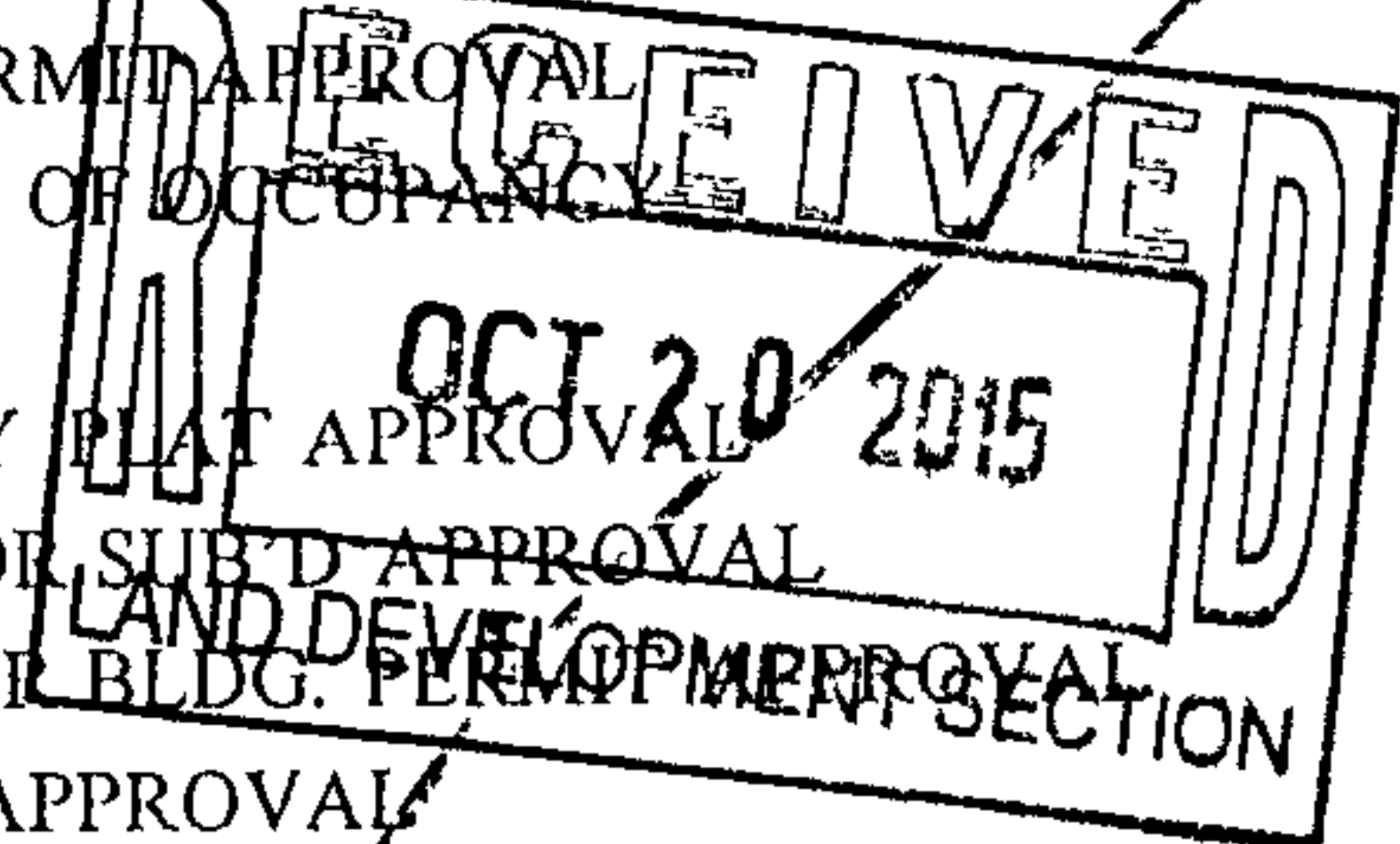
- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

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☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
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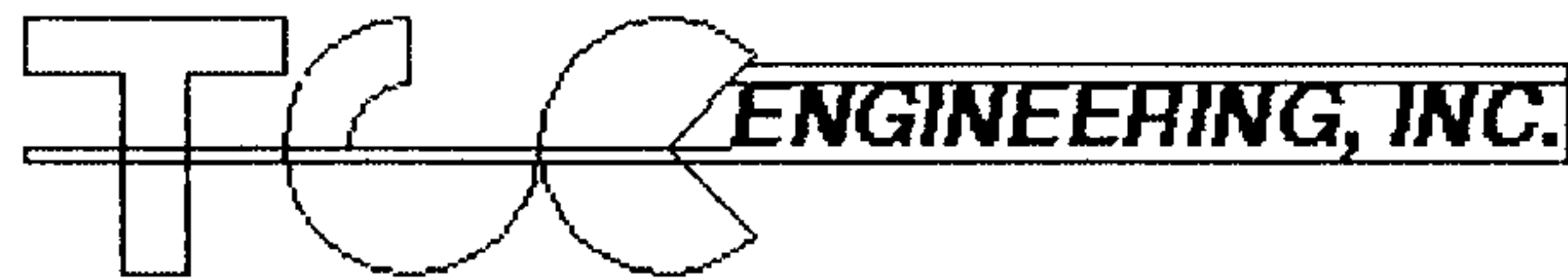
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 14, 2015

By: [Signature]

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED. \_\_\_\_\_

Resubmitted  
and 11-3/20



**330 LOUISIANA BLVD. NE - ALBUQUERQUE, NM 87108-2062**  
**(505) 266-7256 Fax: (505) 255-2887 - email: TGCENGINEERING@aol.com**

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October 14, 2015

City of Albuquerque Hydrology  
600 2<sup>nd</sup> Street NW  
Plaza Del Sol Building  
Albuquerque, NM 87102

RE: Garcia's Kitchen Food Production & Warehouse Final Certificate of Occupancy

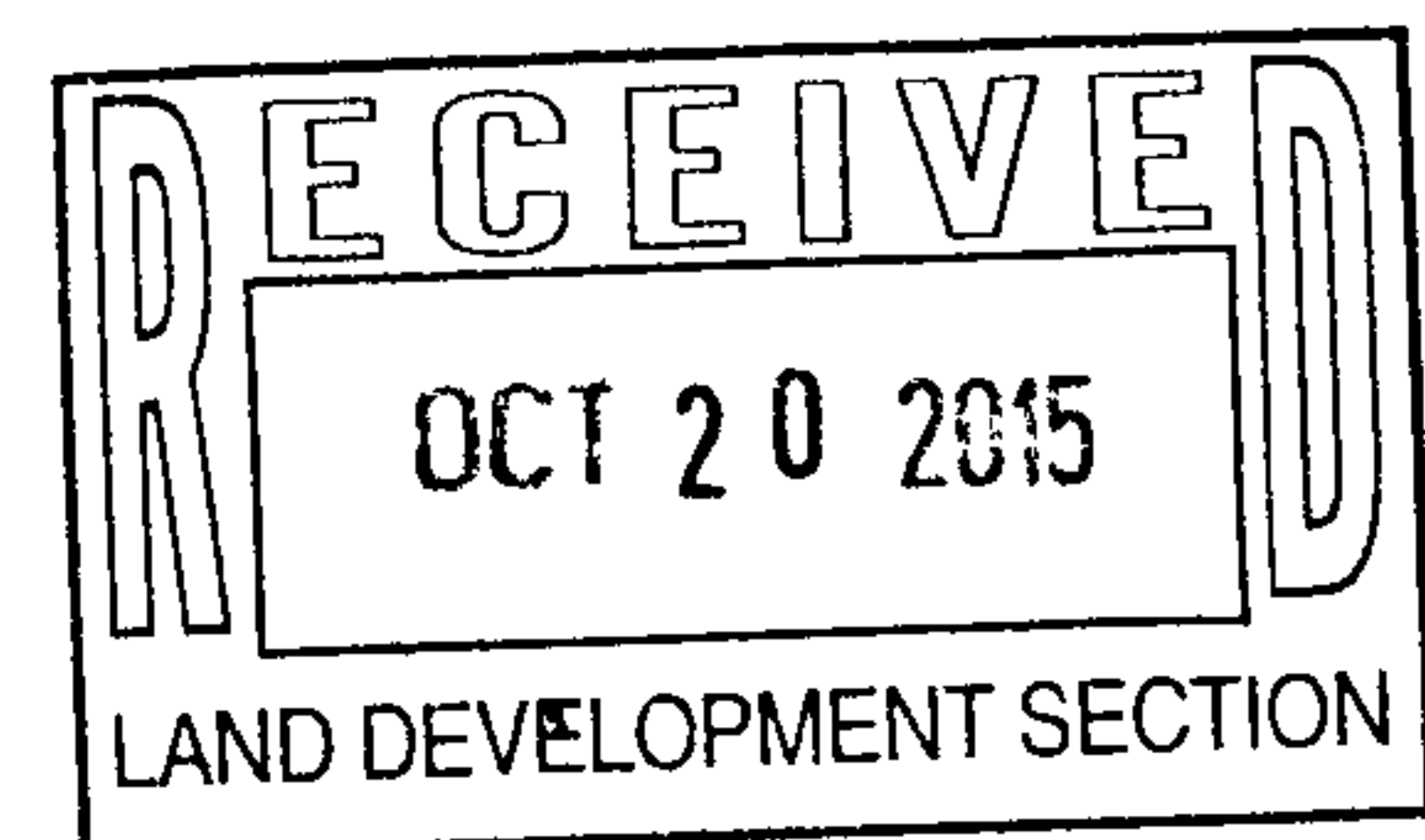
To Whom It May Concern:

I have been brought in to complete the Certificate of Occupancy and as-builts for the Garcia's Kitchen Food Production & Warehouse. The contractor made some changes to the site to facilitate drainage into the ponding areas. The final construction of this site is in substantial compliance with the grading plan prepared by Martin Garcia, NMPE 11767, dated April 16, 2014.

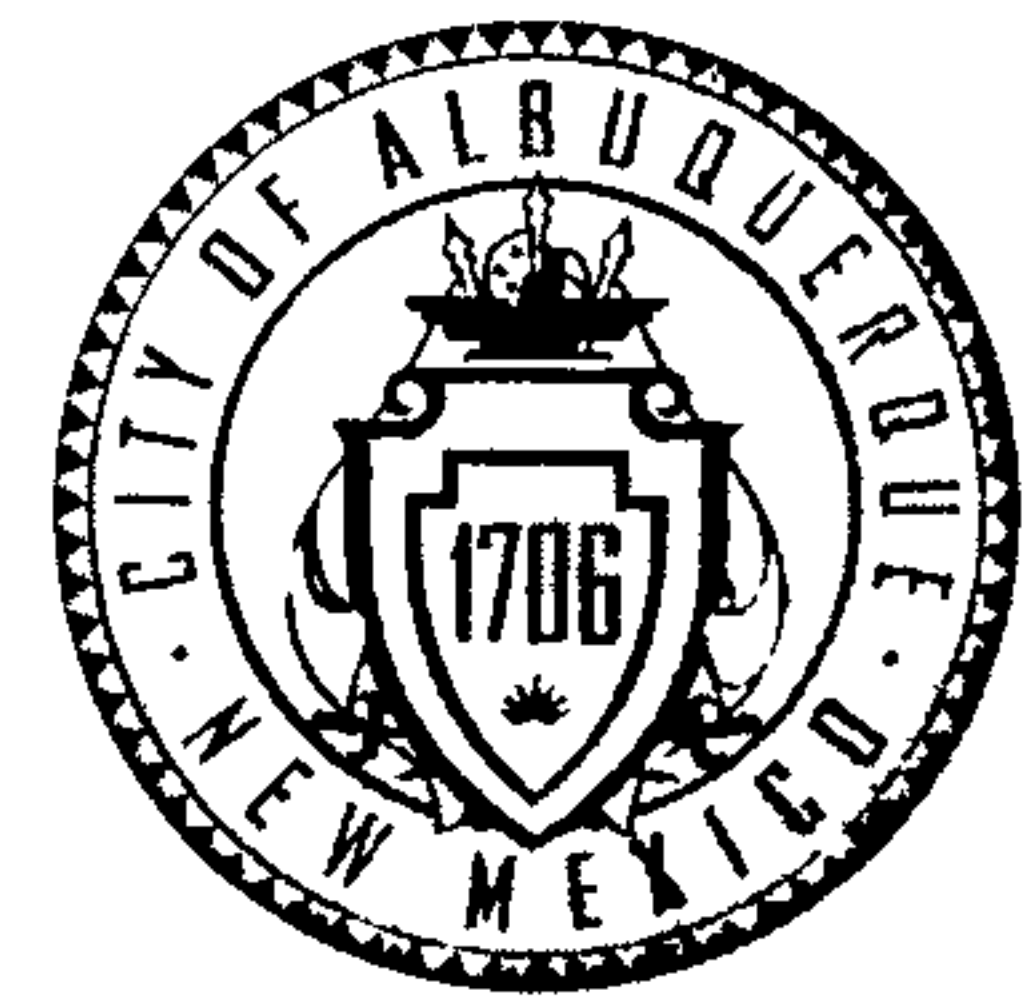
Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

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Thomas Johnston, PE  
Principal  
TGC Engineering, Inc.



# CITY OF ALBUQUERQUE



October 9, 2015

Jake Bordenave, P.E.  
Bordenave Designs  
PO Box 91194  
Albuquerque, New Mexico 87109

**RE: Garcia's Kitchen  
1736 Central Ave NW  
Request 180 Day Temporary C.O. – Accepted  
Engineers Stamp Date 4/16/14 (J13D096)  
Certification Dated (no date)**

Dear Mr. Bordenave,

Based upon the information provided in your certification received 10/8/2015, the 180 day temporary CO requested for this site is acceptable by hydrology.

PO Box 1293

If you have any questions you can contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

Sincerely,

New Mexico 87103

Rita Harmon, P.E.  
Senior Engineer  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

RR/RH  
C: File





October 7, 2015

City of Albuquerque  
Planning Dept., Hydrology Development Section  
PO Box 1293  
Albuquerque, NM 87102

Attn: Rita Harmon PE  
cc: Shahab Biazar  
Re: J13/D096

This letter and one copy each of two grading and drainage plan sheets are being submitted to define the current conditions for the site located at 1736 Central Ave. SW. The purpose of the submittal is to request a 30 day Temporary Certificate of Occupancy.

I am not the Design Engineer of for the project but was hired by the Owner to provide Construction Observation for onsite paving as well as the construction of City Work Order Project No. 752085 (primarily ABCWUA utility work). The construction items on the Work Order have been completed and accepted by ABCWUA. The permitted site work is complete with the exception a portion of the landscaping and some minor paving and grading at the "Existing Apartments" shown on Sheet C-1.1. The drainage systems (pond, sump pump and outlet to Central Ave. are in place and operational. I have observed the entire system during the recent rains and hereby Certify that the present drainage system is constructed in substantial compliance with and operates in the manner intended by the Grading and Drainage plan prepared by Mr. Martin Garcia (PE and approved on September 08, 2014.

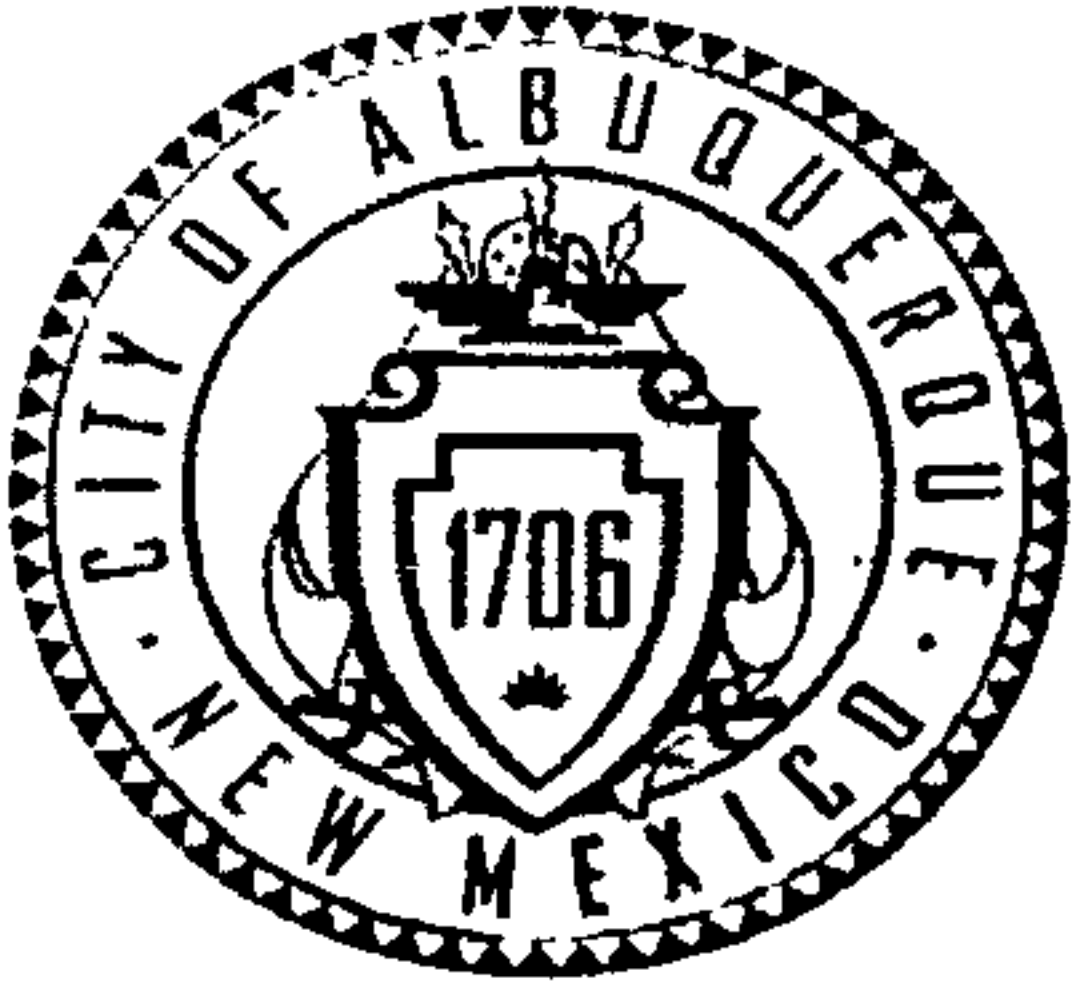
The reason for the request for a temporary CO is that while the building is complete there is a need to retain a new surveying firm (the design/construction survey firm is no longer a part of the team) to obtain as-built survey information. This information will also include the work shown on Sheet C-1.1. This sheet was not a part of the permit set. According to the project Architect it was a maintenance item and didn't need to be a part of the site or grading and drainage plans. The Owner wishes to have use of his facilities while the new Engineer/Survey team prepares the total as-built plan and the previously cited minor construction items are installed.

Sincerely,

Jean J (Jake) Bordenave

P.O. Box 91194  
Albuquerque, NM 87199-1194  
Phone (505)823-1344 Fax (505)821-9105 Cell 480-6812  
Email [jakebordenave@comcast.net](mailto:jakebordenave@comcast.net)

87h 265



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Garcia's Kitchen Building Permit #: \_\_\_\_\_ City Drainage #: J13/D096

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lots 1 & 2 Garcia's Properties and Tract 132, MRGCD Map No. 28

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Engineering Firm: Bordenave Designs Contact: Jake Bordenave

Address: P O Box 91194 Albuquerque, NM 87199

Phone#: 505-823-1344 Fax#: 505-821-9105 E-mail: jakebordenave@comcast.net

Owner: Garcia's Kitchen Contact: Dan Garcia

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Architect: J S Rogers Contact: Jim Rogers

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Phone#: 505-247-1168 Fax#: 505-247-0262 E-mail: info@jsrogersarchitects.com

Surveyor: Wayjohn Surveying Contact: Thomas Johnston

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Contractor: Freeman's Finest Construction Contact: Earl Freeman

Address: 1236 Peyton Rd. Los Lunas, NM 87031

Phone#: 505-80-1796 Fax#: 505-866-6448 E-mail: eagleeye270@aol.com

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

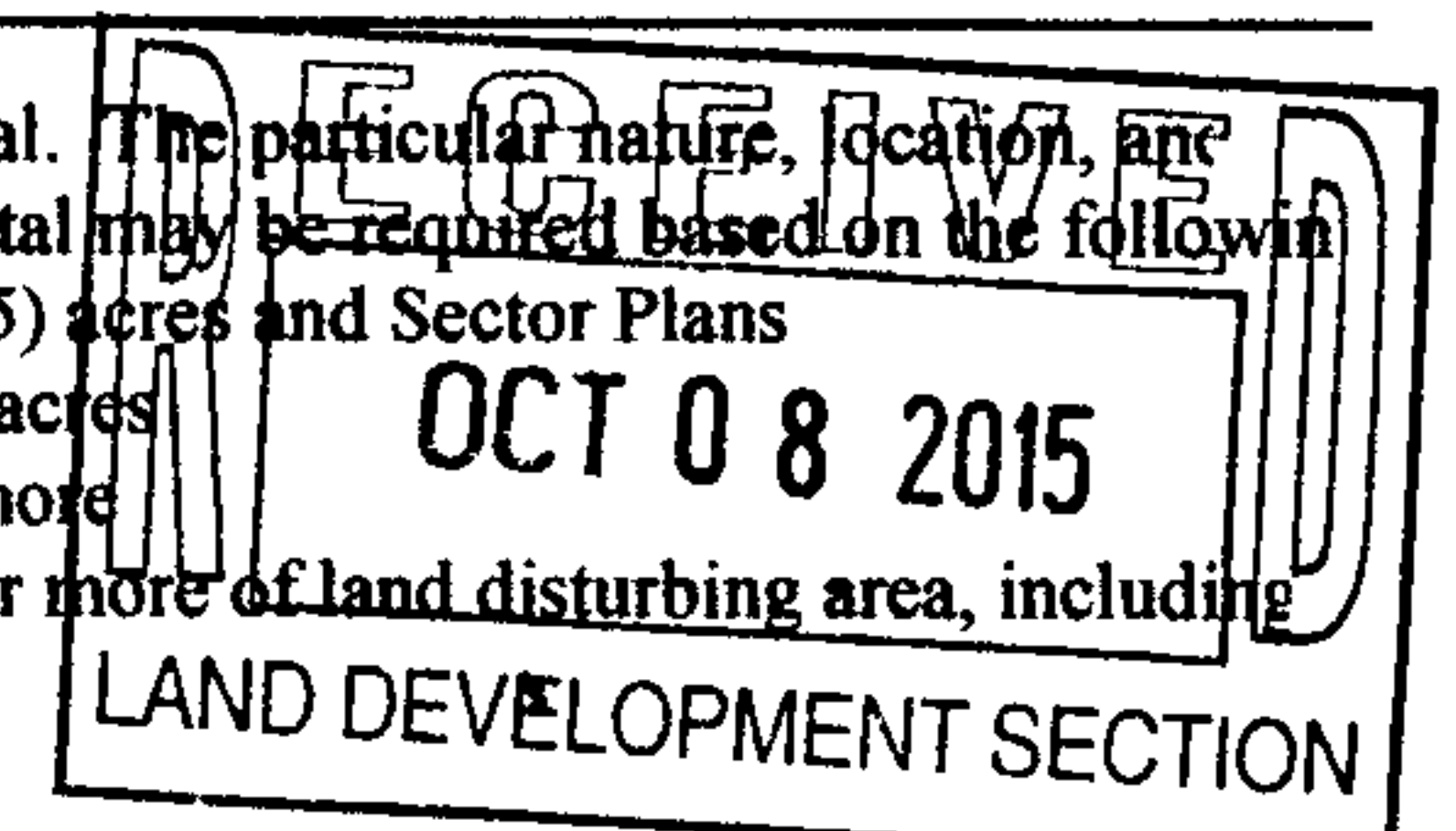
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (~~PERM~~) **TEMP**
- ☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 10/07/15 By: Jake Bordenave

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

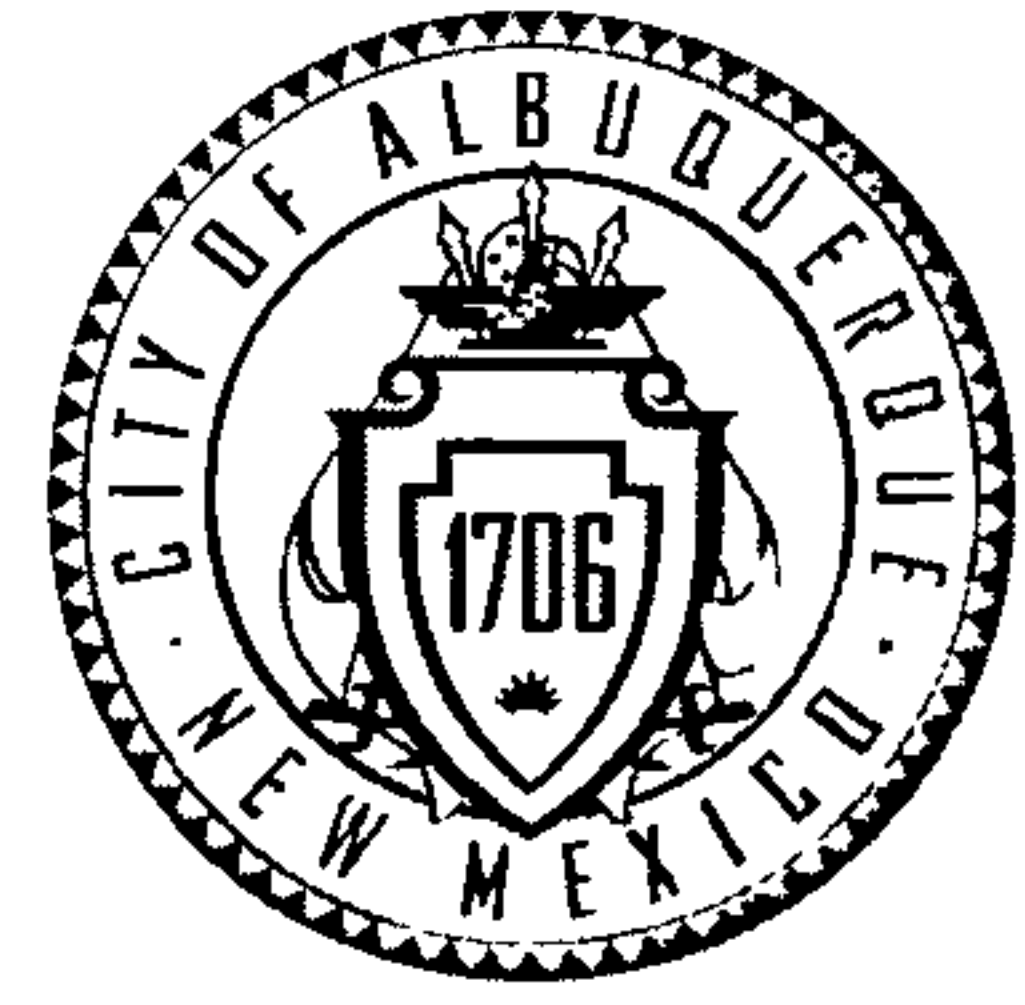


*Temp CO OK per shahab.*



# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



September 22, 2014

Martin J. Garcia, P.E.  
Anchor Engineering, LLC  
1035 South Bosque Loop  
Bosque Farms, NM 87102

Richard J. Berry, Mayor

**Re: Garcias Kitchen Food Prep & Catering  
Grading and Drainage Plan  
Engineer's Stamp Date: 9-8-14 (J13/D096)**

Dear Mr. Garcia:

Based upon the information provided in your submittal received 9-9-14, the above referenced plan is approved for Building Permit.

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit or Work Order.

PO Box 1293 If you have any questions, you can contact me at 924-3695.

Albuquerque

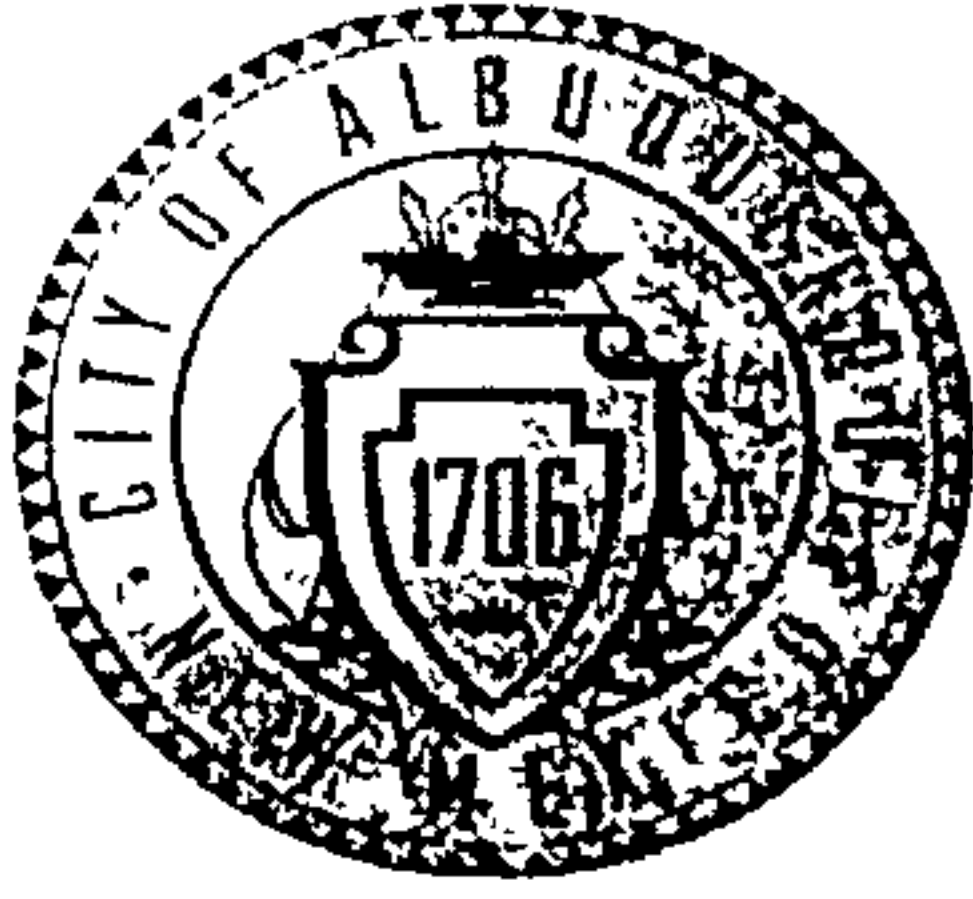
New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email, *MONICA ORTIZ*



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

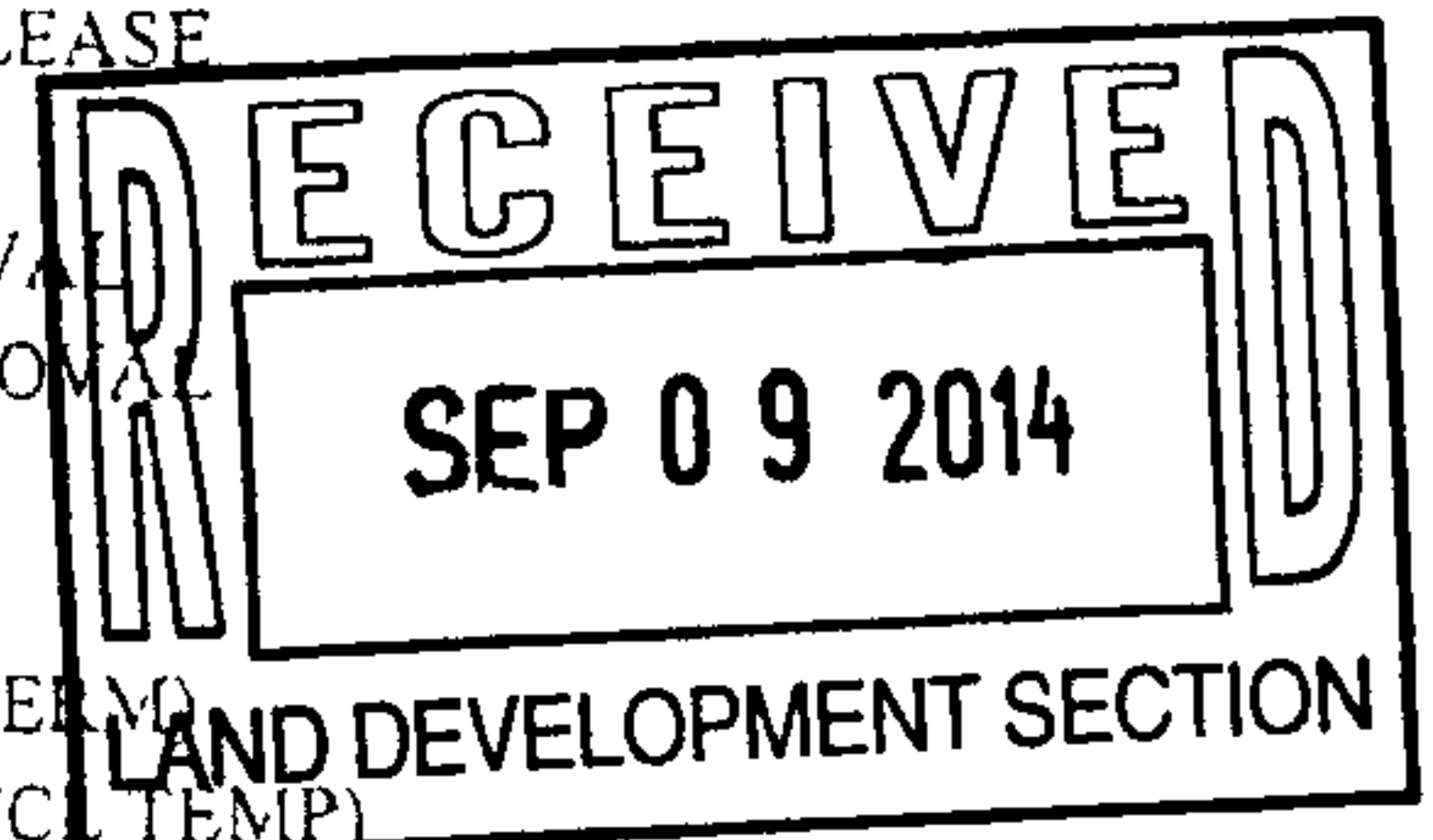
Project Title:	<u>Garcia's Kitchen</u>	City Drainage #	<u>J13 D096</u>
DRB#:	<u>1004677</u>	EPC#:	<u></u>
Legal Description:	<u>Lots 1 and 2 Garcia Properties Development</u>		
City Address	<u>1736 Central Ave S.W. Albuquerque, NM 87102</u>		
Engineering Firm:	<u>Anchor Engineering</u>	Contact	<u>Martin J. Garcia</u>
Address:	<u>1035 S. Bosque Loop Bosque Farms, NM 87068</u>		
Phone#	<u>505.362.1530</u>	Fax#:	<u></u>
		E-mail:	<u>martin@anchoreng.net</u>
Owner:	<u>Garcia's Kitchen</u>	Contact:	<u>Dan Garcia</u>
Address:	<u>1736 Central Ave S.W. Albuquerque, NM 87102</u>		
Phone#	<u>505.842.0273</u>	Fax#	<u></u>
		E-mail:	<u></u>
Architect:	<u></u>	Contact:	<u></u>
Address:	<u></u>		
Phone#	<u></u>	Fax#:	<u></u>
		E-mail:	<u></u>
Surveyor:	<u>North Star Surveying</u>	Contact	<u></u>
Address:	<u>1240 Sunset Rd S.W.</u>		
Phone#	<u>505.980.0465</u>	Fax#	<u></u>
		E-mail:	<u></u>
Contractor:	<u></u>	Contact	<u></u>
Address:	<u></u>		
Phone#	<u></u>	Fax#:	<u></u>
		E-mail	<u></u>

### TYPE OF SUBMITTAL:

- |                                     |                                       |
|-------------------------------------|---------------------------------------|
| <input type="checkbox"/>            | DRAINAGE REPORT                       |
| <input type="checkbox"/>            | DRAINAGE PLAN 1st SUBMITTAL           |
| <input type="checkbox"/>            | DRAINAGE PLAN RESUBMITTAL             |
| <input type="checkbox"/>            | CONCEPTUAL G & D PLAN                 |
| <input checked="" type="checkbox"/> | GRADING PLAN                          |
| <input type="checkbox"/>            | EROSION & SEDIMENT CONTROL PLAN (ESC) |
| <input type="checkbox"/>            | ENGINEER'S CERT (HYDROLOGY)           |
| <input type="checkbox"/>            | CLOMR/LOMR                            |
| <input type="checkbox"/>            | TRAFFIC CIRCULATION LAYOUT (TCL)      |
| <input type="checkbox"/>            | ENGINEER'S CERT (TCL)                 |
| <input type="checkbox"/>            | ENGINEER'S CERT (DRB SITE PLAN)       |
| <input type="checkbox"/>            | ENGINEER'S CERT (ESC)                 |
| <input type="checkbox"/>            | SO-19                                 |
| <input type="checkbox"/>            | OTHER (SPECIFY)                       |

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- |                                     |                                     |
|-------------------------------------|-------------------------------------|
| <input type="checkbox"/>            | SIA/FINANCIAL GUARANTEE RELEASE     |
| <input type="checkbox"/>            | PRELIMINARY PLAT APPROVAL           |
| <input type="checkbox"/>            | S. DEV. PLAN FOR SUB'D APPROVAL     |
| <input type="checkbox"/>            | S. DEV. FOR BLDG. PERMIT APPROVAL   |
| <input type="checkbox"/>            | SECTOR PLAN APPROVAL                |
| <input type="checkbox"/>            | FINAL PLAT APPROVAL                 |
| <input type="checkbox"/>            | CERTIFICATE OF OCCUPANCY (PERM)     |
| <input type="checkbox"/>            | CERTIFICATE OF OCCUPANCY (TCL TEMP) |
| <input type="checkbox"/>            | FOUNDATION PERMIT APPROVAL          |
| <input checked="" type="checkbox"/> | BUILDING PERMIT APPROVAL            |
| <input type="checkbox"/>            | GRADING PERMIT APPROVAL             |
| <input type="checkbox"/>            | PAVING PERMIT APPROVAL              |
| <input type="checkbox"/>            | WORK ORDER APPROVAL                 |
| <input type="checkbox"/>            | GRADING CERTIFICATION               |



- |                          |                      |
|--------------------------|----------------------|
| <input type="checkbox"/> | SO-19 APPROVAL       |
| <input type="checkbox"/> | ESC PERMIT APPROVAL  |
| <input type="checkbox"/> | ESC CERT. ACCEPTANCE |
| <input type="checkbox"/> | OTHER (SPECIFY)      |

WAS A PRE-DESIGN CONFERENCE ATTENDED

☐ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 9/9/2014

By Martin J. Garcia

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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1035 S. Bosque Loop, Bosque Farms, NM 87068  
505.362.1530

## TRANSMITTAL LETTER

**TO:** City of Albuquerque

**ATTN:** Rita Harmon

**PROJECT:** Garcia's Kitchen J13 D096

**DATE:** September 9, 2014

**WE TRANSMIT:**

☒ Herewith                      ☐ Under Separate Cover Via                      ☐ In Accordance With Your Request

**FOR YOUR:**

☐ Approval                      ☐ Distribution to parties                      ☐ Information  
☒ Review                      ☐ Record Use  
☐ Use                      ☐ Other \_\_\_\_\_

**THE FOLLOWING:**

☒ Drawings                      ☐ Shop Drawings Prints                      ☐ Photo Files  
☐ Specifications                      ☐ Shop Drawing Reproducibles                      ☐ Change Order  
☐ Submittal                      ☐ Shop Drawing Mark-ups                      ☐ See Description Below

DATE	QTY.	DESCRIPTION	ACTION CODE
9.8.2014	2	Grading and Drainage Plan and Details	A

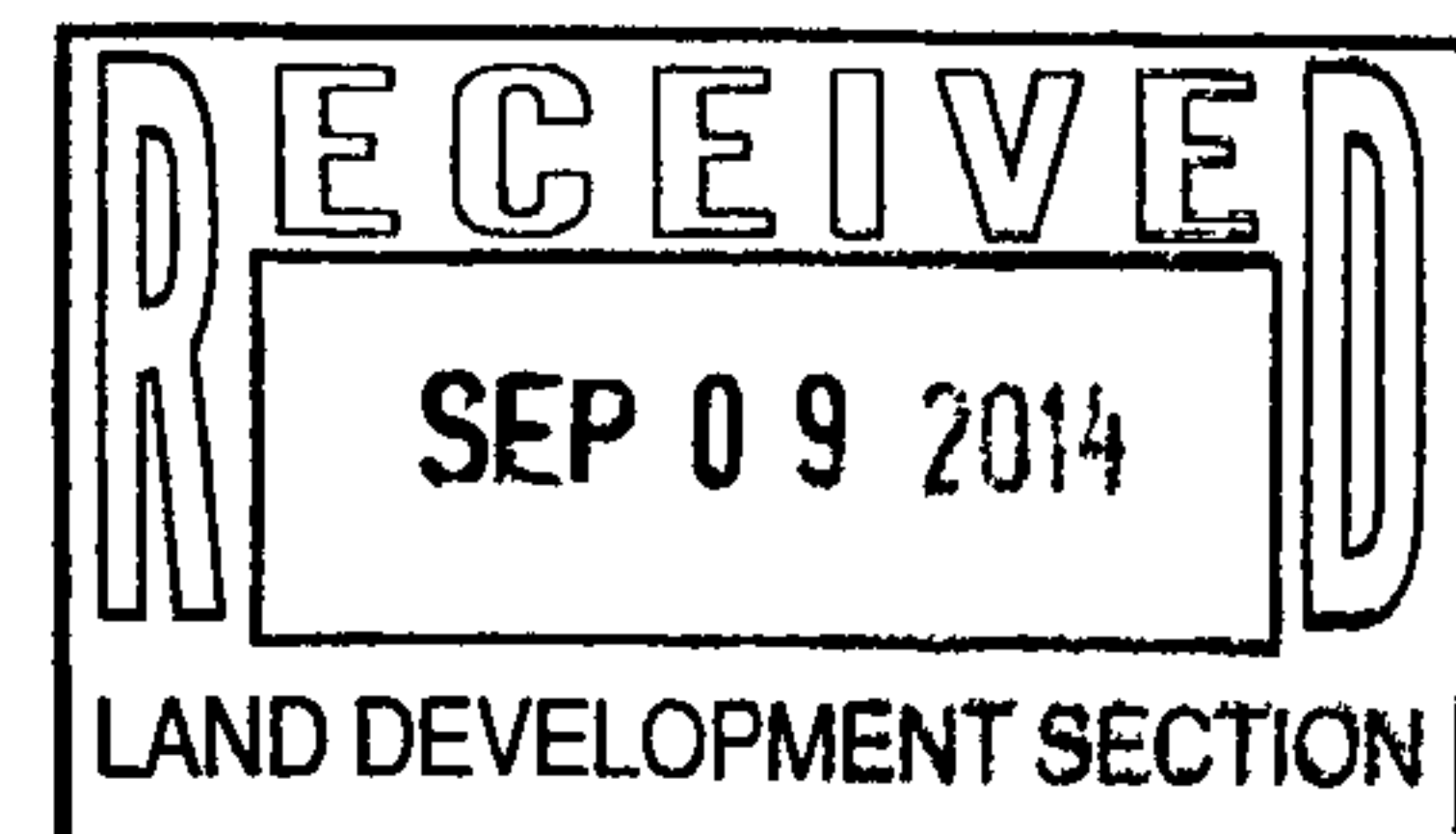
**ACTION CODE:**

- A. Action indicated on item transmitted                      D. For signature and forwarding  
B. No action required                      E. See remarks below  
C. For signature and return

**REMARKS:**

**Copies To:** 12-016

**By:** fkp



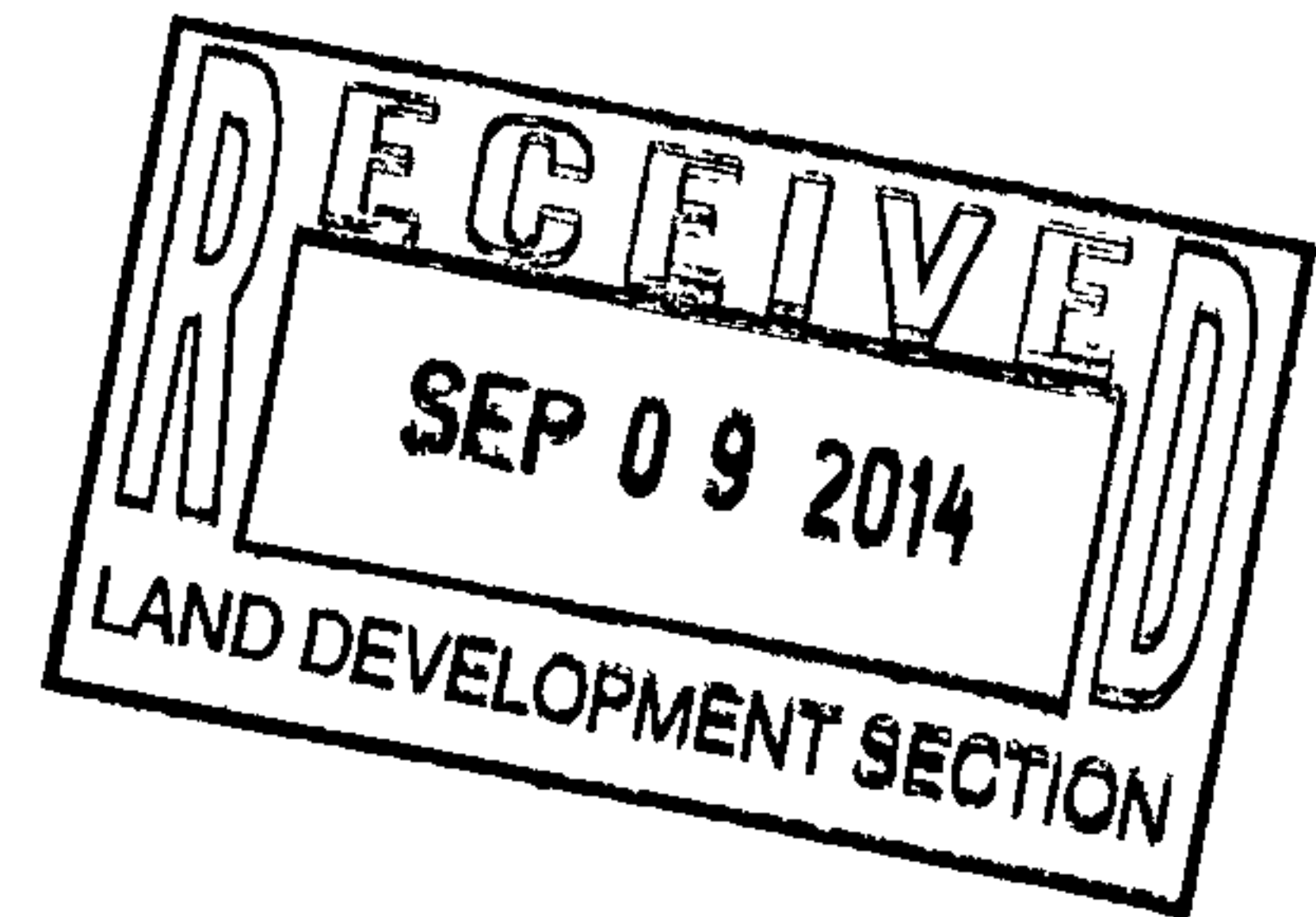




1035 South Bosque Loop Bosque Farms, NM 87068  
505-362-1530 fax 505-869-9195

August 20, 2014

Ms. Rita Harmon, PE  
Senior Engineer Planning Department  
City of Albuquerque  
Development and Building Services  
600 Second Street NW  
Albuquerque, NM 87102



RE: Re-submittal of Grading and Drainage Plan for Garcia's Kitchen Food Prep & Catering J13/D096

Dear Ms. Harmon,

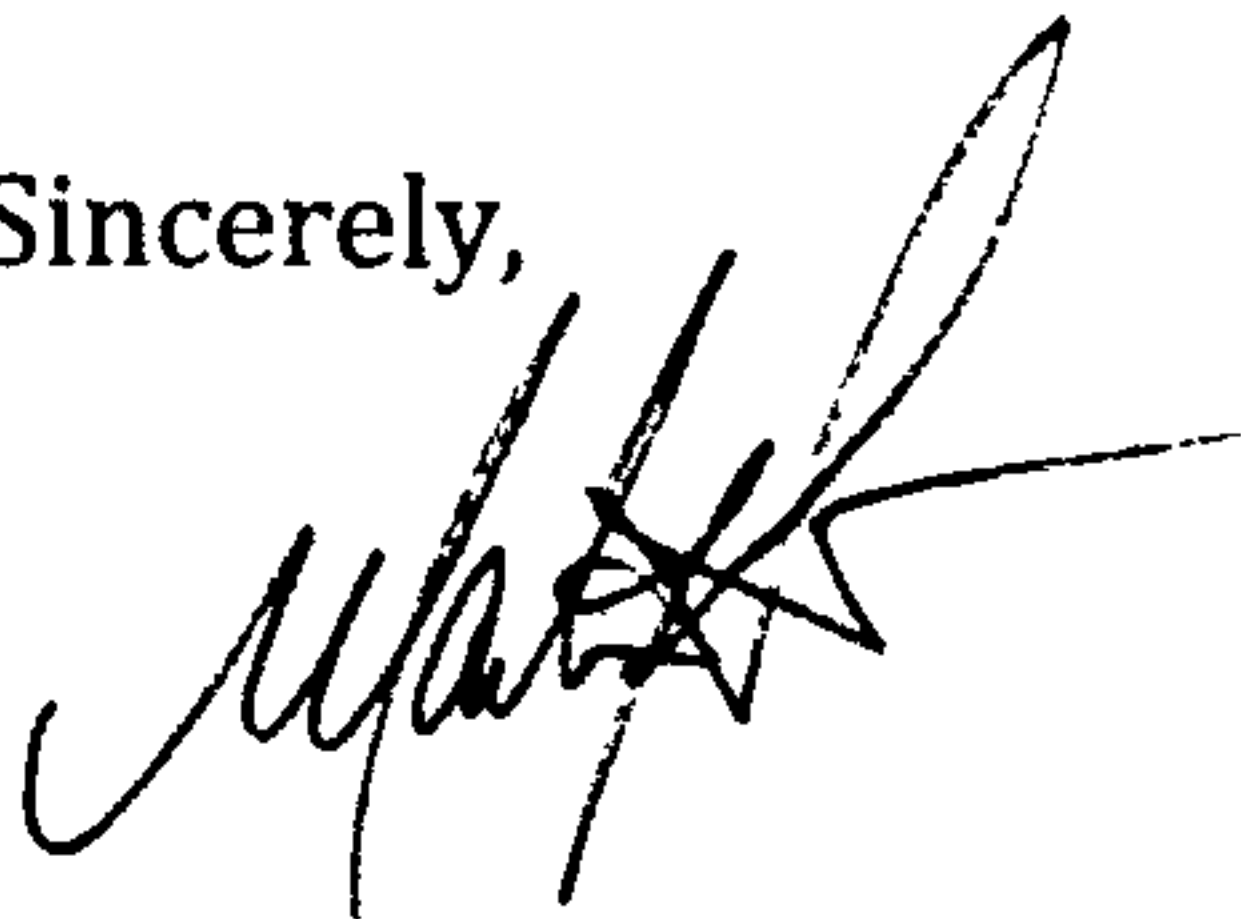
I am in receipt of your comments dated July 10, 2014 for this project and have the following responses to offer:

1. All Plans and Calculations need to be stamped by an Engineer. I am the engineer of record for this project and all plans have been stamped and signed by me.
2. Onsite flows from the existing restaurant and apartments must be accounted for. The proposed curb south of these existing structures does not allow roof runoff from these structures to drain to pond 2. The flows have been accounted for in the calculations; a swale has been added east of the apartments to assure the runoff goes into pond 2. In addition a curb cut has been added to allow for drainage to enter pond 2.
3. Roof runoff from the apartments appears to drain offsite to east and then reenter the property and drain to the south west, along with some amount of offsite flows. LIDAR contours support this and so this onsite/offsite flows need to be accounted for. In addition, it appears that a wall is to be built along west property boundary. How will flows from apartments reenter? Some of the runoff from the apartments goes offsite historically. This plan does not plan to modify this condition except to collect the runoff from the east side of the apartments into a swale and direct to the pond. Off site grading is not proposed.
4. Sections thru pond on East and West property boundaries need to be shown to indicate how flows will reenter, or how overflows will be contained on site. Sections have been added to plans. The overflow from the pond will be contained within the parking lot of the property. The ponds have been design to contain the 100yr 24 hr flow which is in excess of city requirements.

5. It appears that Pond #2 volume should be the total volume of both ponds #2 and #3 from the previous submittal. With a combined larger volume the WSEL will be lower. ~~Not correct.~~ The WSEL Elevation calculated for the previous submittal took into consideration the total volume of Ponds 2 and 3. The previous submittal missed the volume of pond #2 when the two were combined that has been corrected.
6. While a check valve is indicated on the plans, it is not clear where the check valve will be located. Indicate location of check valve. Also indicate what construction will be done thru Work Order and the CPN#. ~~The check valve location is shown on detail 1-C5 which shows it near the pump.~~ All the public utility work and the drivepad modifications on Central Boulevard will be done through work order. All other work is being done through the building permit process.
7. Details 1/C5 and 3/C5 show retaining walls that need to be designed, detailed, and dimensioned. ~~The retaining wall designs and details are included as part of the building permit submittal for the Garcias Food Preparation Facility Construction Plans.~~
8. Pump Cut sheets provided show general information but do not show where on the curve the pump will operate (which is typically shown on a system curve), nor are there supporting calculations. Please provide. Attached to this letter is the pump cut sheets with the system curve identifying where the pump is designed to operate.

I believe that we have addressed your comments and the plan is ready for approval of building permit approval. If you have any questions or require additional information, please call me at 505-362-1530.

Sincerely,

A handwritten signature in black ink, appearing to read 'Martin J. Garcia', with a stylized flourish at the end.

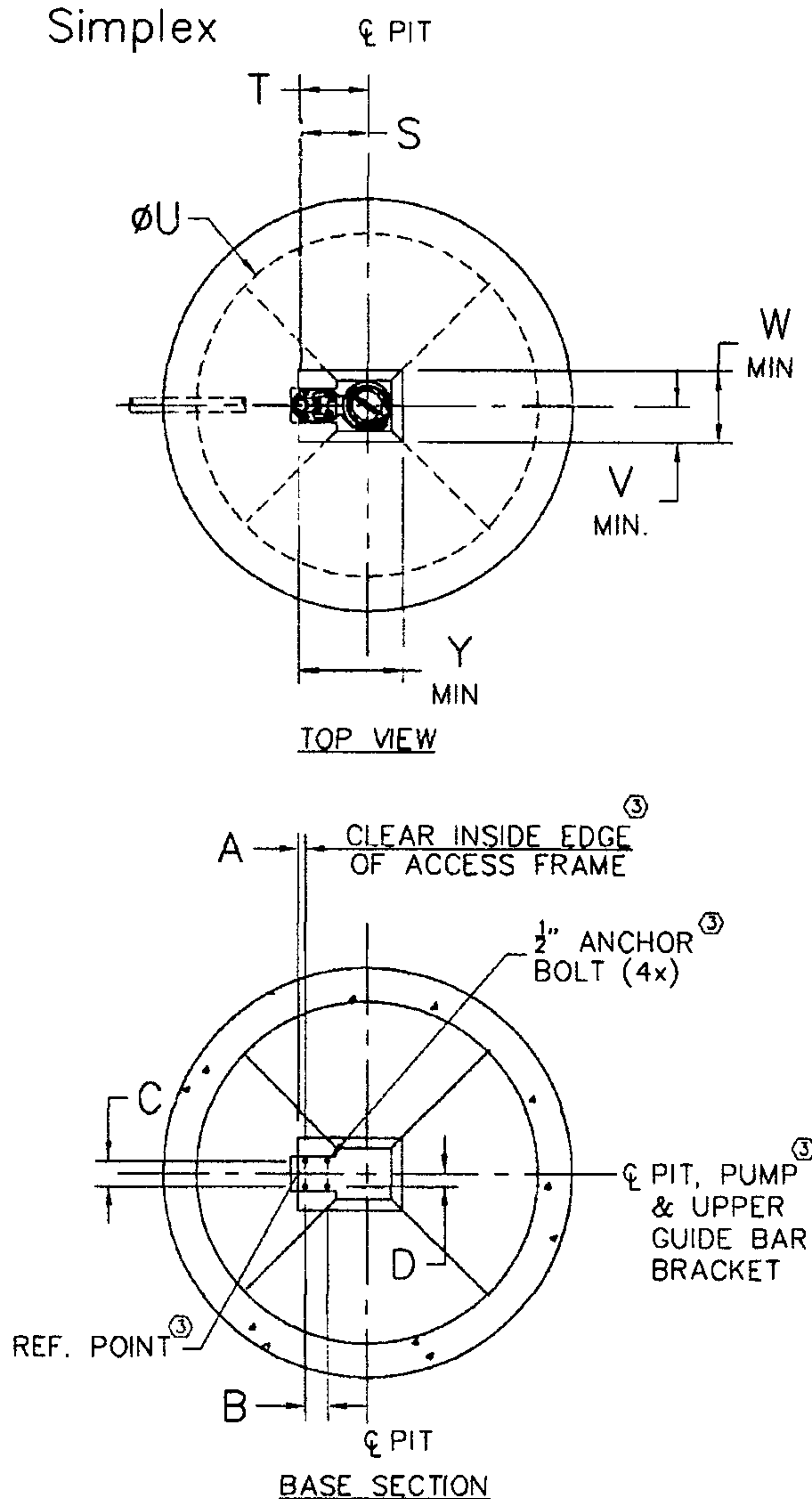
Martin J. Garcia, PE  
Anchor Engineering LLC

# CP-3068

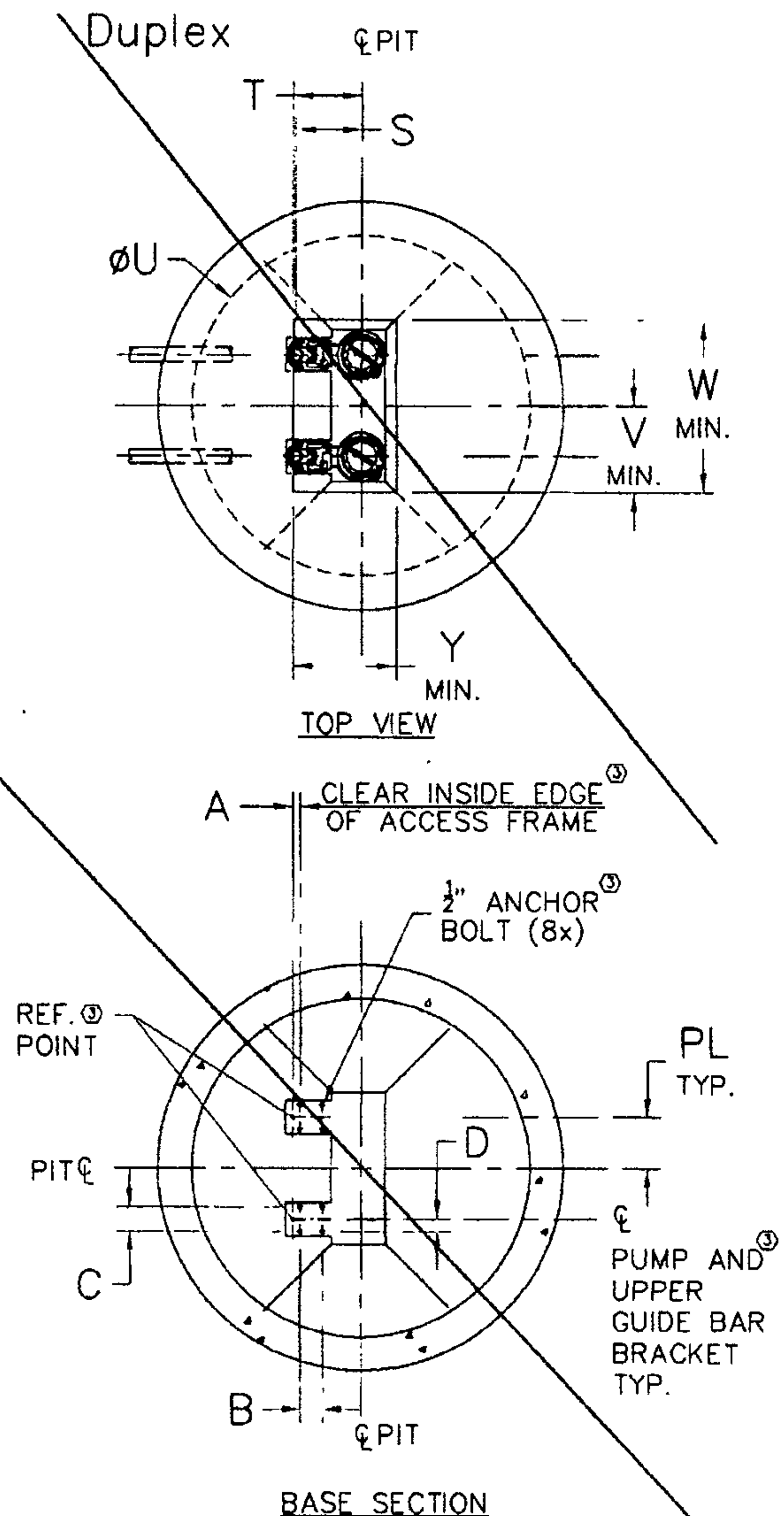
## NOTES:

1. CONFIGURATION AND DIMS. SHOWN ARE SUGGESTED REQUIREMENTS ONLY. ALL DETAILS, INCLUDING SIZING OF PIT, TYPE, LOCATION AND ARRANGEMENT OF VALVES AND PIPING, ETC. ARE TO BE SPECIFIED BY THE CONSULTING ENGINEER AND ARE SUBJECT TO THEIR APPROVAL.
2. REFERENCE GENERIC DUPLEX LIFT STATION LAYOUT.
3. LOCATE ANCHOR BOLTS USING CLEAR INSIDE EDGE OF ACCESS FRAME AND PUMP CENTERLINE AS REFERENCE POINT. BOLT LOCATIONS MUST BE HELD TO MAINTAIN EXACT POSITION OF PUMP TO ACCESS FRAME.

### Simplex



### Duplex



ALL DIMENSIONS ARE IN INCHES

NOM. SIZE	VERSION	SIMPLEX										DUPLEX									
		A	B	C	D	S	T	U	V	W	Y	S	T	U	PL	V	W	Y			
2"	HT	1 1/2	4	4 1/2	2 1/2	11 1/2	12 1/2	60	6 1/2	12 1/2	18 1/2	11 1/2	12 1/2	60	9	15 1/2	30 1/2	18 1/2			
3"	HT	2	5 1/2	4 1/2	2 1/2	14 1/2	12 1/2	60	6 1/2	12 1/2	18 1/2	14 1/2	12 1/2	60	9	15 1/2	30 1/2	18 1/2			

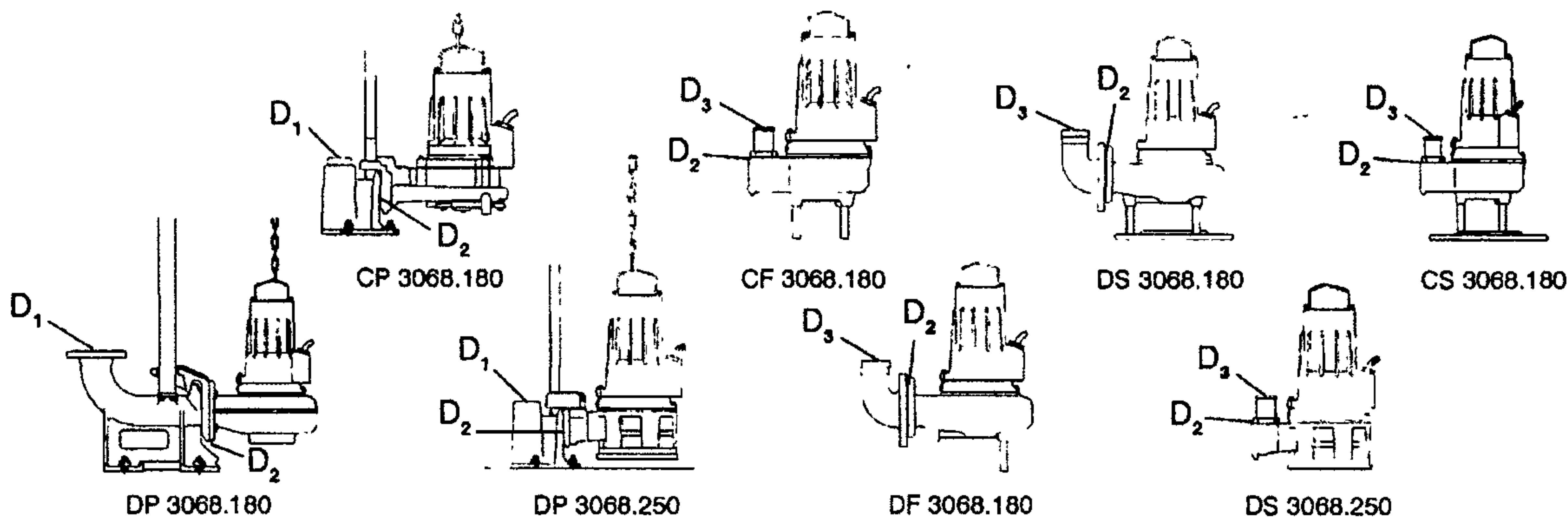


# C/D-3068

Verify Power


PUMP MODEL	IMPELLER CODE	HP RATING						VAC	D1	D2	D3
		CP	CF	CS	DP	DF	DS				
3068 3Ø	471 MT	--	--	--	3.2	3.2	3.2	200 230/460 575	*2-1/2 or *3"	*2-1/2 or *3"	3"
	472 MT 473 MT	--	--	--	2.4, 3.2	2.4, 3.2	2.4, 3.2				
	475 MT	--	--	--	2.4, 3.2	2.4, 3.2	2.4, 3.2		*2-1/2		
	481 MT 483 MT 484 MT	--	--	--	1.7 2.4 3.2	1.7 2.4 3.2	1.7 2.4 3.2	230/460	*2-1/2	*2" or *2-1/2	3"
	253 HT 255 HT	3.8	3.8	3.8	--	--	--	200 230/460 575	*2" or *3"	*2"	2"
	256 HT	2.7, 3.8	2.7, 3.8	2.7, 3.8	--	--	--				
	281 LT 283 LT	--	--	--	2.7	2.7	2.7	200 230/460 575	*2"	*1-1/2	1-1/2"

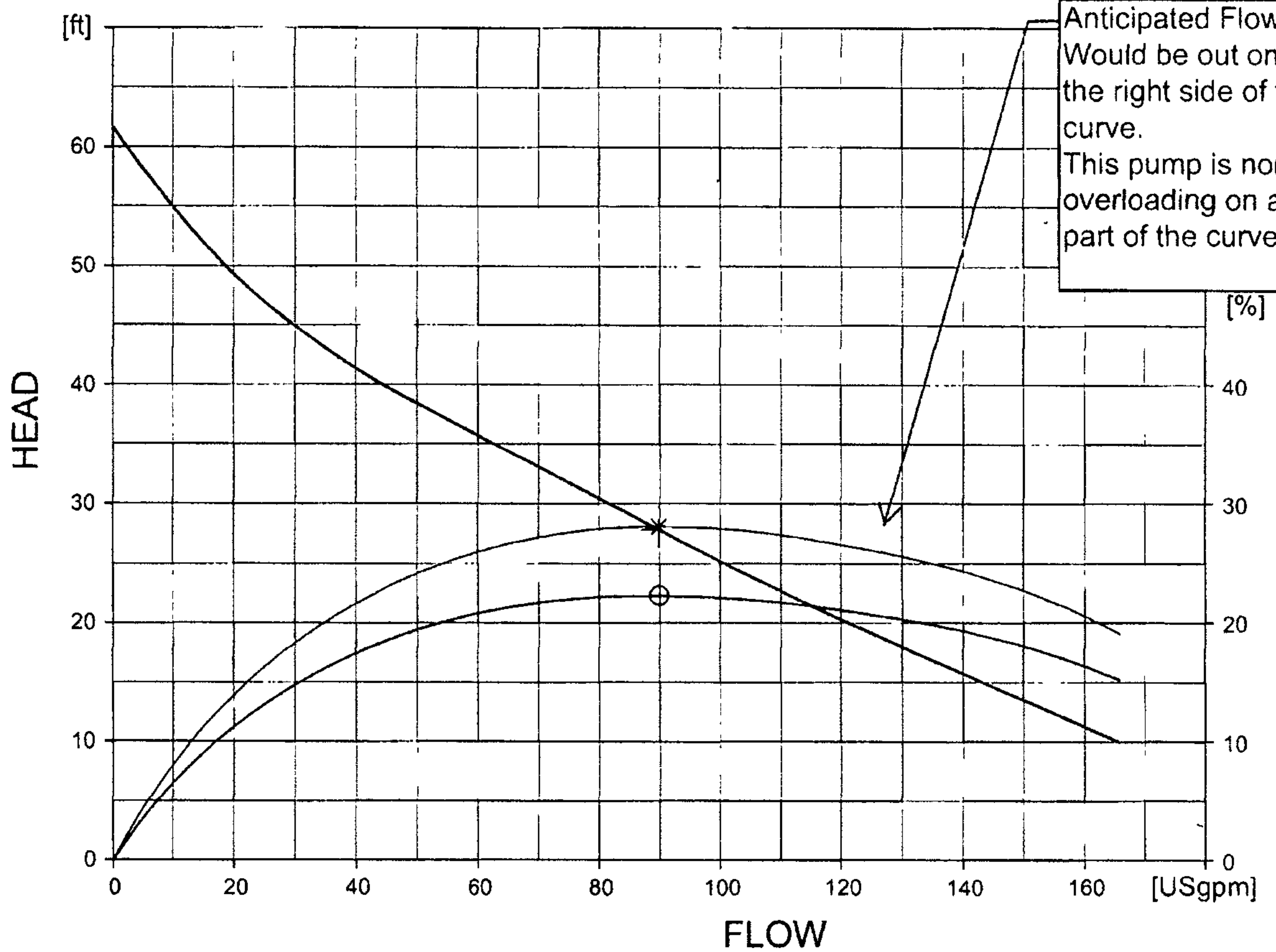
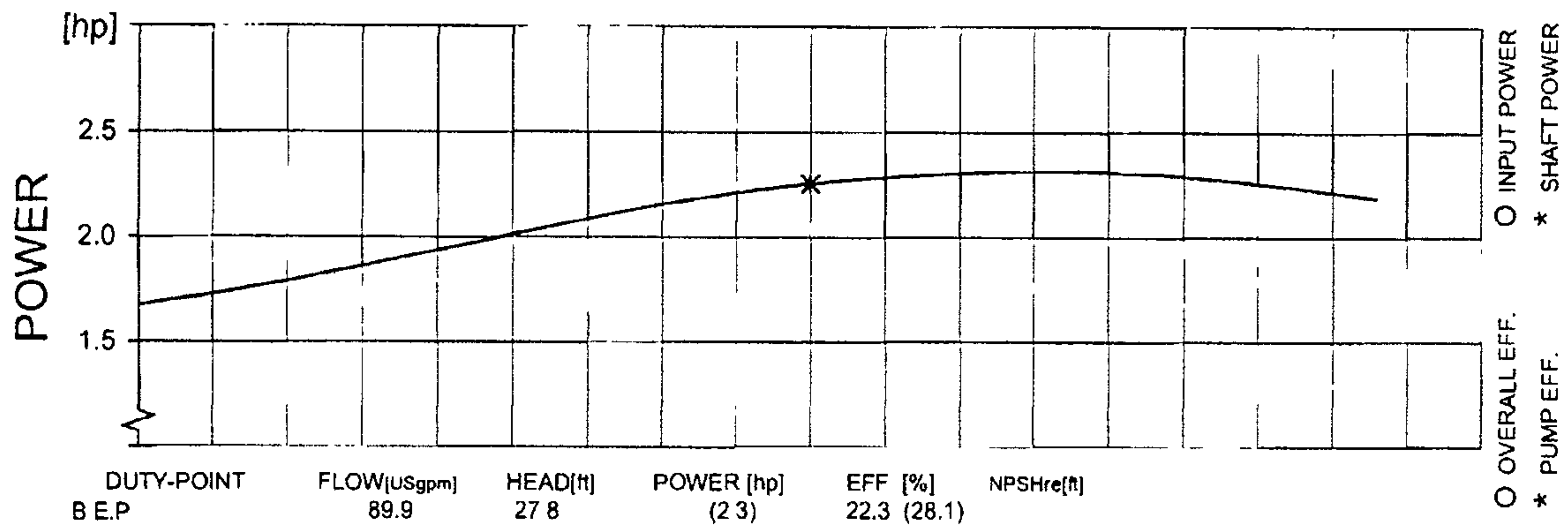
\*Discharge Connection inlet & D<sub>2</sub> Volute dimensions must match for proper function.



PUMP MODEL	IMPELLER CODE	HP RATING						VAC	D1	D2	D3
		CP	CF	CS	DP	DF	DS				
3068 1Ø	473 MT	--	--	--	2.0	2.0	2.0	115/230	*2-1/2 or *3"	*2-1/2 or *3"	3"
	484 MT	--	--	--	1.3 2.0	1.3 2.0	1.3 2.0	115/230	*2-1/2	*2	
	257 HT	1.9 2.3	1.9 2.3	1.9 2.3	--	--	--	115/230	*2" or *3"	*2	2"
	283 LT	--	--	--	2.3	--	2.3	230	*2	*1-1/2	1-1/2"
	285 LT	--	--	--	2.3	--	2.3	230			

LT = High Volume MT = Standard HT = High Head

		PERFORMANCE CURVE		PRODUCT	CP3068.180	TYPE	HT
DATE	2010-08-02	PROJECT	FLYGT US Catalog	CURVE NO	63-256-00-0161	ISSUE	4
	1/1-LOAD	3/4-LOAD	1/2-LOAD	RATED POWER ...	3.8 hp	IMPELLER DIAMETER	
POWER FACTOR	0.89	0.85	0.76	STARTING CURRENT ..	26 A	94 mm	
EFFICIENCY	78.0 %	81.0 %	82.0 %	RATED CURRENT ..	5.1 A	MOTOR #	13-10-2BB
MOTOR DATA	---	---	---	RATED SPEED .....	3295 rpm	STATOR	1 Y
COMMENTS			INLET/OUTLET	TOT MOM.OF INERTIA ...	0.0073 kgm2	FREQ	60 Hz
NEVACLOG			-/ 2 inch	NO OF BLADES	1	PHASES	3
NEMA Code Letter: F			IMP THROUGHLET			VOLTAGE	460 V
			---			POLES	2
						GEARTYPE	---
						RATIO	---



FLYPS 3.1.6.3 (20060531)

Performance with clear water and ambient temp 40 °C



CURVE

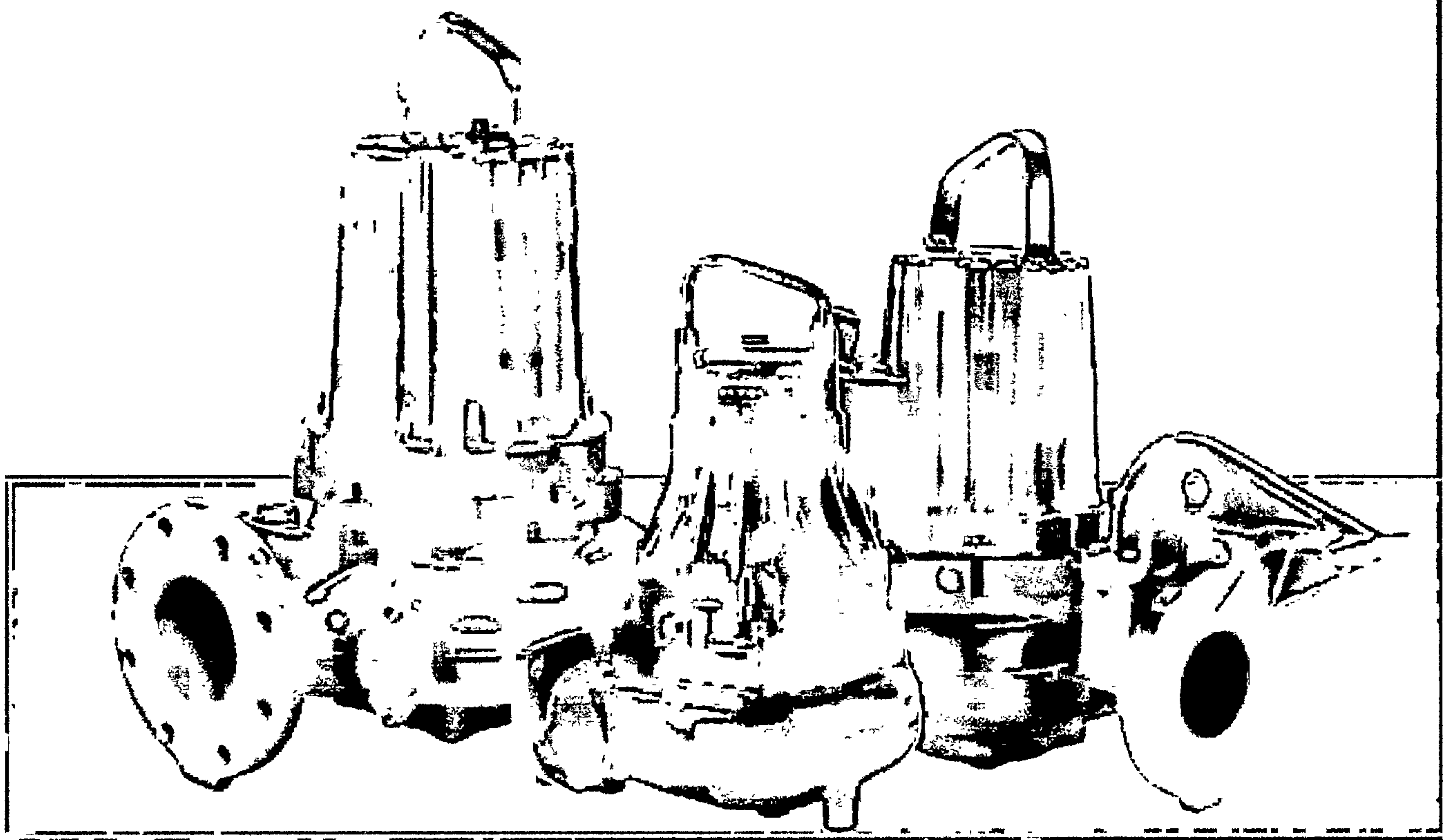


**ITT**

Water & Wastewater

## **Flygt N-Pumps 3085, 3102 & 3127**

**For reliable and efficient wastewater handling**



*Engineered for life*

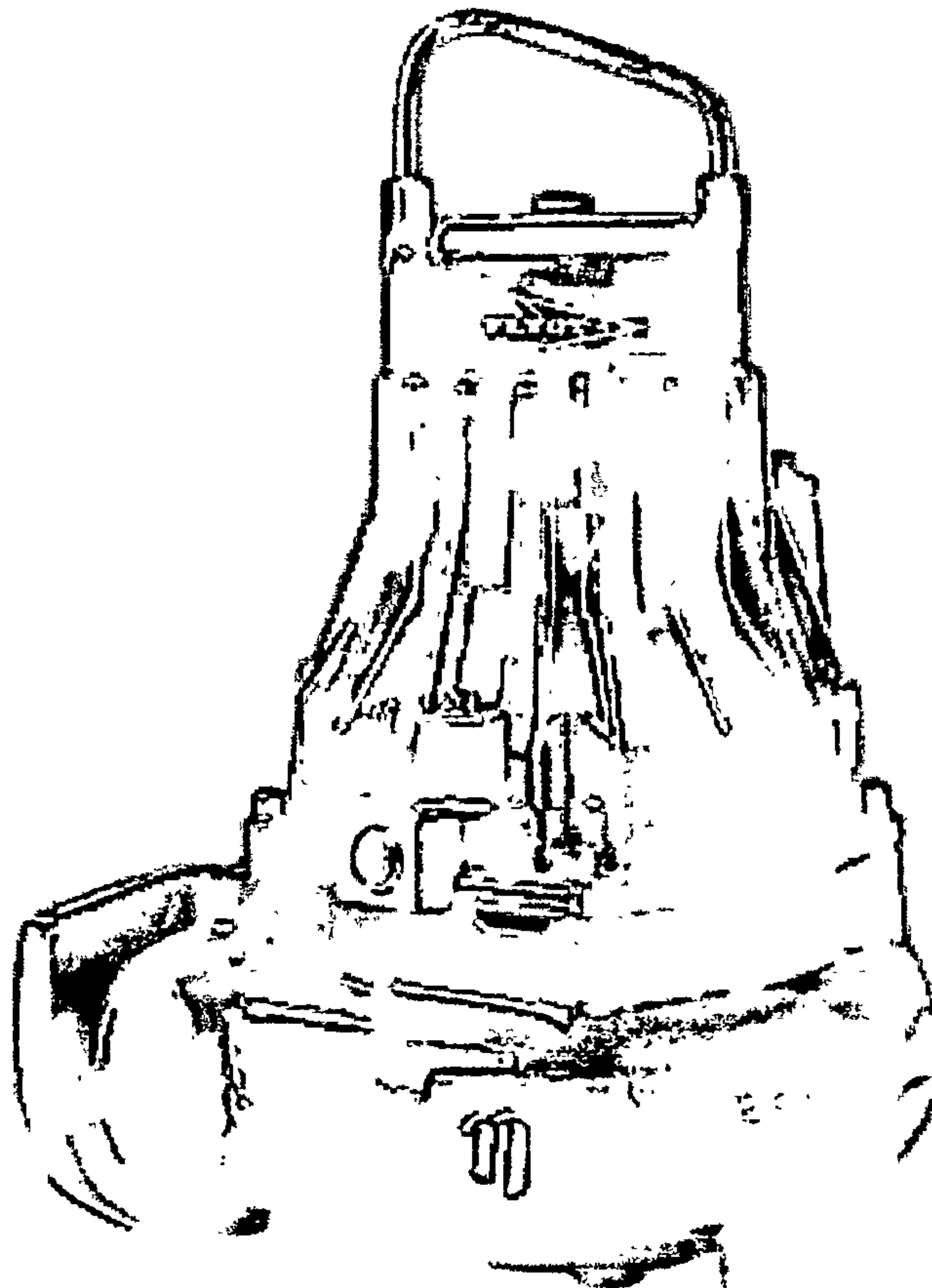


# Flygt N-Pump series

Reduced pumping efficiency, high energy and maintenance costs shouldn't be a fact of life in wastewater handling. The submersible Flygt N-Pump series from ITT Water & Wastewater features a radical hydraulic end design which ensures efficient, reliable and trouble-free pumping over long duty periods.

The result: improved operational economy which dramatically reduces the total life cost of your installation.

The highest efficiency values for a typical single-vane pump in a best-specific speed range are around 70%. By comparison, Flygt N-Pumps deliver 80% or better – equating to 15% less power consumption. And Flygt N-Pumps maintain this efficiency even in fluids with a high solids and fibrous content thanks to a unique semi-open self cleaning impeller. This is complemented by a special relief groove in the volute. The self-cleaning flow path through the pump greatly reduces the risk of clogging, even under the worst conditions.



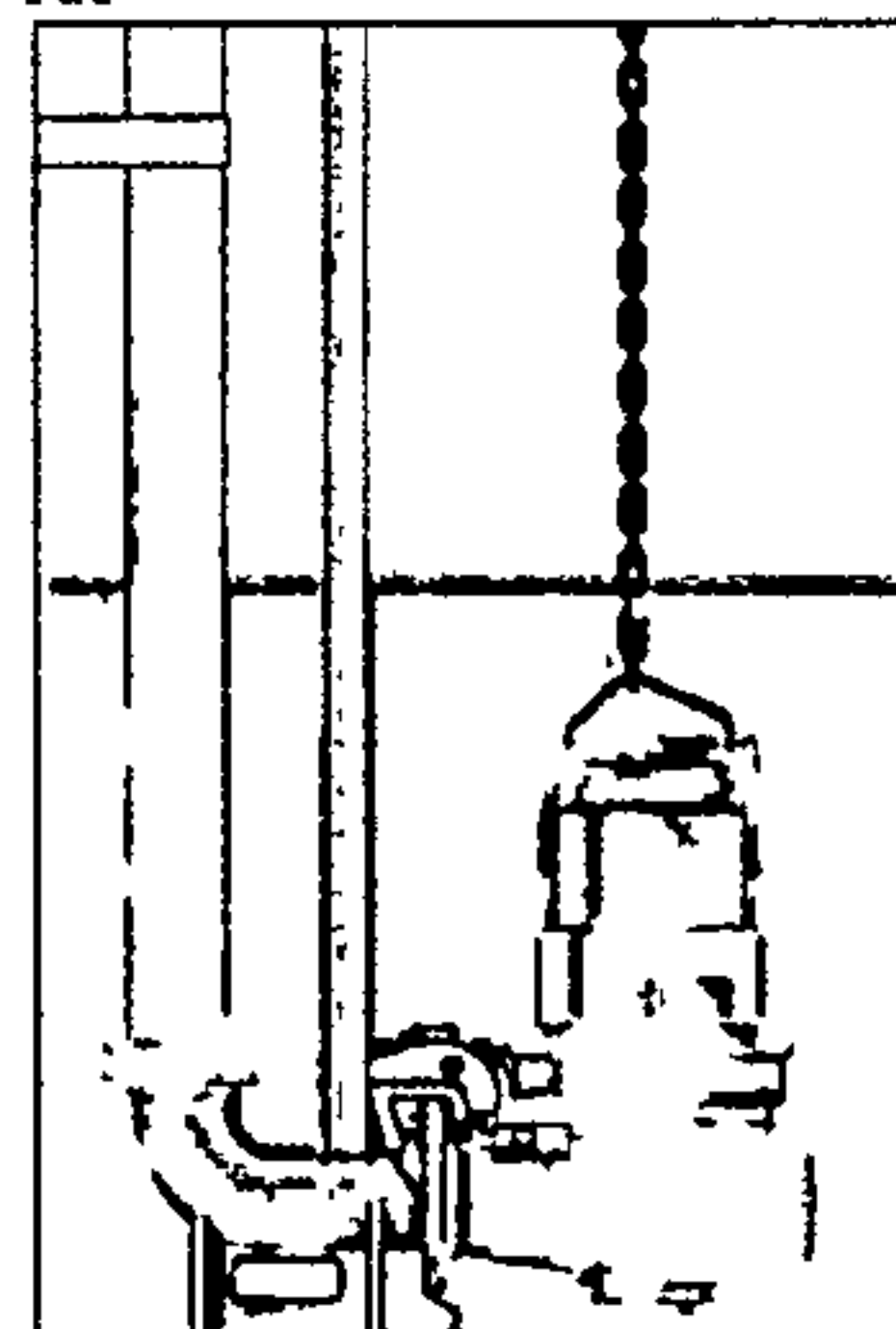
## Methods of installation

NS



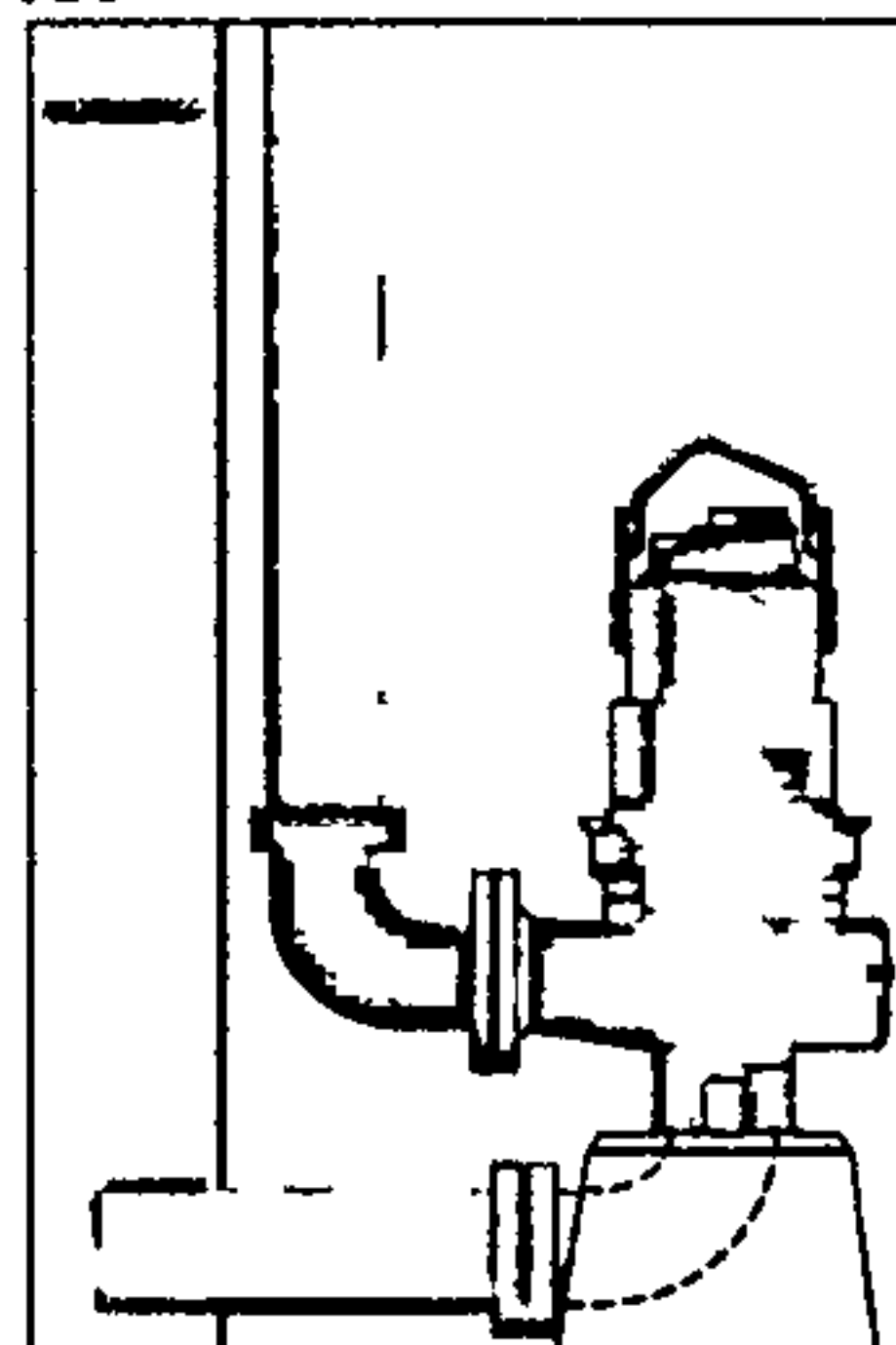
A semi-permanent, free-standing installation. Transportable version with pipe or hose connection.

NP



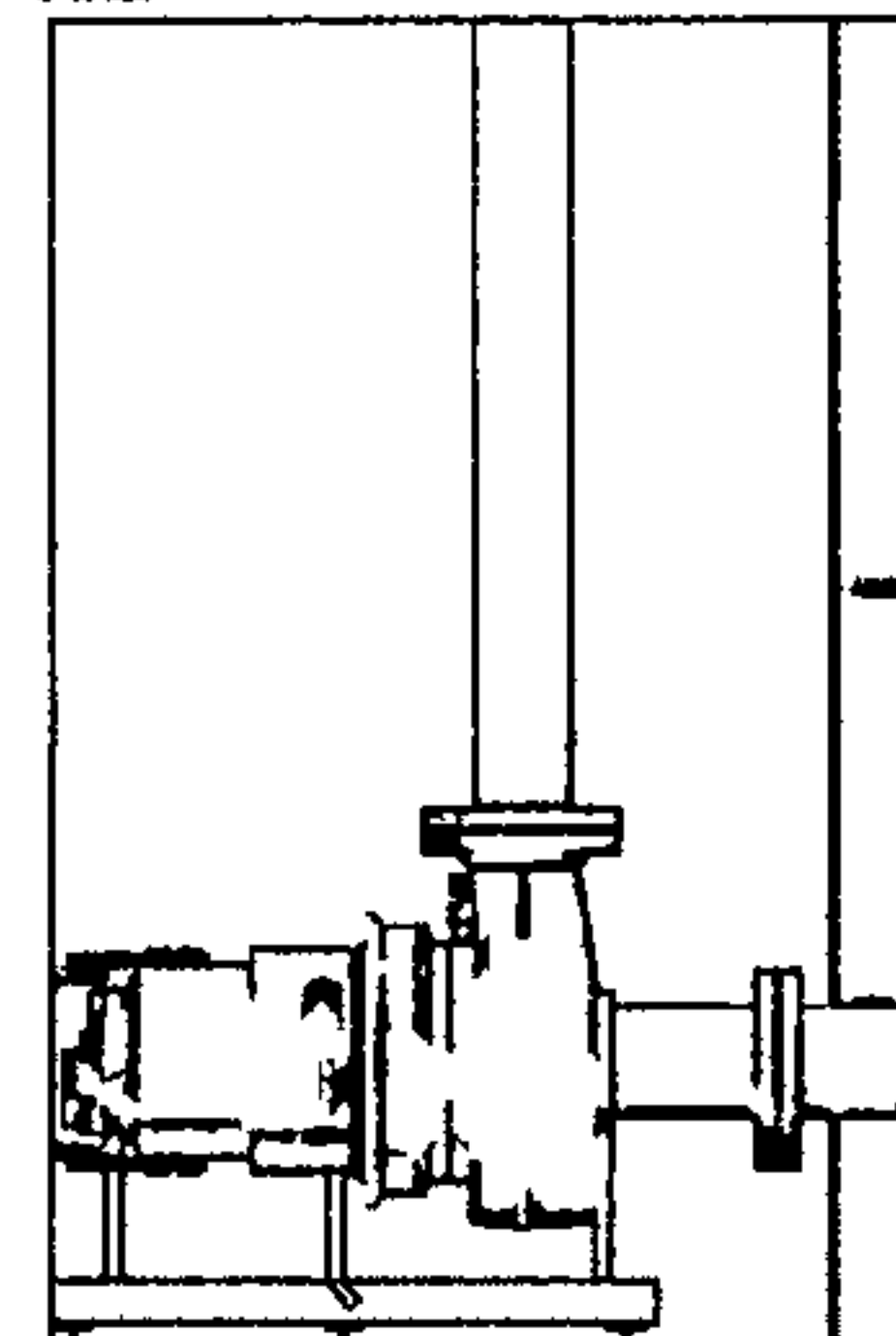
For semi-permanent wet well installations. The pump is installed with twin guide bars on a discharge connection.

NT



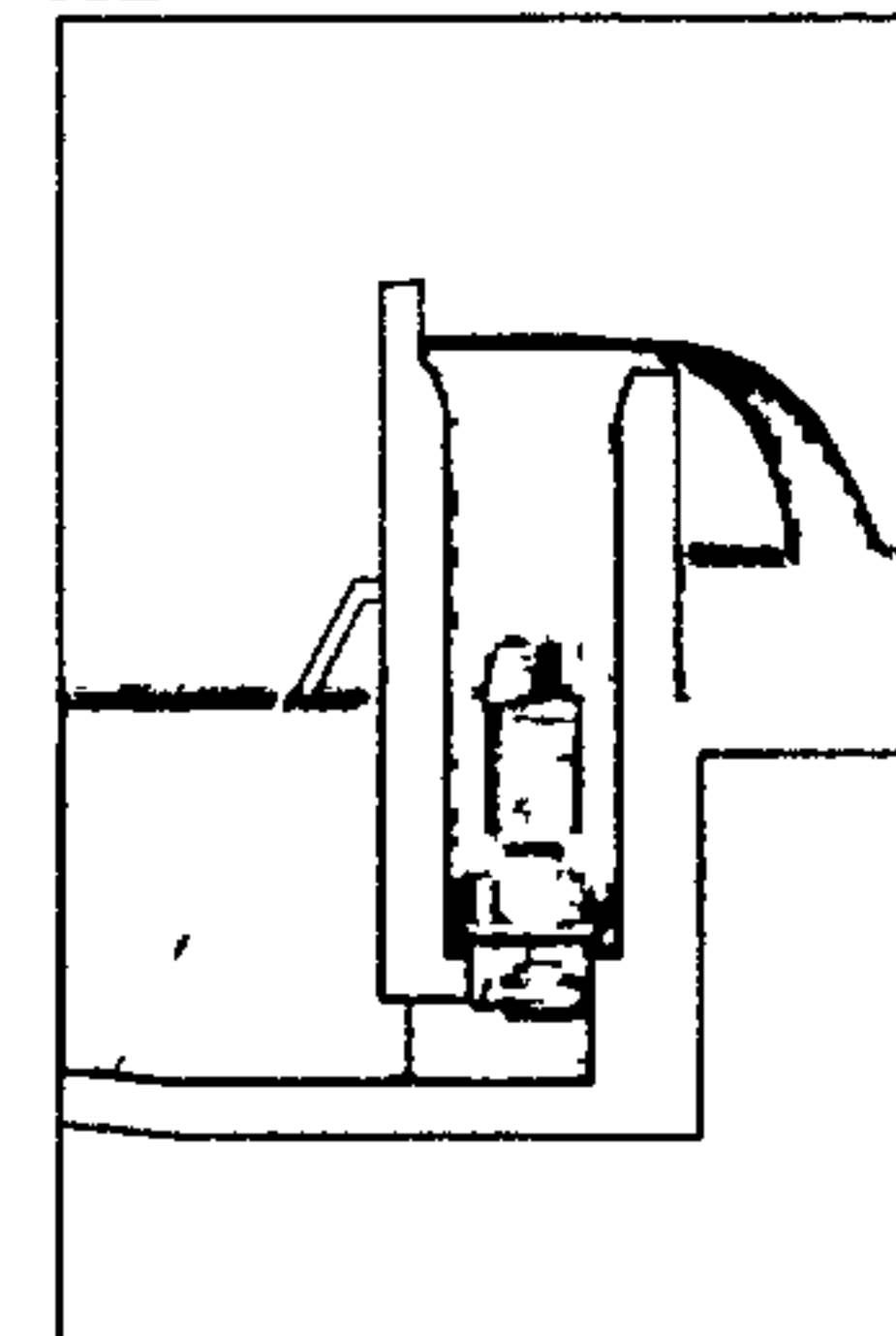
A vertically-mounted, permanent dry well or in-line installation with flange connections for suction and discharge pipe work.

NZ



A horizontally-mounted, permanent dry well or in-line installation with flange connections for suction and discharge pipe work.

NL

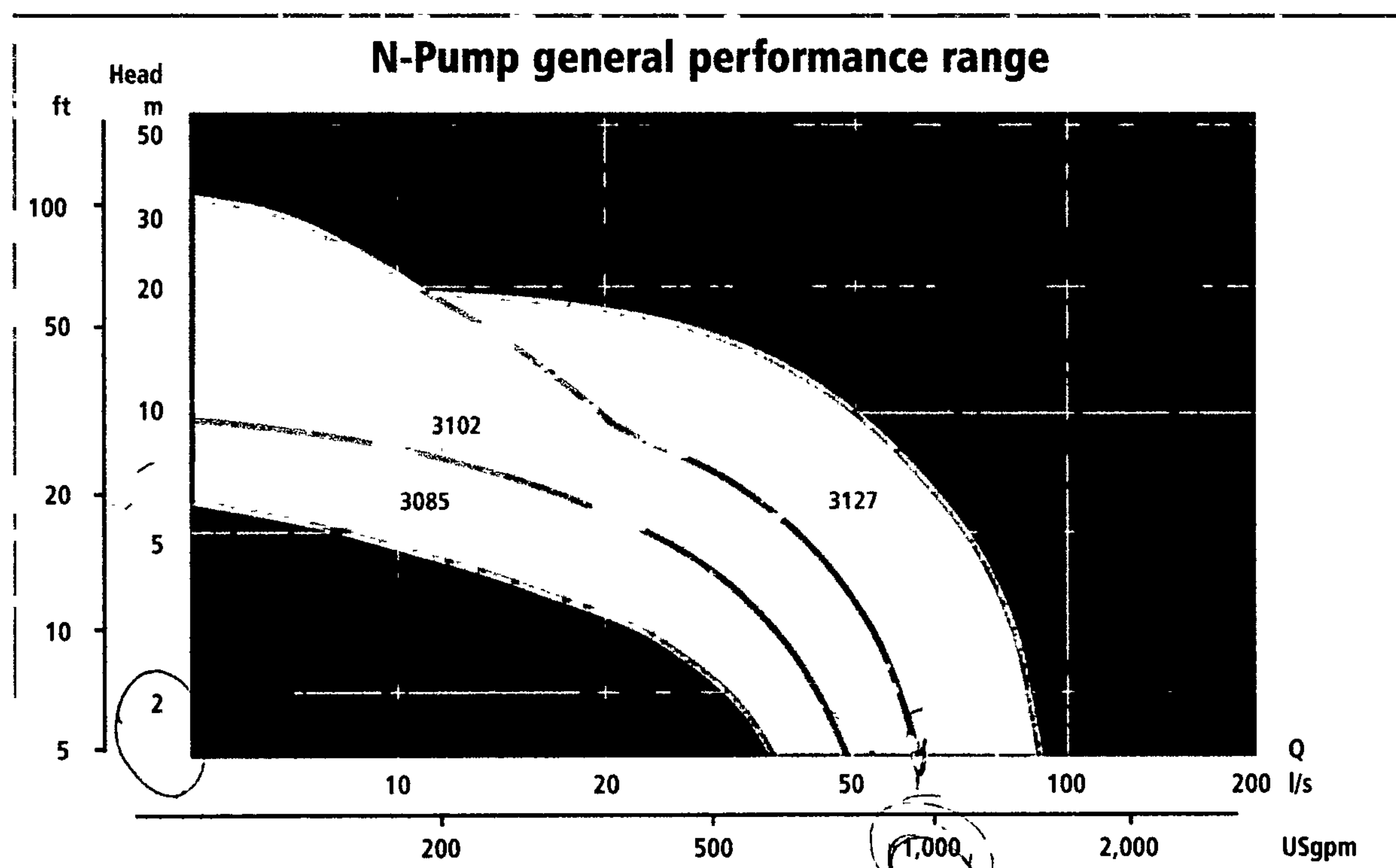


The semi-permanent installation of a pump within a vertical steel or concrete column (not available for the 3085).

# Pumping capacities up to 100 l/s, 1600 gpm

Thanks to the self-cleaning advantages of the impeller and volute design, Flygt N-Pumps offer new possibilities for cost-effective operation in a wide variety of applications. These include pumping:

- Wastewater
- Cooling water
- Storm water
- Raw water
- Sludge
- Industrial effluent

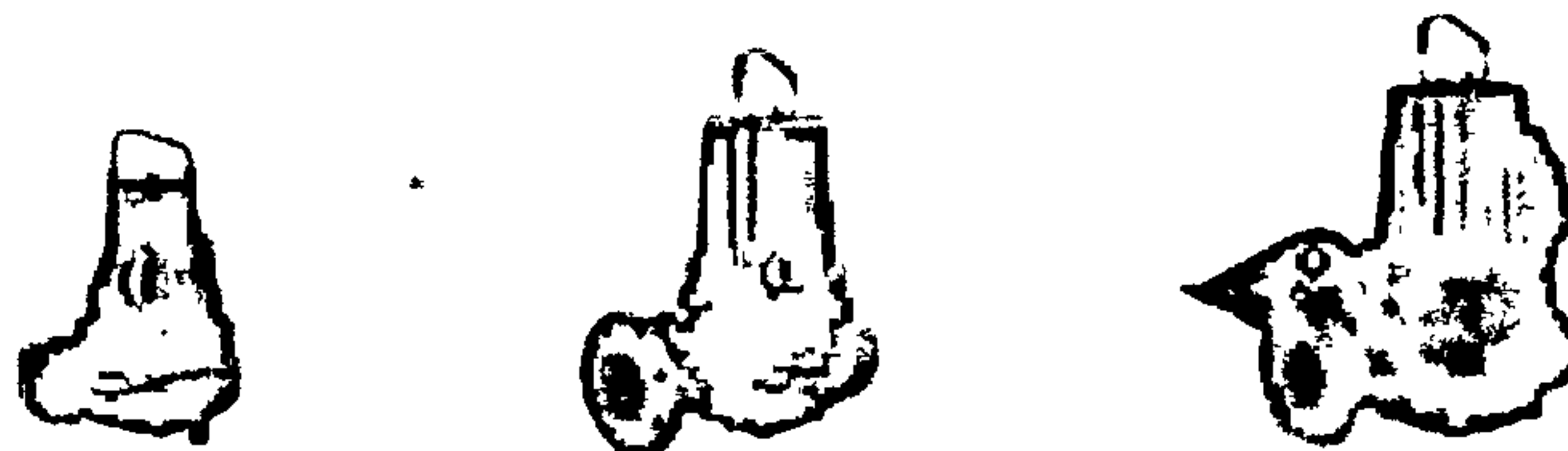


Demonstrating the pumping performance of the Flygt N-Pump series

## Flygt N-pumps

Model	3085	3102	3127
Rating	50 Hz, 1.3 kW, 2 kW 60 Hz, 2.2 hp, 3 hp	50 Hz, 3.1 kW, 4.2 kW 60 Hz, 5 hp, 6 hp	50 Hz, 4.7 kW, 5.9 kW 60 Hz, 7.5 hp, 10 hp
Discharge	80 mm/3"	80 mm/3" 100 mm/4" 150 mm/6"	100 mm/4" 150 mm/6"

Choosing the optimum pump is further simplified through the use of WebFLYPS, ITT Water & Wastewater's dedicated pump selection software.



# Product quality means attention to details

## Motor

Squirrel cage, high performance induction motor, specially designed and manufactured by ITT Water & Wastewater for submersible use. Stator windings are trickle impregnated in resin to class H insulation and rated at 180°C (355° F) allowing for up to 30 starts per hour

## Shaft

A short overhang of the shaft virtually eliminates shaft deflection. This results in significantly increased seal and bearing life, low vibration and quiet operation.

## Seals

Two sets of mechanical shaft seals that work independently for double security. Designed, patented and manufactured by ITT Water & Wastewater.

## Seal wear protection

Spin-out™ is a patented design that protects the outer seal by expelling abrasive particles from the seal chamber

## Oil housing

In addition to lubricating the seals, the oil filled compartment diffuses heat from the motor and the bearings. The housing also provides additional security against penetration by liquids.

## Monitoring

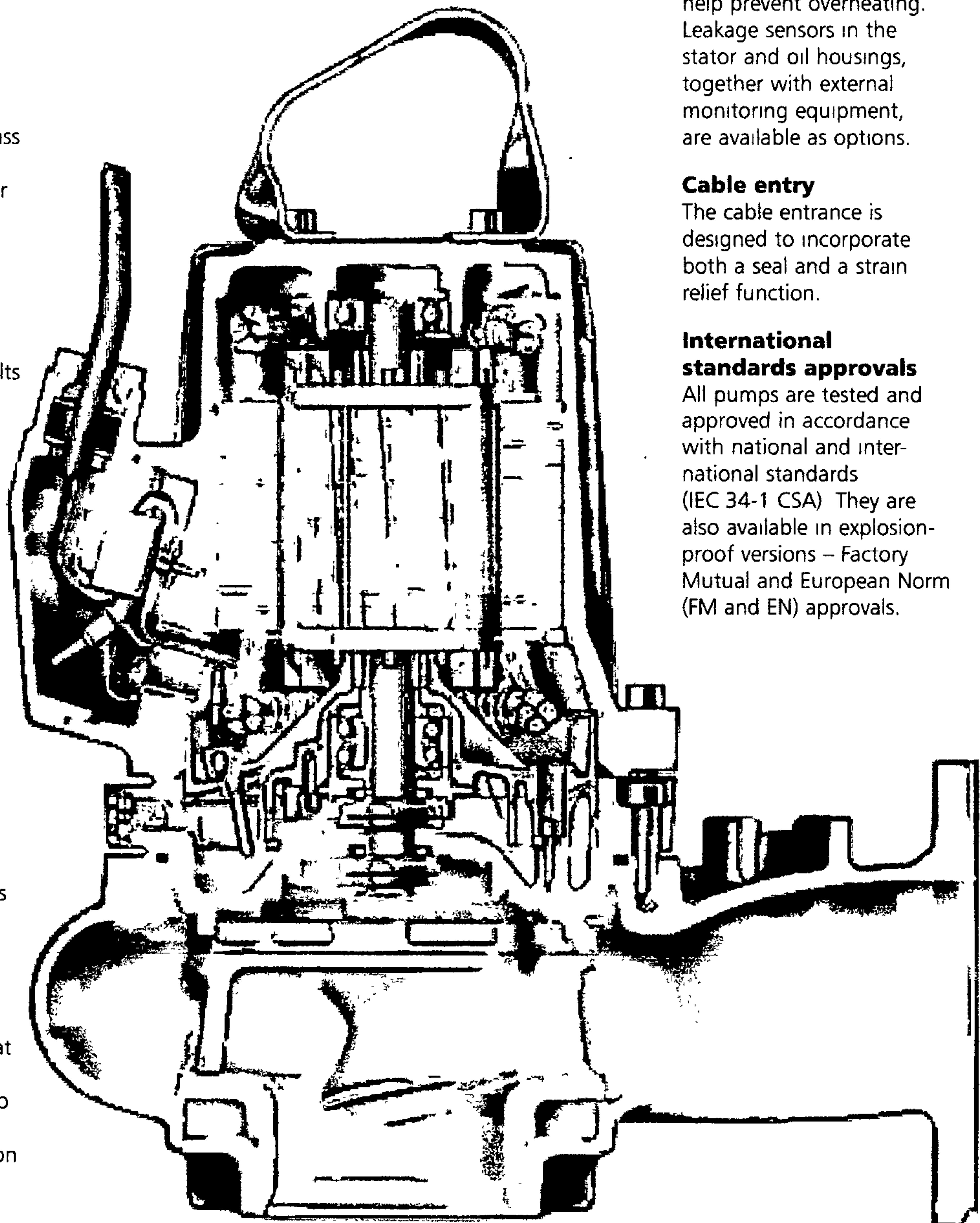
Thermal sensors embedded in the stator windings help prevent overheating. Leakage sensors in the stator and oil housings, together with external monitoring equipment, are available as options.

## Cable entry

The cable entrance is designed to incorporate both a seal and a strain relief function.

## International standards approvals

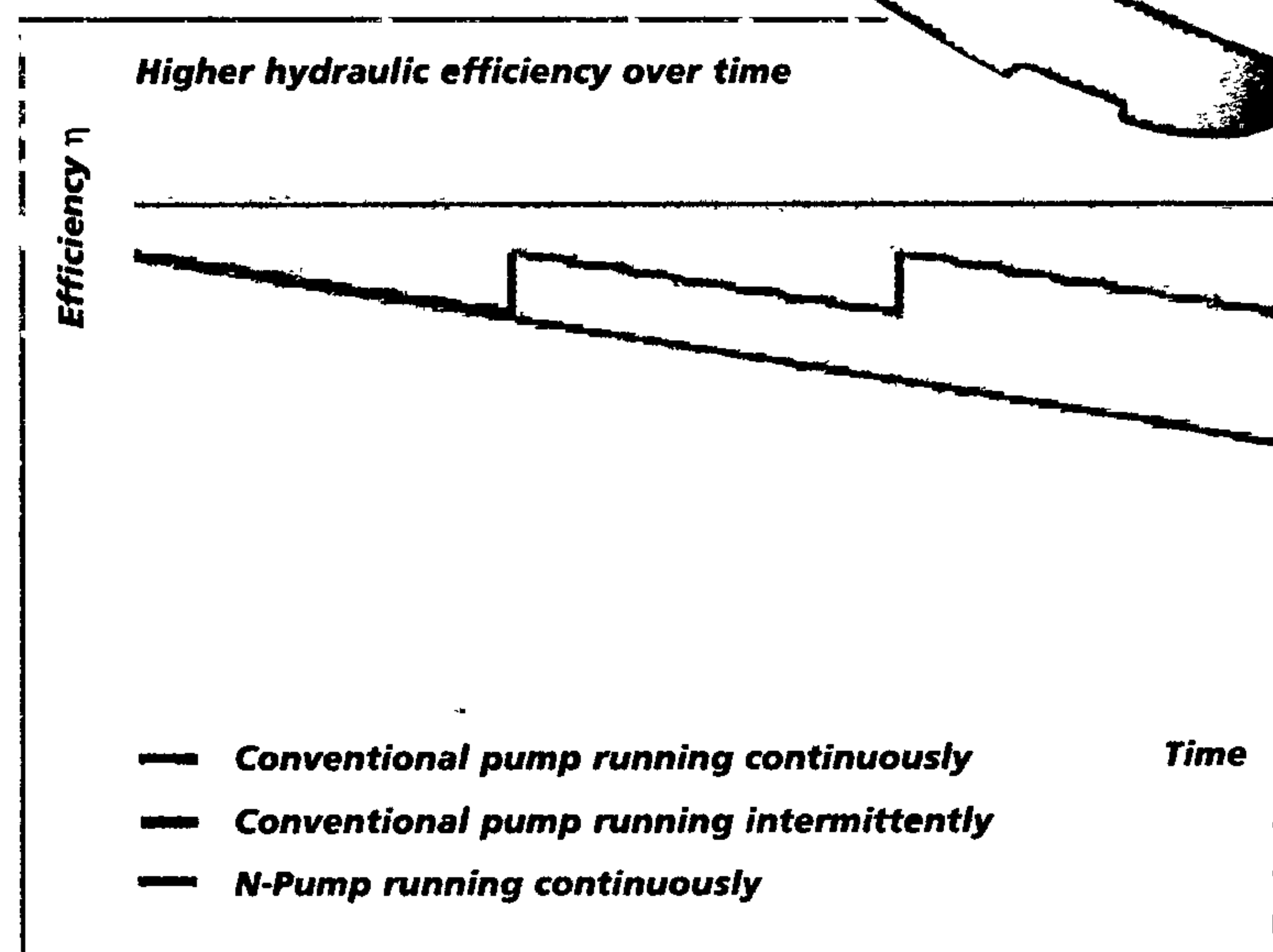
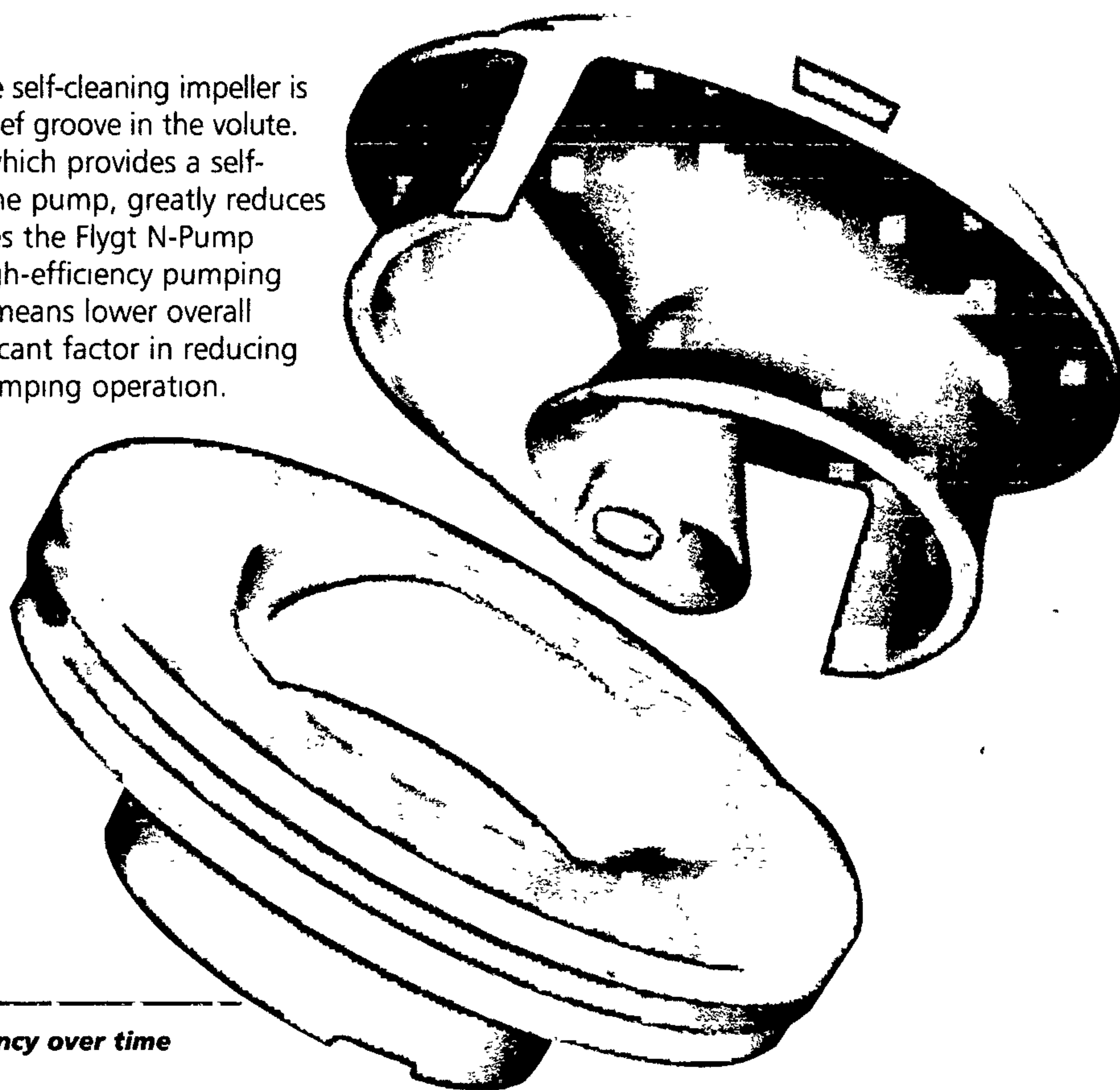
All pumps are tested and approved in accordance with national and international standards (IEC 34-1 CSA). They are also available in explosion-proof versions – Factory Mutual and European Norm (FM and EN) approvals.





# Sustained higher hydraulic efficiency

The revolutionary design of the self-cleaning impeller is complemented by a special relief groove in the volute. This patented combination, which provides a self-cleaning flow path through the pump, greatly reduces the risk of clogging and makes the Flygt N-Pump series an ideal solution for high-efficiency pumping over long duty periods. That means lower overall energy consumption: a significant factor in reducing the whole life cost of your pumping operation.



The red line in the graph shows how the efficiency decreases when a conventional wastewater pump in continuous operation gets clogged.

The green line shows how a conventional wastewater pump that runs intermittently also has a generally low efficiency due to clogging. Temporary efficiency gains may be achieved through back flushing of the pump.

The blue line shows the Flygt N-Pump performing with sustained efficiency

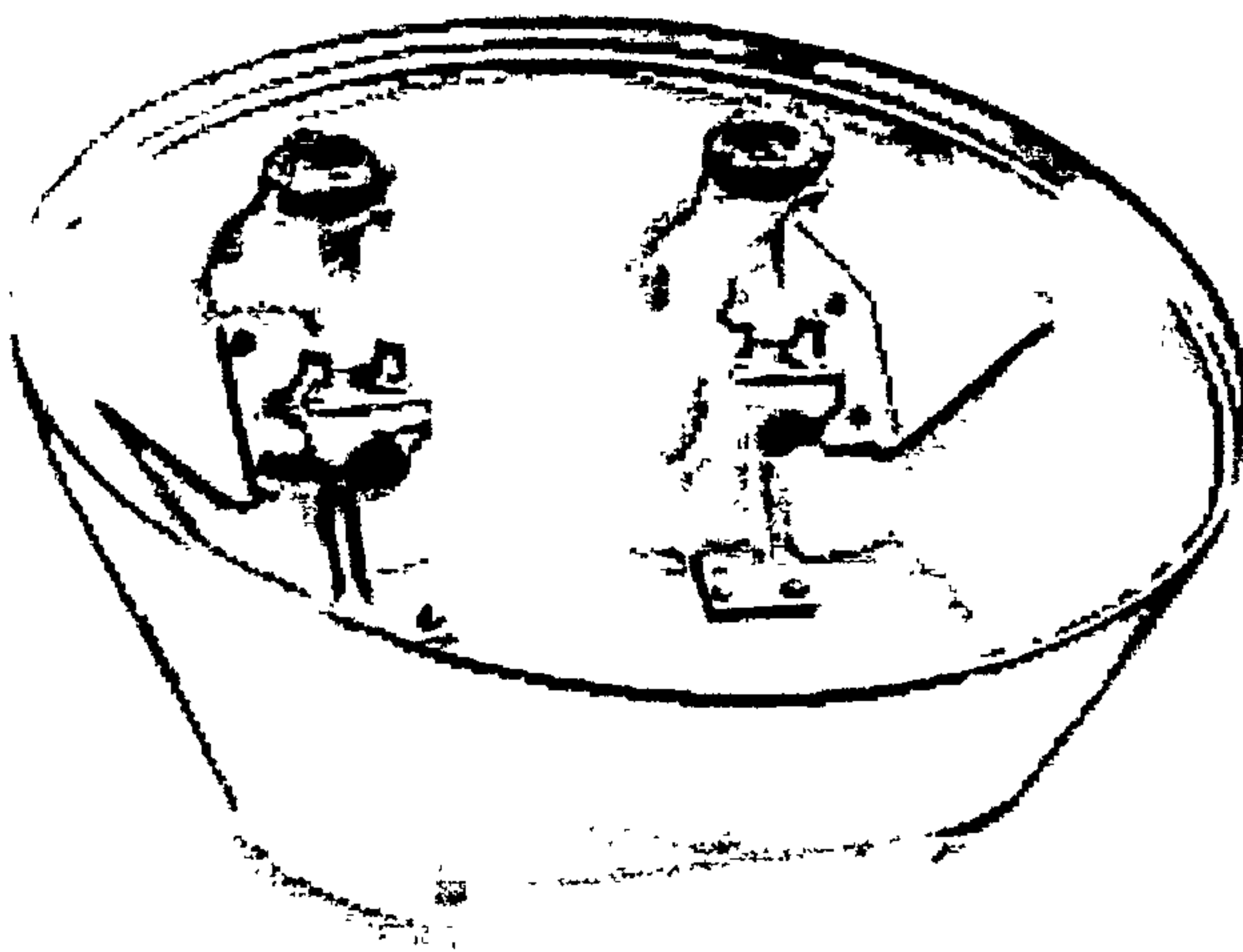
# Keeping your station in top form

Supplying our customers with problem-free solutions is our goal at ITT Water & Wastewater – and that means more than simply supplying the correct pump for your particular application. The following are examples of some of the ancillary equipment which we can supply to improve the all-round efficiency of your operation.

## **The sump designed to clean itself**

The unique design of The Optimal Pump station sump, with its integrated discharge connections, is an ideal cost-efficient solution for new stations and retrofitting older stations. The sump has been hydraulically optimized to improve the flow over the sump floor during pumping.

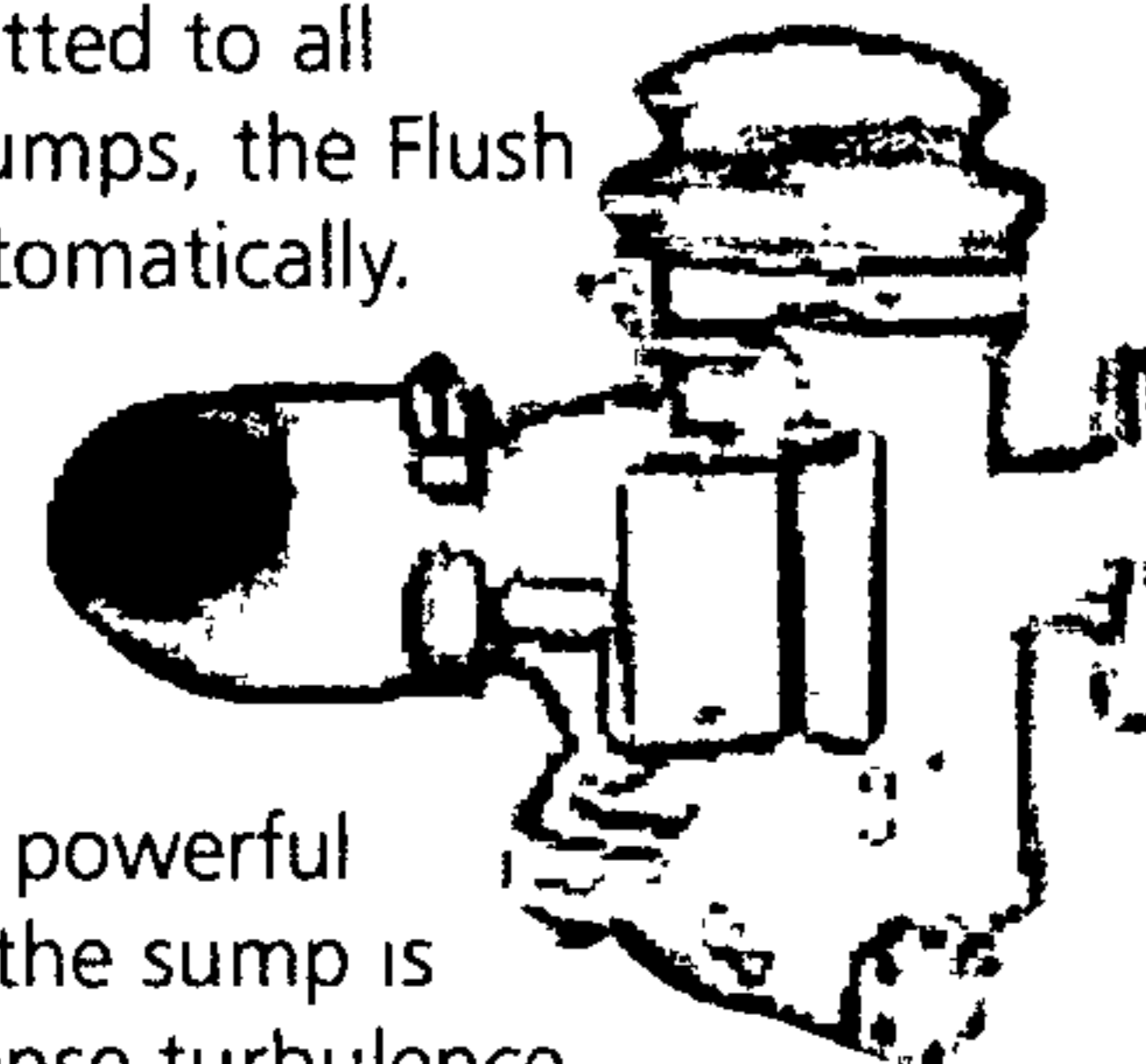
The result: increased turbulence, causing resuspension of settled solids and the entrainment of floating debris, which can then be pumped away during the operating cycle.



## **Flush valve: the automatic desludger**

Developed specifically to be fitted to all standard Flygt submersible pumps, the Flush Valve operates completely automatically.

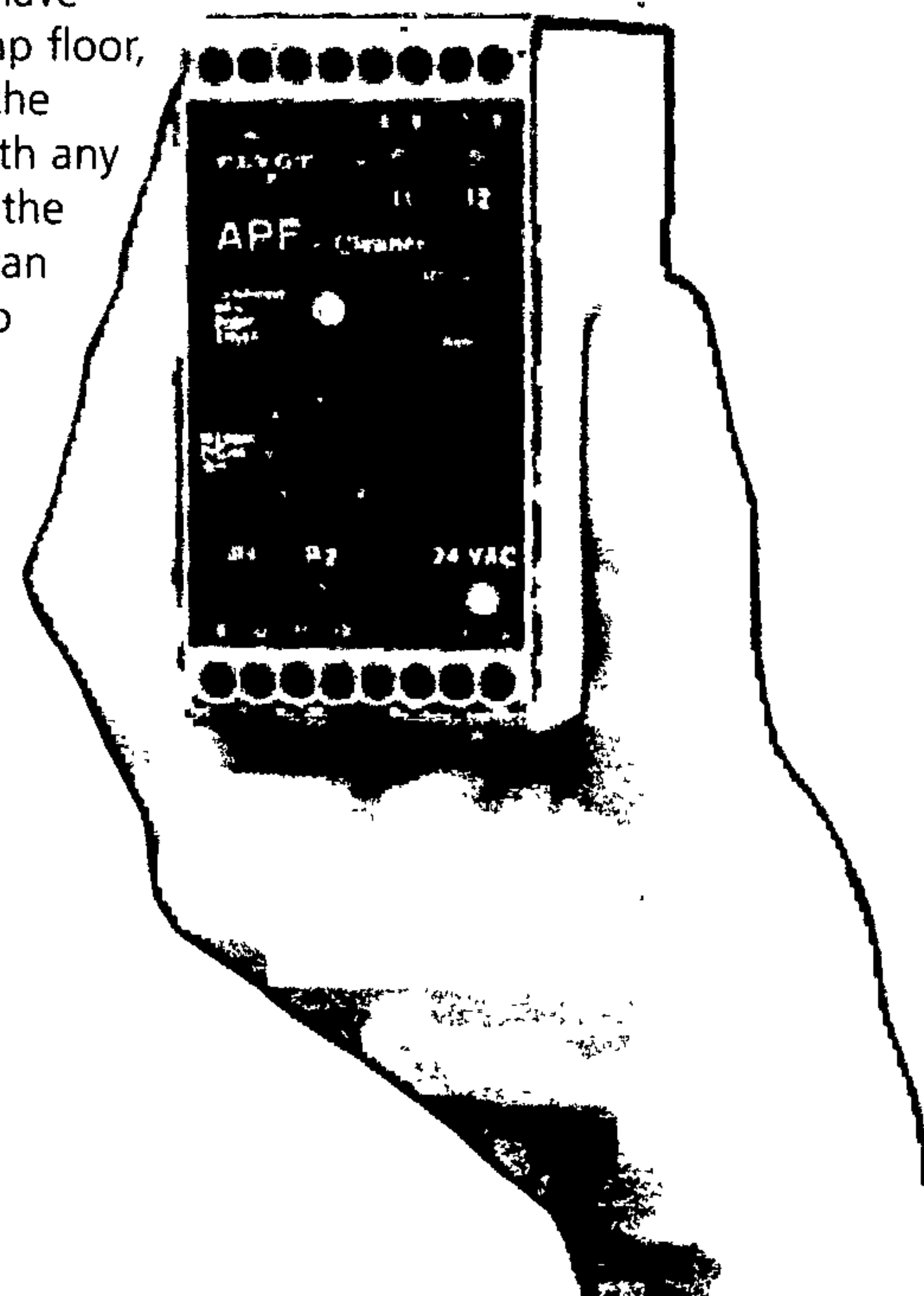
Attached easily to the volute of the pump, the valve is open at the start of each pumping cycle and water is forced through the valve in a powerful jet flushing stream. Water in the sump is immediately subjected to intense turbulence, and all the sludge deposits, as well as floating solids, are re-suspended before being pumped out. The valve closes automatically after approximately 20 seconds, and reopens again after pump stop, ready for the next pumping cycle.



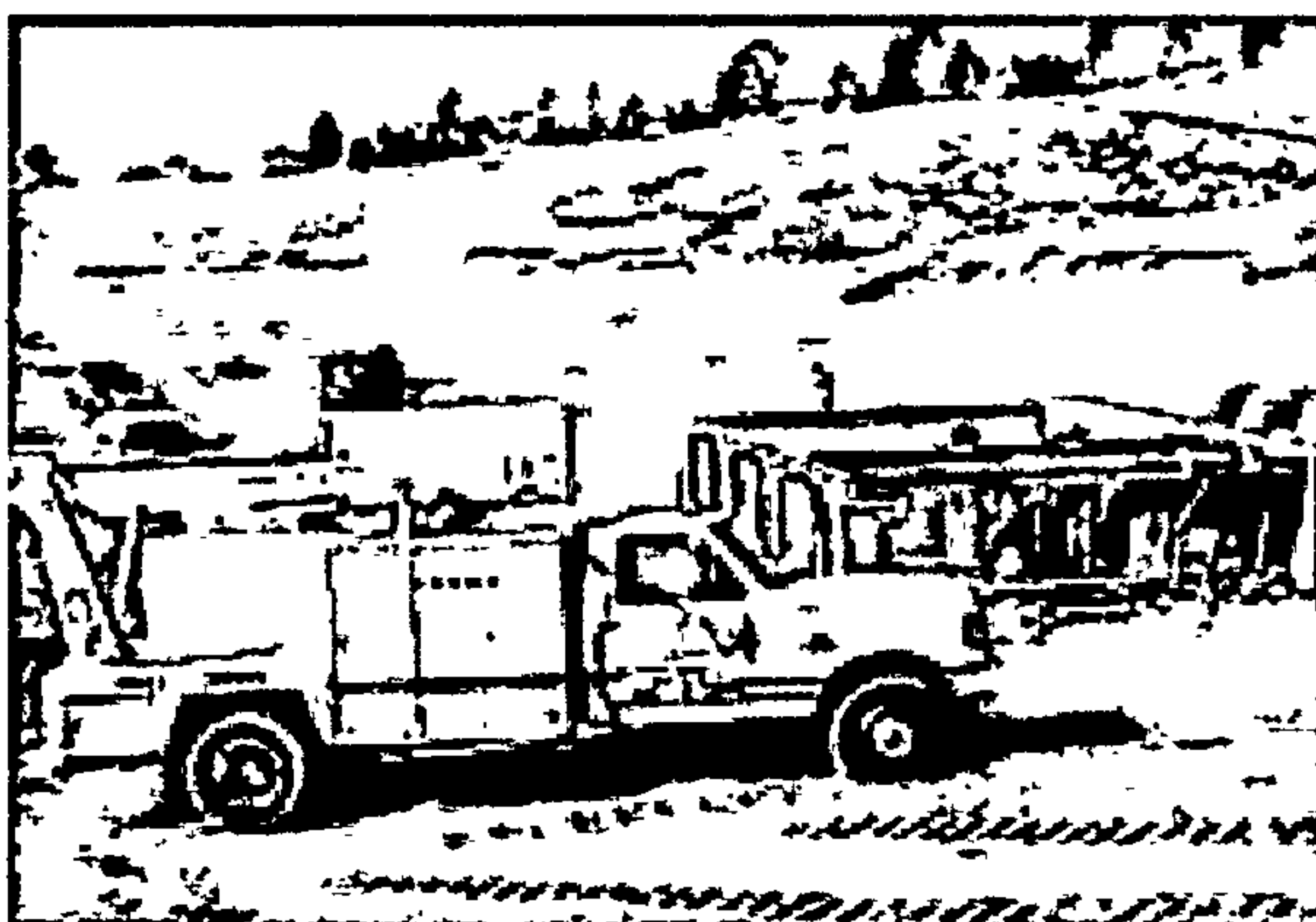
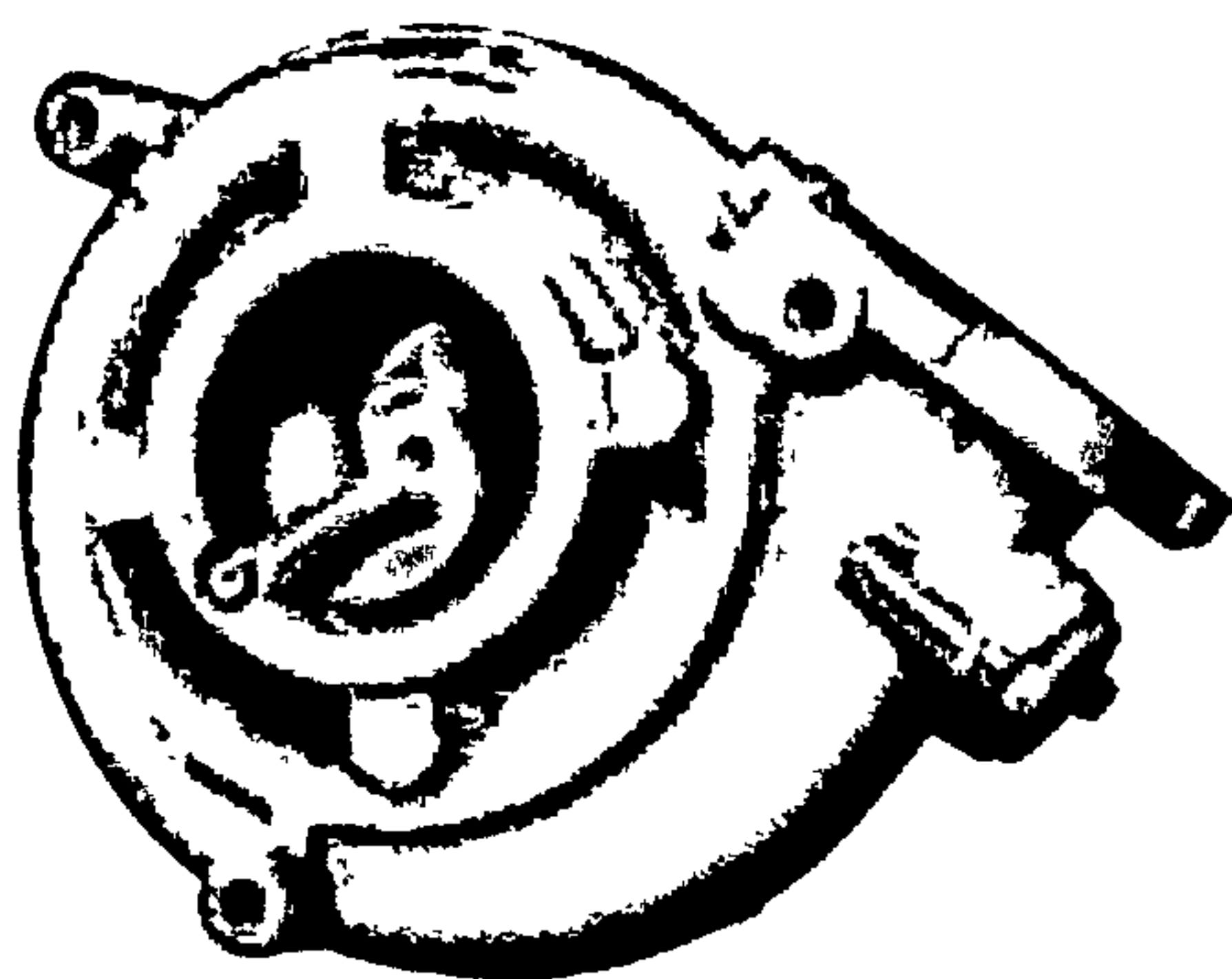
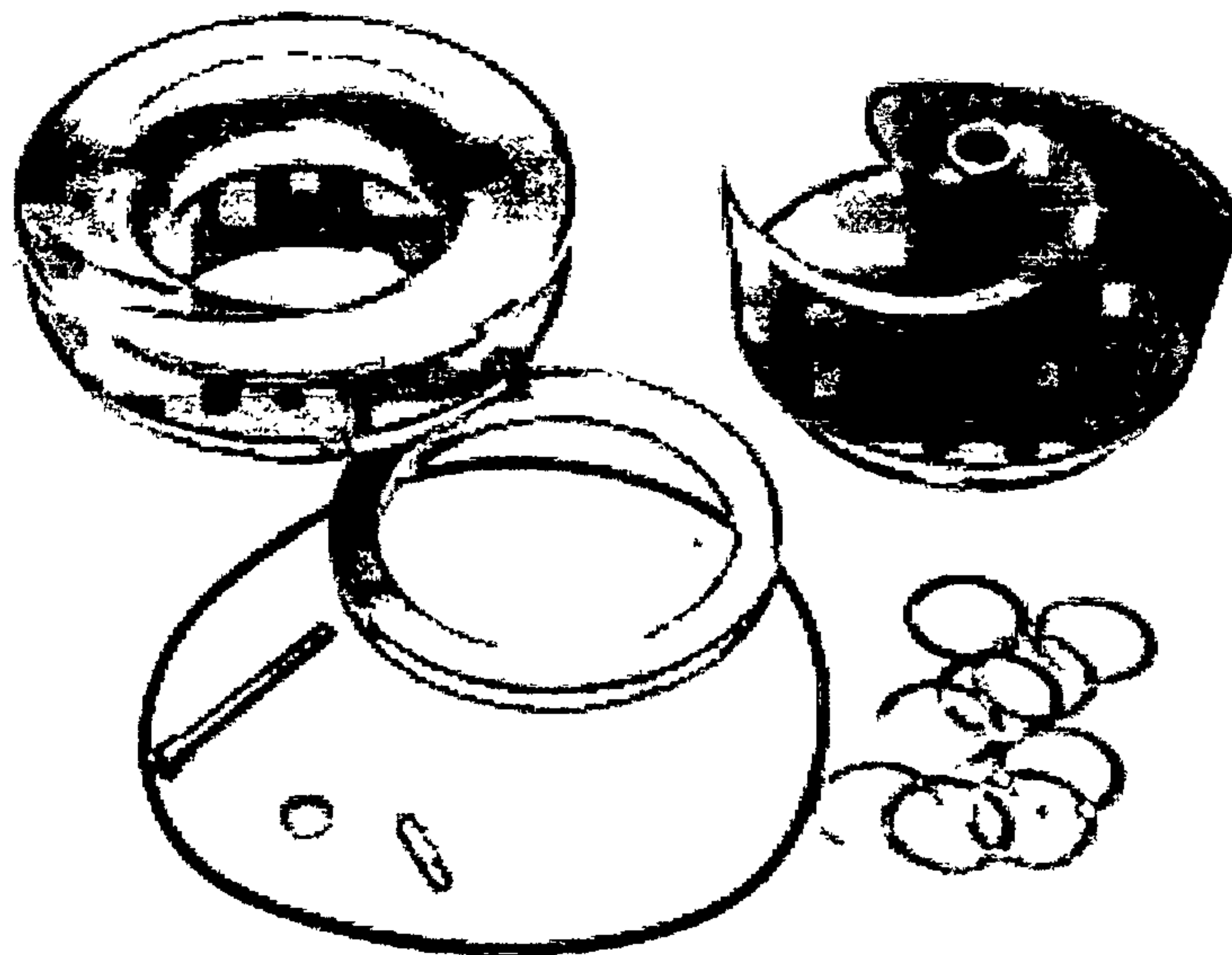
## **Flygt APF: automatic cleaning up to 40 times a day**

Flygt APF is the maintenance-free control system that ensures clean stations even when you're dealing with the most heavily-contaminated wastewater.

The Flygt APF is simply connected to the main control system, which it overrides during cleaning cycles by operating the pumps down to the level at which air starts to be drawn into the pump. At this level, controlled turbulence and maximum velocities cause any solids, which have settled on the sump floor, to be drawn into the pump together with any debris floating on the surface. The unit can be programmed to operate up to 40 times a day.



# Upgrading and servicing



ITT Water & Wastewater's design philosophy has always been to build equipment that gives you a maximum return for your investment: and that means designing pumps for a long service life with minimum downtime.

If you already operate an installation with Flygt C-Pumps, the Flygt N-Pump upgrade kit gives you an opportunity to further extend the operational life of your equipment and gain the superior pumping efficiencies of the Flygt N-Pump range.

Each kit contains everything you need to upgrade your existing pumps to Flygt N-Pump standard, and there's a kit available for most Flygt C-Pump models (please check with your representative which models apply). Kits are easy to install and fully supported by the ITT Water & Wastewater Service Network.

The upgrade kit allows you to:

- Cut the cost of regular and emergency maintenance by reducing the risk of clogging
- Boost the operational efficiency of your existing equipment
- Improve the return on your original investment

The N-technology is beneficial in all installations. In the most demanding applications a Guide Pin will further enhance the pump's performance. The Guide Pin effectively directs the solids towards the relief groove. The result - a self-cleaning flow path also in these applications.

## World-wide service network

No two pumping stations and systems will be alike, so the level of maintenance and support that you require from your service partner will differ according to your situation. With ITT Water & Wastewater, you can choose the type of support package that precisely meets your needs.

From simply supplying pumps to your specifications, to full service assistance on system planning, design, construction, implementation, operation or maintenance: ITT Water & Wastewater's total service concept means that you get the service you need, on your terms.

## 15-year spare parts guarantee

We guarantee availability of spare parts for 15 years after we stop production of a pump model. This is just one of the ways in which ITT Water & Wastewater meets its long-term commitment to customers.





### **What can ITT Water & Wastewater do for you?**

Integrated solutions for fluid handling are offered by ITT Water & Wastewater as a world leader in transport and treatment of wastewater. We provide a complete range of water, wastewater and drainage pumps, equipment for monitoring and control, units for primary and secondary biological treatment, products for filtration and disinfection, and related services. ITT Water & Wastewater, headquartered in Sweden, operates in some 140 countries across the world, with own plants in Europe, China and North and South America. The company is wholly owned by the ITT Corporation of White Plains, New York, supplier of advanced technology products and services.

[www.ittwww.com](http://www.ittwww.com)

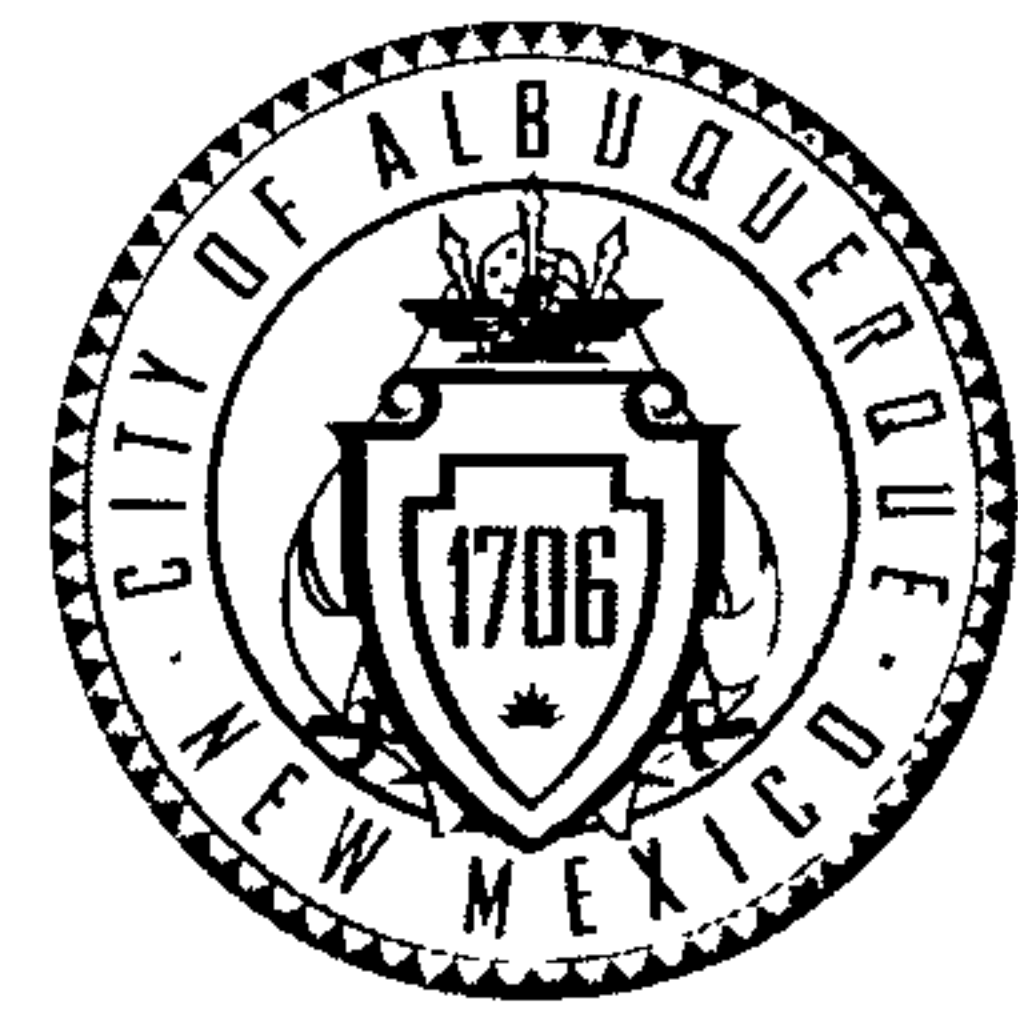


**WEDECO**



# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



July 10, 2014

Martin J. Garcia, P.E.  
Anchor Engineering, LLC  
1035 South Bosque Loop  
Bosque Farms, NM 87102

Richard J. Berry, Mayor

**Re: Garcias Kitchen Food Prep & Catering  
Grading and Drainage Plan  
Engineer's Stamp Date: not stamped (J13/D096)**

Dear Mr. Garcia:

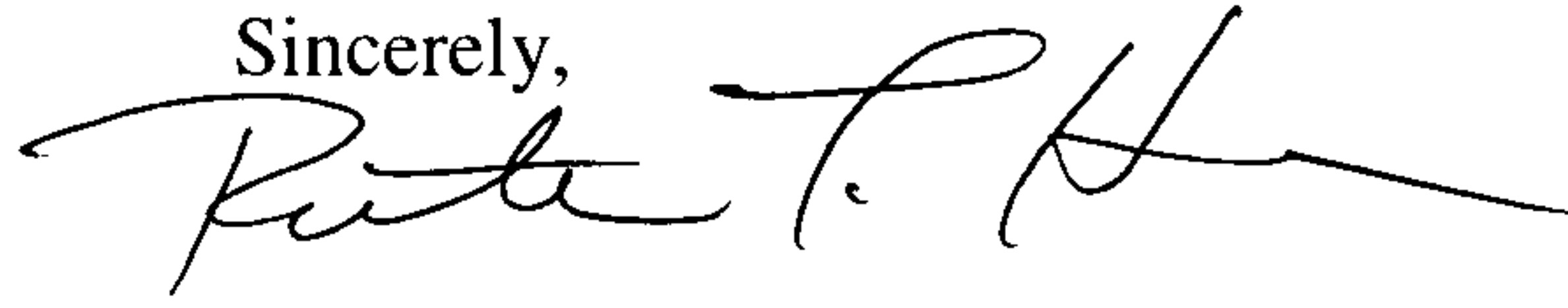
Based upon the information provided in your submittal received 6-4-14, the above referenced plan cannot be approved for Building Permit until the comments below are addressed.

1. All plans and calculations need to be stamped by an engineer.
2. Onsite flows from the existing restaurant and apartments must be accounted for. The proposed curb south of these existing structures does not allow roof runoff from these structures to drain to Pond 2.
3. Roof runoff from the apartments appear to drain offsite to east and then reenter the property and drain to south west, along with some amount of offsite flows. LIDAR contours support this and so this onsite/offsite flows need to be accounted for. In addition, it appears that a wall is to be built along west property boundary. How will flows from apartments reenter?
4. Sections thru pond on East and West property boundaries need to be shown to indicate how flows will reenter, or how overflows will be contained on site.
5. It appears that Pond #2 Volume should be the total volume of both ponds #2 and #3 from the previous submittal. With a combined larger volume, the WSEL will be lower.
6. While a check valve is indicated on the plans, it is not clear where the check valve will be located. Indicate location of check valve. Also indicate what construction will be done thru Work Order and the CPN #.
7. Details 1/C-5 and 3/C-5 show retaining walls that need to be designed, detailed, and dimensioned.
8. Pump cut sheets provided show general information but do not show where on the curve the pump will operate (which is typically shown on a system curve), nor are there supporting calculations. Please provide.

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit or Work Order.

If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita T. Harmon". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Garcia's Kitchen City Drainage #: J13 D096  
DRB#: 1004677 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lots 1 and 2 Garcia Properties Development  
City Address: 1736 Central Ave S.W. Albuquerque, NM 87102

Engineering Firm: Anchor Engineering Contact: Martin J. Garcia  
Address: 1035 S. Bosque Loop Bosque Farms, NM 87068  
Phone#: 505.362.1530 Fax#: \_\_\_\_\_ E-mail: martin@anchoreng.net

Owner: Garcia's Kitchen Contact: Dan Garcia  
Address: 1736 Central Ave S.W. Albuquerque, NM 87102  
Phone#: 505.842.0273 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: North Star Surveying Contact: \_\_\_\_\_  
Address: 1240 Sunset Rd S.W.  
Phone#: 505.980.0465 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

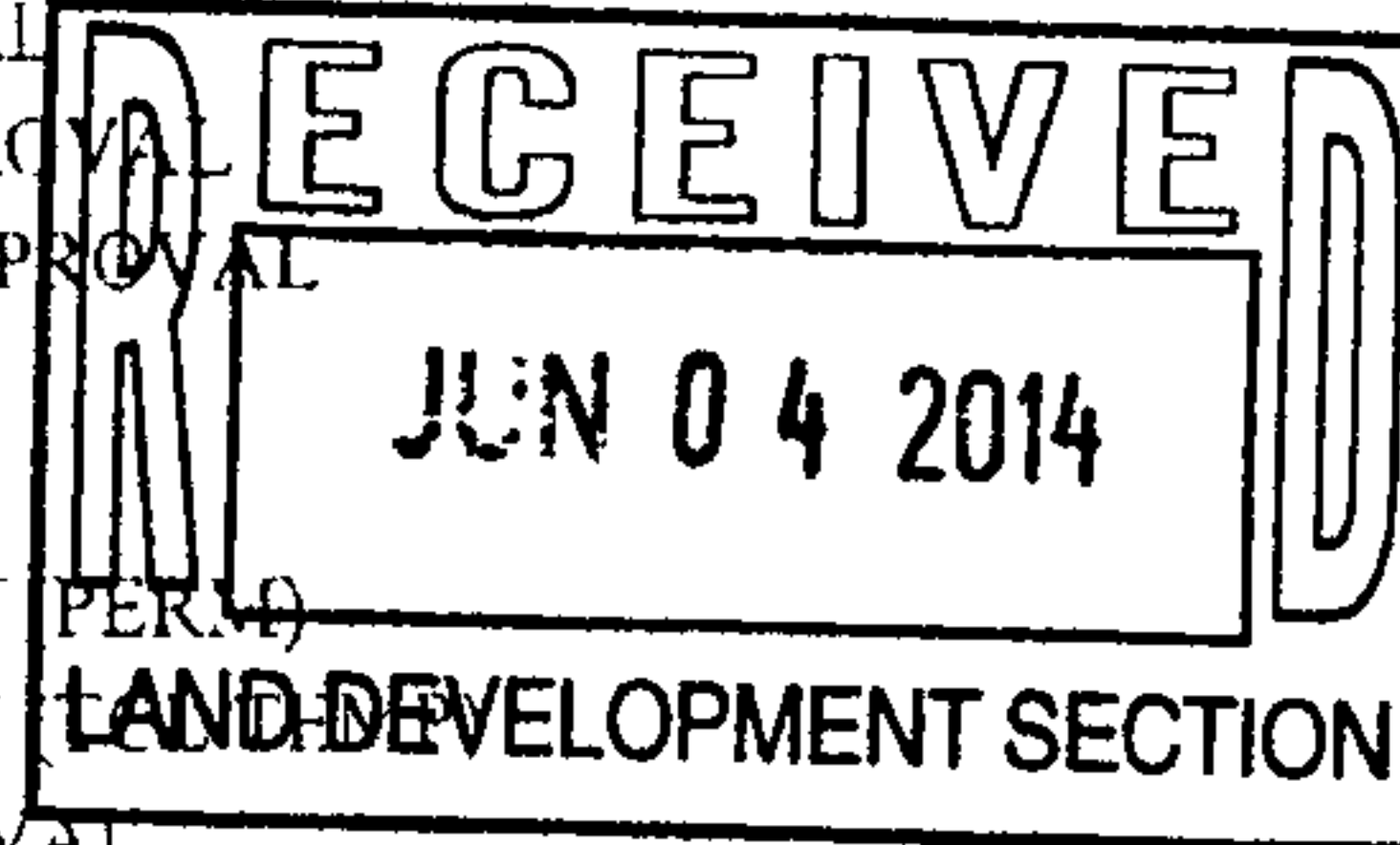
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY PERM.
- ☐ CERTIFICATE OF OCCUPANCY PERM.
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED:

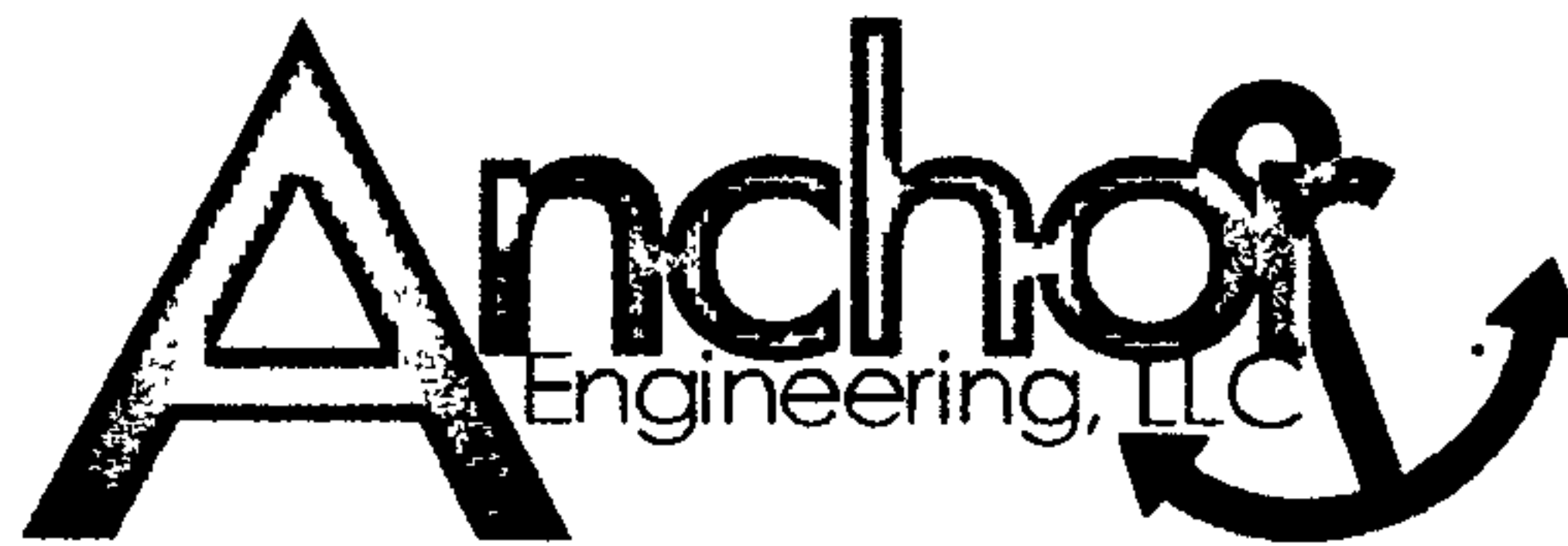
☐ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: \_\_\_\_\_

By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development



1035 South Bosque Loop Bosque Farms, NM 87068  
505-362-1530 fax 505-869-9195

May 27, 2014

Ms. Rita Harmon, PE  
Senior Engineer Planning Department  
City of Albuquerque  
Development and Building Services  
600 Second Street NW  
Albuquerque, NM 87102

RE: Re-submittal of Grading and Drainage Plan for Garcia's Kitchen Food Prep & Catering J13/D096

Dear Ms. Harmon,

I am in receipt of your comments dated April 29, 2014 for this project and have the following responses to offer:

The SO-19 has been removed and the work is all being done as part of a work order set.

1. Please quantify the off-site flows; The drainage calculations accommodate all of the runoff from the site which includes lot 1 and lot 2 Garcia Development.

— The apartments and the restaurant are part of lot 1. In addition, spot elevations were added along central avenue to demonstrate flow does not enter the site off of Central.

✓ 2. Clarify existing and proposed spot elevations along boundary lines; the existing are now depicted with a parenthesis and additional spot elevations were added.

✓ 3. While pond volumes are shown pond 2 and 3 have bpe1 should be considered one and the same pond; Pond one and two have been combined as recommended.

4. Pond #1 Volume calculations are dependent on the pump discharge rate. The pump has been sized to drain the ponds within a 24 hr period. The water surface elevation shown on the plans is assuming the pump has not started pumping until the 100yr 24 hr storm has fallen. This was done as a worst- case scenario in the event that the pump may intermittently fail, the pond has enough storage capacity.

5. Please include a note on the grading plan that the floor drain of the trash enclosures will be routed to an oil water separator, and then to sanitary sewer; the note was added.

6. Include cross sections of ponds; details were added and are part of the plan set.

Hydrograph  
w/ pump  
rate

only 1  
shown

where are  
ret walls.  
need

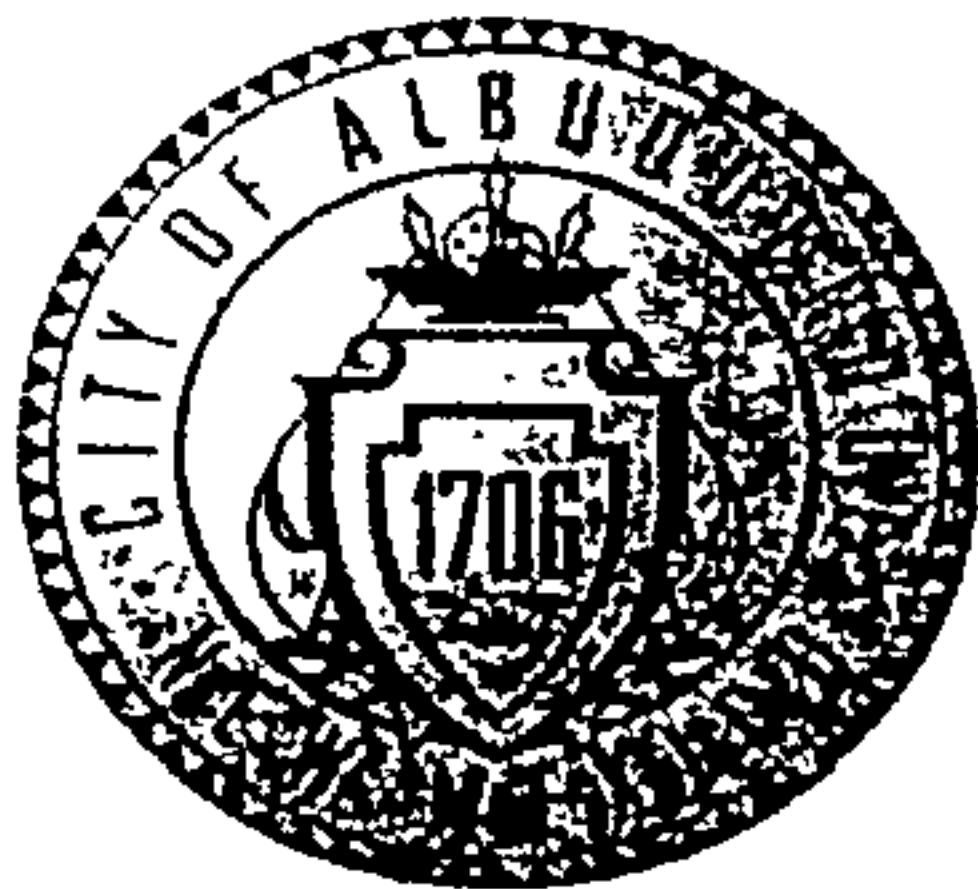
draw sections

not shown

why not included in existing?







# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Verbal NO  
After meeting  
w/ Curtis, Martha  
& Rita  
9/4/14

Project Title: Garcia's Kitchen

City Drainage #: J13 D096

DRB#: 1004677

EPC#: \_\_\_\_\_

Work Order#: \_\_\_\_\_

Legal Description: Lots 1 and 2 Garcia Properties Development

City Address: 1736 Central Ave S.W. Albuquerque, NM 87102

Engineering Firm: Anchor Engineering

Contact: Martin J. Garcia

Address: 1035 S. Bosque Loop Bosque Farms, NM 87068

Phone#: 505.362.1530

Fax#: \_\_\_\_\_

E-mail: martin@anchoreng.net

Owner: Garcia's Kitchen

Contact: Dan Garcia

Address: 1736 Central Ave S.W. Albuquerque, NM 87102

Phone#: 505.842.0273

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_

Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Surveyor: North Star Surveying

Contact: \_\_\_\_\_

Address: 1240 Sunset Rd S.W.

Phone#: 505.980 0465

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_

Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_

Fax#: \_\_\_\_\_

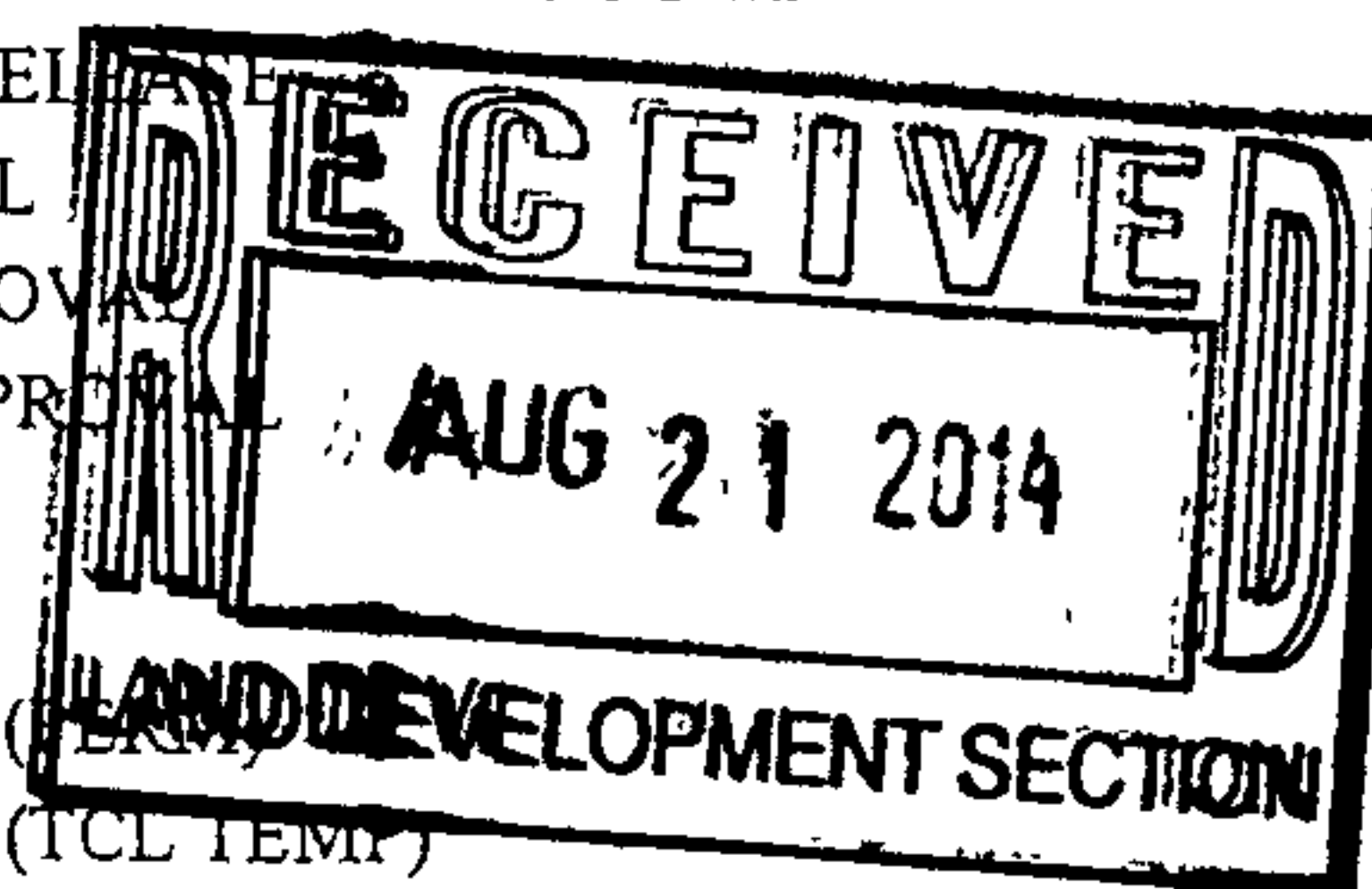
E-mail: \_\_\_\_\_

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- ☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
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- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_


☐ Yes ☒ No ☐ Copy Provided

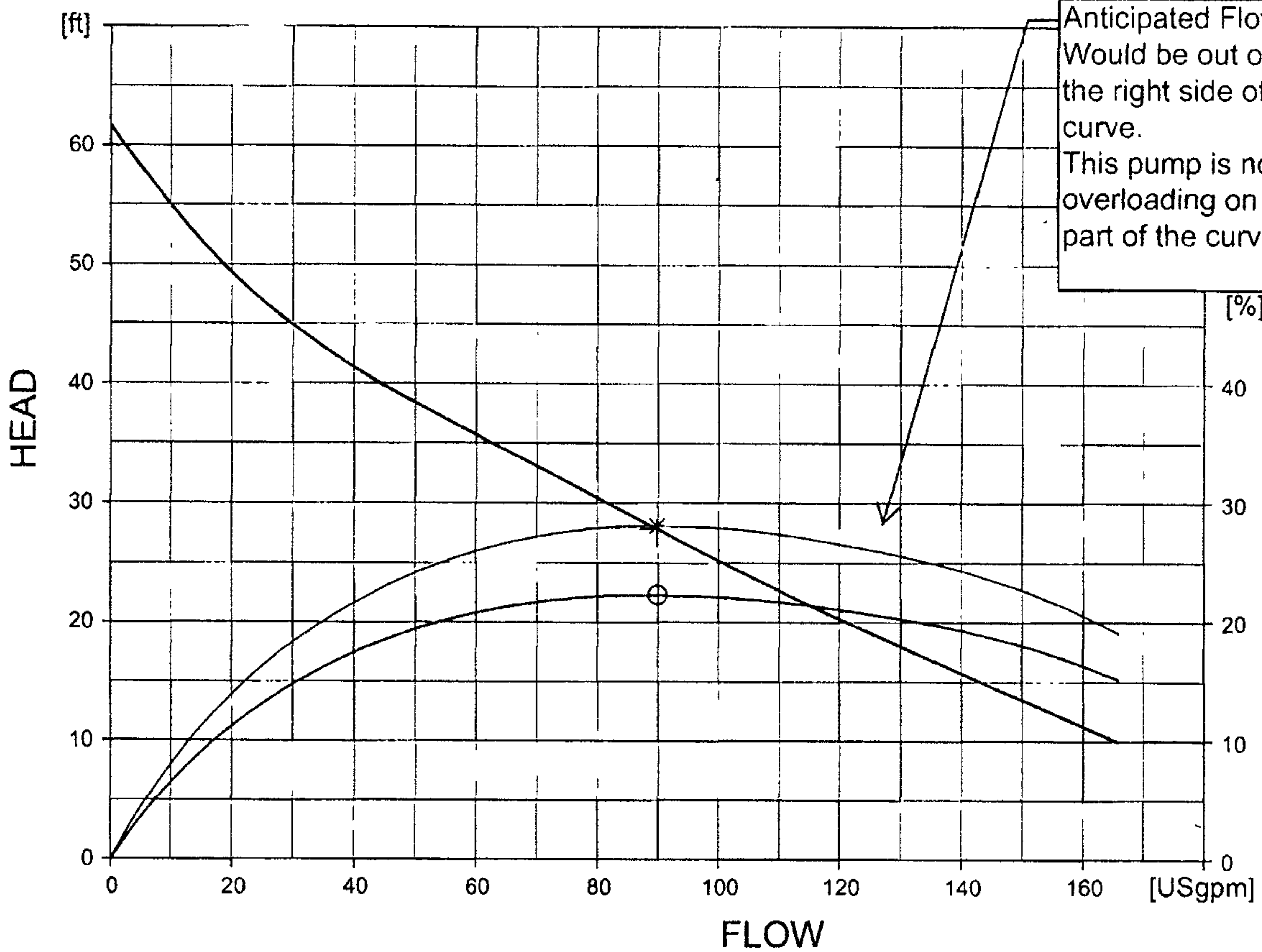
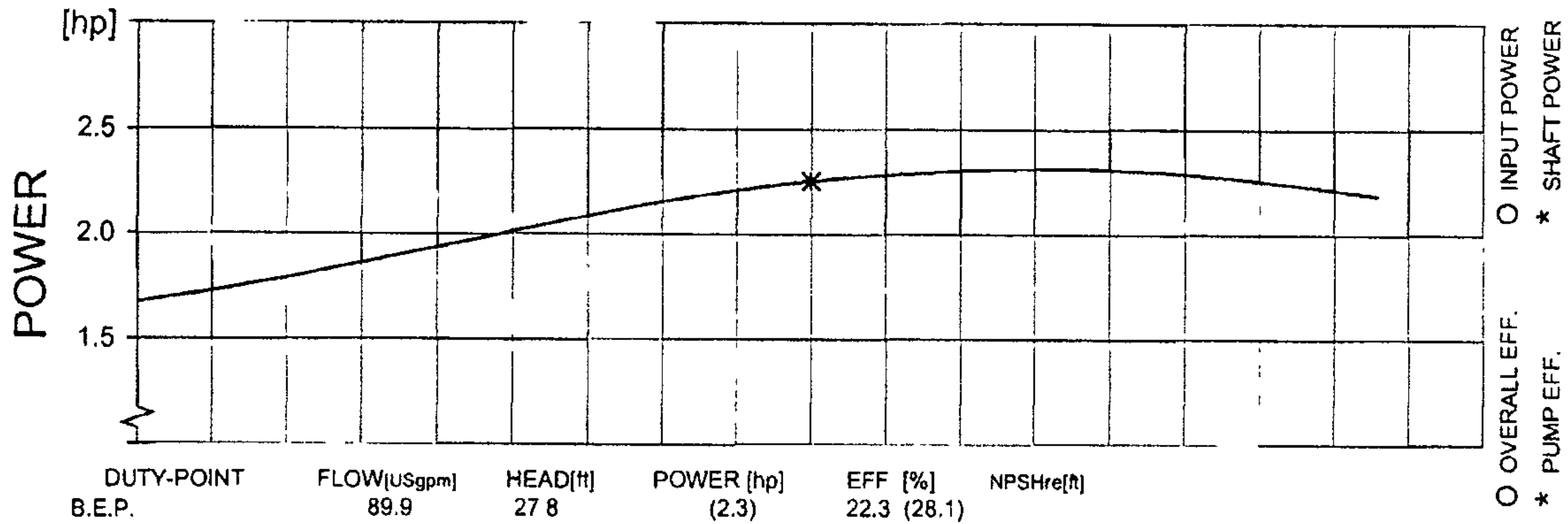
DATE SUBMITTED: 8/21/2014

By: Martin Garcia

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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		PERFORMANCE CURVE		PRODUCT	CP3068.180	TYPE	HT
DATE	2010-08-02	PROJECT	FLYGT US Catalog	CURVE NO	63-256-00-0161	ISSUE	4
POWER FACTOR	0.89	1/1-LOAD	0.85	3/4-LOAD	0.76	1/2-LOAD	
EFFICIENCY	78.0 %		81.0 %		82.0 %		
MOTOR DATA	---		---		---		
COMMENTS	NEVACLOG		INLET/OUTLET	RATED POWER ... 3.8 hp			
	NEMA Code Letter: F		-/ 2 inch	STARTING CURRENT 26 A			
			IMP. THROUGHLET	RATED CURRENT 5.1 A			
			---	RATED SPEED ..... 3295 rpm			
				TOT.MOM.OF INERTIA ... 0.0073 kgm2			
				NO OF BLADES 1			
				IMPELLER DIAMETER 94 mm			
				MOTOR #	13-10-2BB	STATOR	1 Y
				FREQ	60 Hz	PHASES	3
				VOLTAGE	460 V	POLES	2
				GEARTYPE	---	RATIO	---



FLYPS 3.1.6.3 (20060531)

Performance with clear water and ambient temp 40 °C

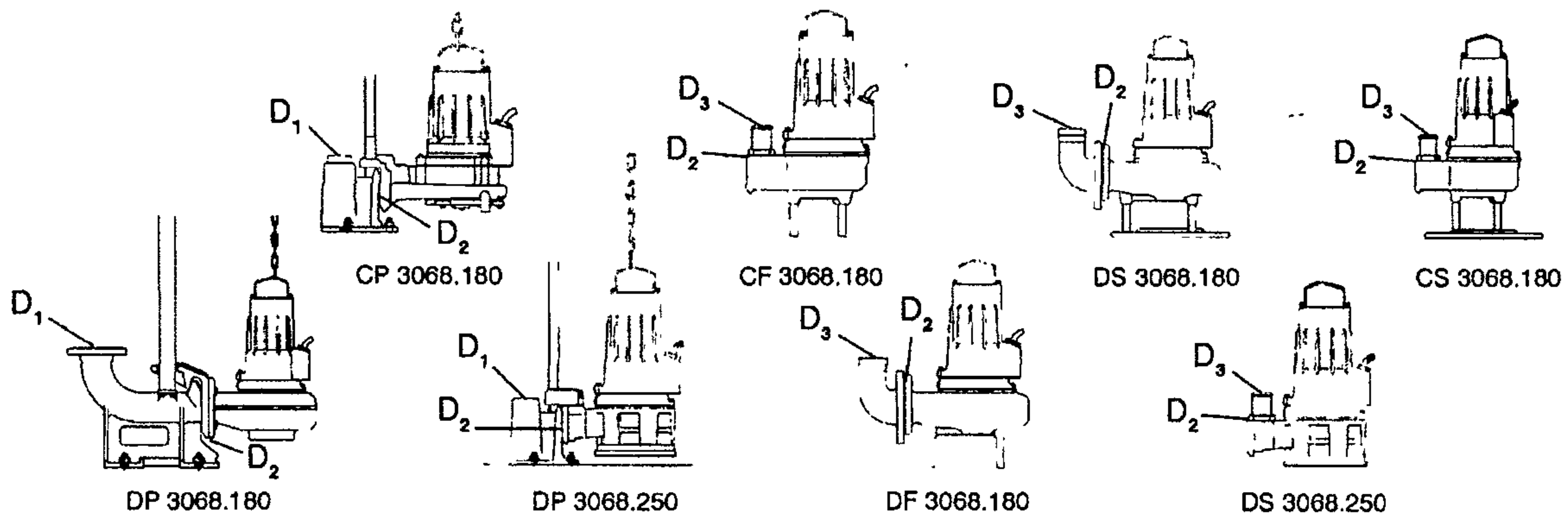


CURVE

# C/D-3068

PUMP MODEL	IMPELLER CODE	HP RATING						VAC	D1	D2	D3
		CP	CF	CS	DP	DF	DS				
3068 3Ø	471 MT	--	--	--	3.2	3.2	3.2	200 230/460 575	*2-1/2 or *3"	*2-1/2 or *3"	3"
	472 MT 473 MT	--	--	--	2.4, 3.2	2.4, 3.2	2.4, 3.2				
	475 MT	--	--	--	2.4, 3.2	2.4, 3.2	2.4, 3.2			*2-1/2	
	481 MT 483 MT 484 MT	--	--	--	1.7 2.4 3.2	1.7 2.4 3.2	1.7 2.4 3.2	230/460	*2-1/2	*2" or *2-1/2	3"
	253 HT 255 HT	3.8	3.8	3.8	--	--	--	200 230/460 575	*2" or *3"	*2"	2"
	256 HT	2.7, 3.8	2.7, 3.8	2.7, 3.8	--	--	--				
	281 LT 283 LT	--	--	--	2.7	2.7	2.7	200 230/460 575	*2"	*1-1/2	1-1/2"

\*Discharge Connection inlet & D<sub>2</sub> Volute dimensions must match for proper function.



PUMP MODEL	IMPELLER CODE	HP RATING						VAC	D1	D2	D3
		CP	CF	CS	DP	DF	DS				
3068 1Ø	473 MT	--	--	--	2.0	2.0	2.0	115/230	*2-1/2 or *3"	*2-1/2 or *3"	3"
	484 MT	--	--	--	1.3 2.0	1.3 2.0	1.3 2.0	115/230	*2-1/2	*2	
	257 HT	1.9 2.3	1.9 2.3	1.9 2.3	--	--	--	115/230	*2" or *3"	*2	2"
	283 LT	--	--	--	2.3	--	2.3	230	*2	*1-1/2	1-1/2"
	285 LT	--	--	--	2.3	--	2.3	230			

LT = High Volume MT = Standard HT = High Head

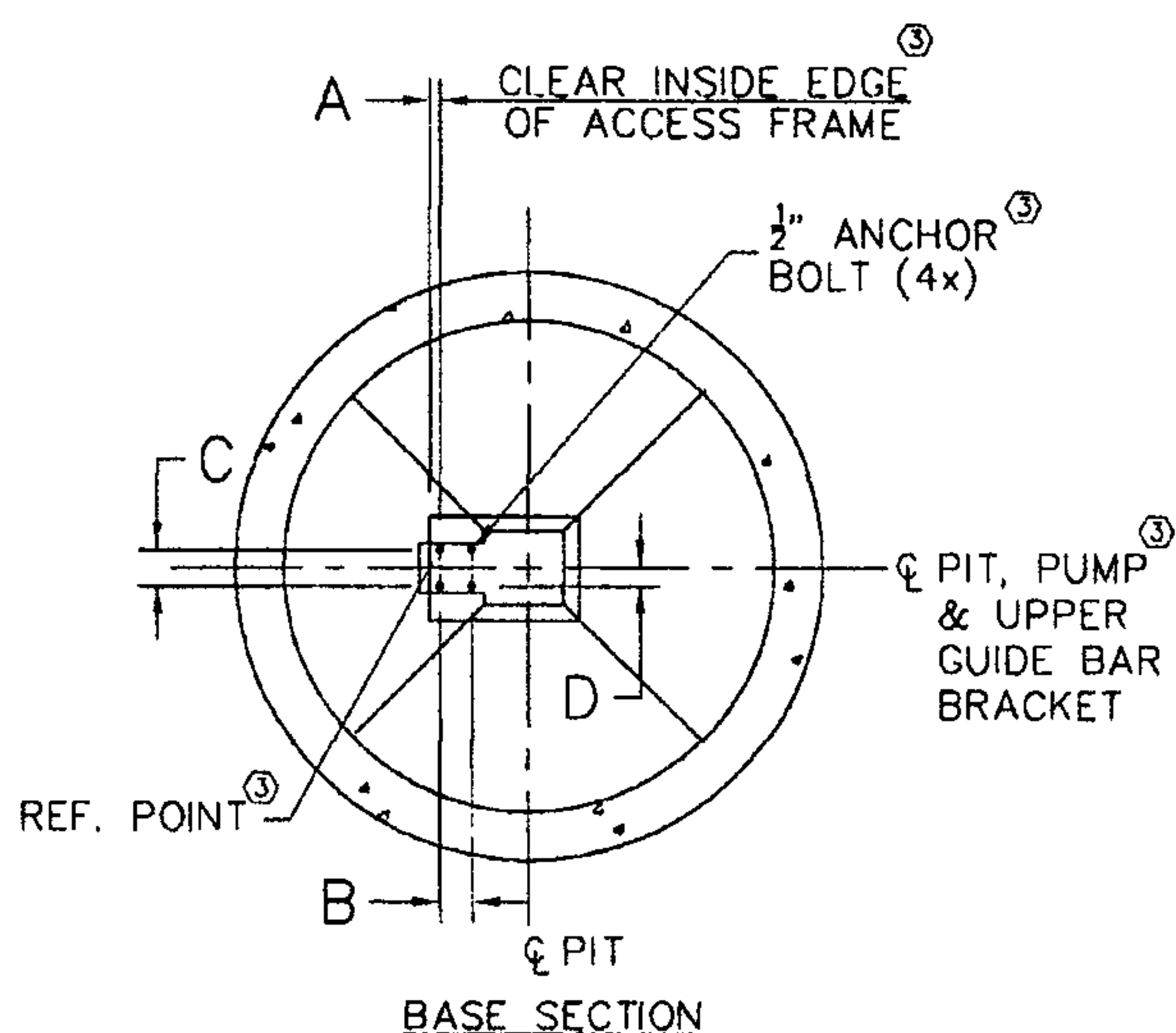
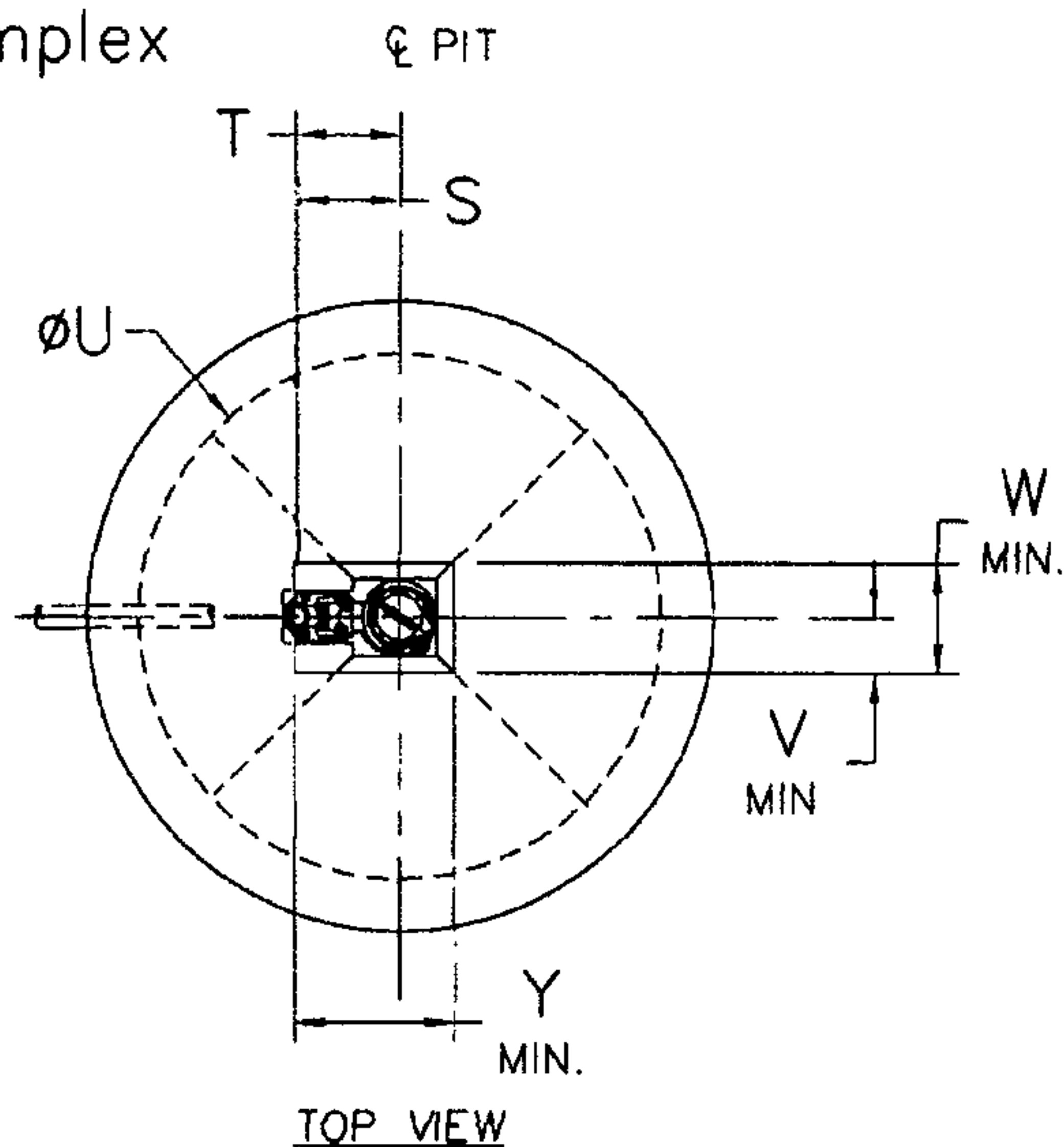


# CP-3068

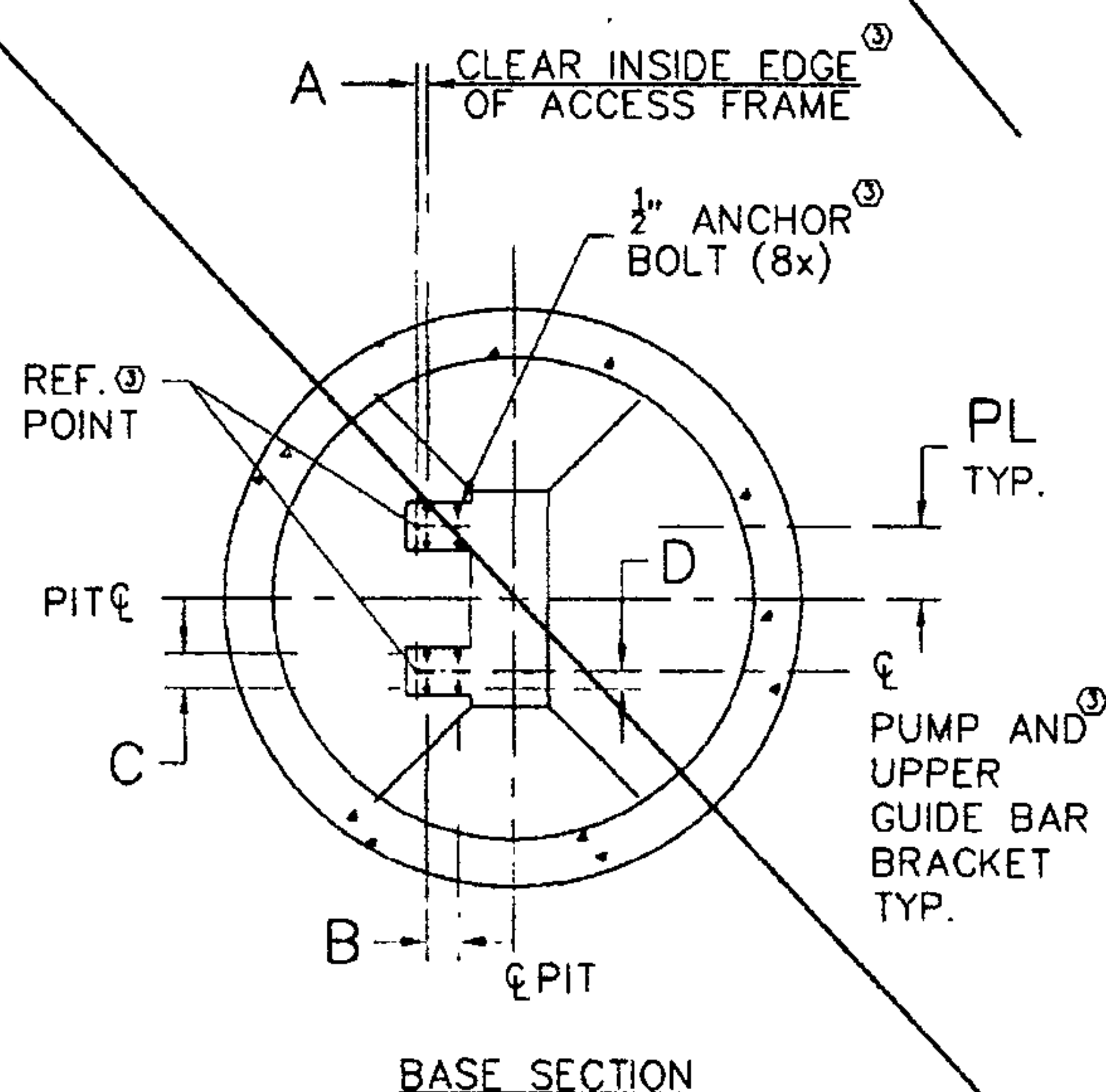
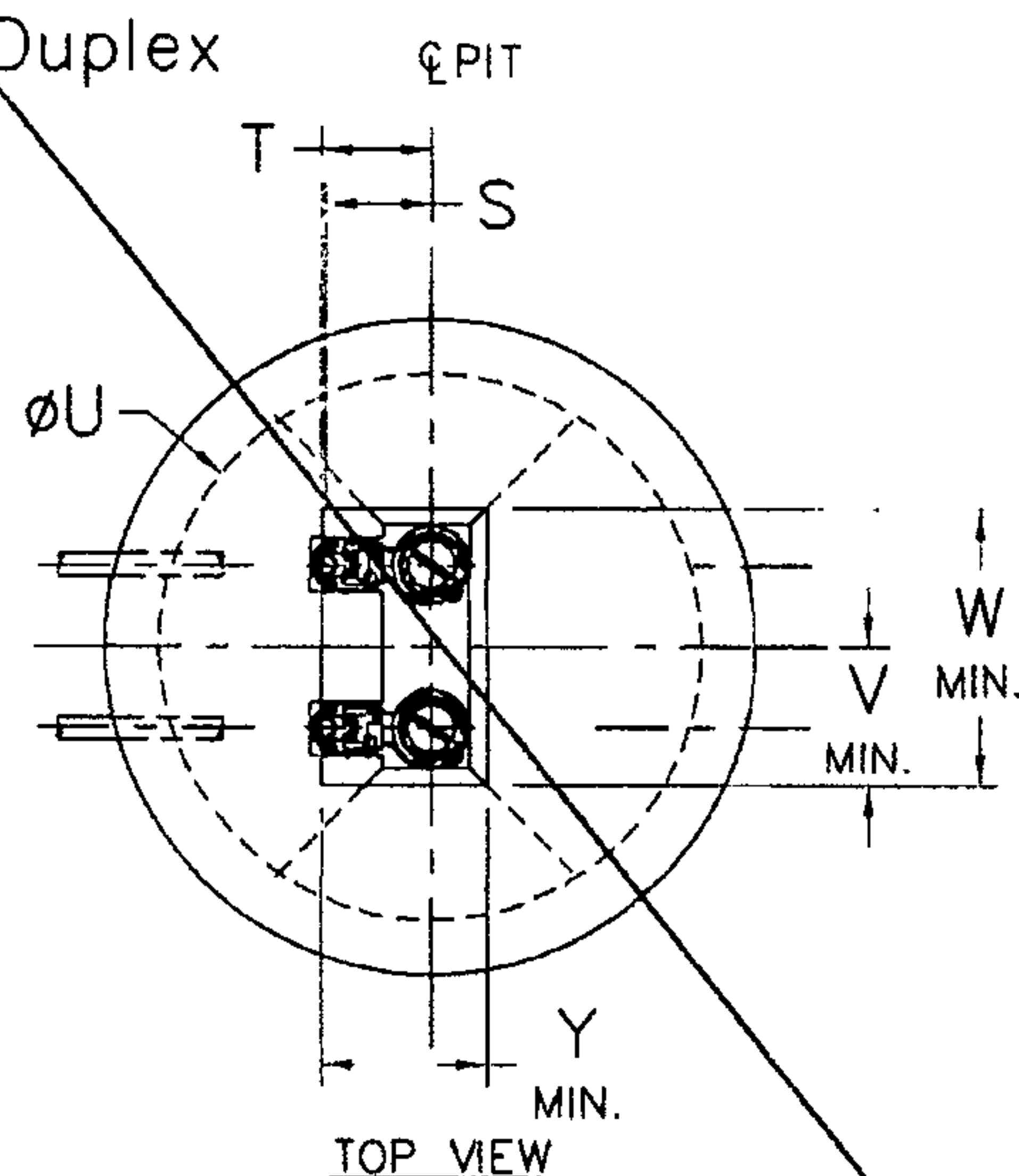
## NOTES:

1. CONFIGURATION AND DIMS. SHOWN ARE SUGGESTED REQUIREMENTS ONLY. ALL DETAILS, INCLUDING SIZING OF PIT, TYPE, LOCATION AND ARRANGEMENT OF VALVES AND PIPING, ETC. ARE TO BE SPECIFIED BY THE CONSULTING ENGINEER AND ARE SUBJECT TO THEIR APPROVAL.
2. REFERENCE GENERIC DUPLEX LIFT STATION LAYOUT.
3. LOCATE ANCHOR BOLTS USING CLEAR INSIDE EDGE OF ACCESS FRAME AND PUMP CENTERLINE AS REFERENCE POINT. BOLT LOCATIONS MUST BE HELD TO MAINTAIN EXACT POSITION OF PUMP TO ACCESS FRAME.

### Simplex



### Duplex



ALL DIMENSIONS ARE IN INCHES

NOM SIZE	VERSION	SIMPLEX										DUPLEX									
		A	B	C	D	S	T	U	V	W	Y	S	T	U	PL	V	W	Y			
2"	HT	1 1/2	4	4 1/2	2 1/2	11 1/2	12 1/2	60	6 1/2	12 1/2	18 1/2	11 1/2	12 1/2	60	9	15 1/2	30 1/2	18 1/2			
3"	HT	2	5 1/2	4 1/2	2 1/2	14 1/2	12 1/2	60	6 1/2	12 1/2	18 1/2	14 1/2	12 1/2	60	9	15 1/2	30 1/2	18 1/2			



# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 29, 2014

Martin J. Garcia, P.E.  
Anchor Engineering, LLC  
1035 South Bosque Loop  
Bosque Farms, NM 87102

Richard J. Berry, Mayor

**Re: Garcias Kitchen Food Prep & Catering  
Grading and Drainage Plan  
Engineer's Stamp Date 4-16-2014 (J13/D096)**

Dear Mr. Garcia:

Based upon the information provided in your submittal received 4-16-14, the above referenced plan cannot be approved for Building Permit until the comments below are addressed. Since the drain line through the curb is being handled through work order, an SO-19 approval is not applicable. After reviewing the project file there are a number of comments on a letter dated September 11, 2013 that have not been adequately addressed and are restated below with further clarification (No. 1 thru 9) as well as new comments (No. 10 thru 13):

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)


1. Please quantify the offsite flows. The drainage narrative states there is offsite flow from the existing restaurant. Are flows from the adjacent apartments included? If not, give an explanation. Lot 1 clearly drains into the proposed site. Is the entirety of Lot 1 included in the basin boundary? Or only portions there of? Delineate the basin boundary used in the analysis. As shown, the flows from restaurant (and possibly apartments) are not able to drain to the pond due to curb.
2. Clarify existing and proposed spot elevations along the boundary lines. The street flow from the Central should not be flowing into the site. In order to verify that this is in fact the case, spot elevations and flow line elevations are needed at drivepads, curb cuts, and waterstops.
3. While pond volumes are shown, Pond #2 and Pond #3 have same BPEL and should be considered one and the same pond. What is the meaning of the line that separates them?
4. Pond #1 Volume calculations are dependent on the pump discharge rate. Provide calculations and show the WSEL for all the ponds.
5. Please include a note on the grading plan that floor drain of the trash enclosures will be routed to an oil water separator and then to Sanitary Sewer.
6. Include cross-sections of Ponds No. 1,2, and 3. Detention Pond detail 1/C-1 shows a partial section, but does not show its relationship to the trash enclosures. On the south side, the cross-section should also show the relationship of the existing wall to the new wall. TOW elevations are not shown for the new wall. Will the retaining walls be waterproofed?
7. Positive flow away from the building is shown, but indicate where the roof is draining.
8. Curb opening along the south pond is shown but not on the westerly and easterly ponds. Curb openings should be sized and located using dimensions.

9. Erosion Sediment Control Plan must be submitted prior to building permit approval.
10. A backflow check valve will be required before the SD passes thru curb. Plans must also indicate that the connection will be built through a work order.
11. It is unclear what is meant by "Wall with 2" - 4" baffles" at west wall. Is this a weir?
12. Provide Sump Pump cut sheets showing pump curves.
13. If pump fails, an emergency overflow path should be indicated, preferably where "Wall with Baffles" is noted on the plans.

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit or Work Order.

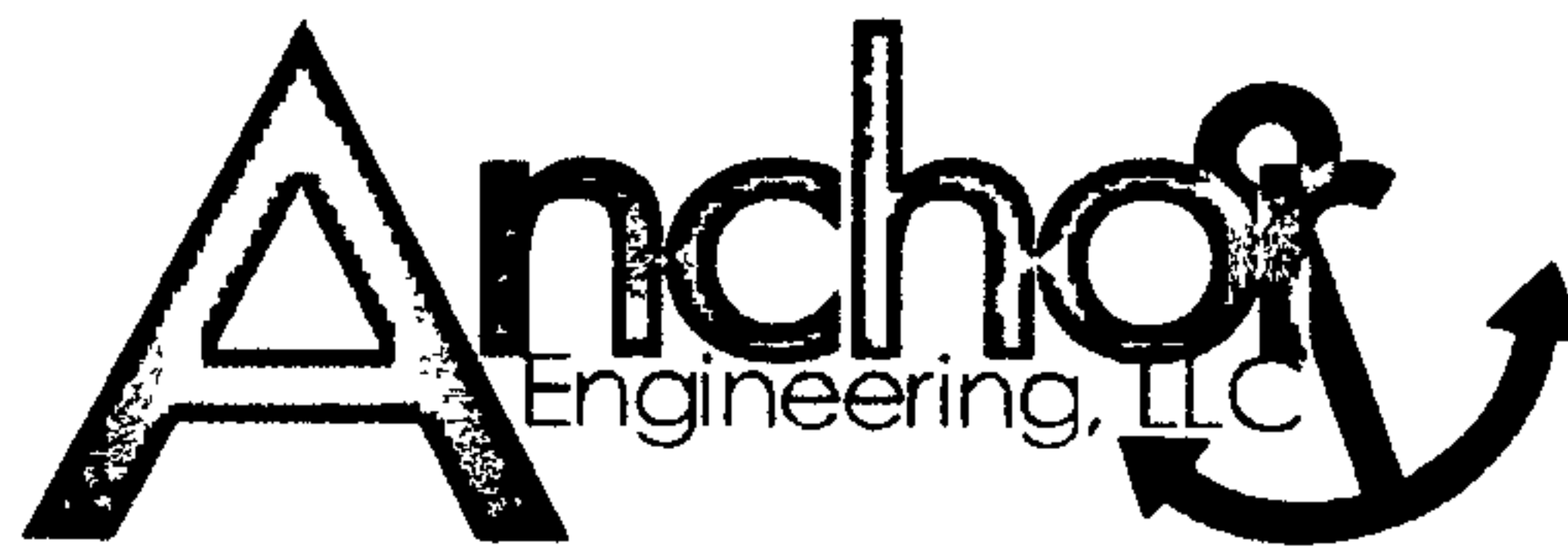
If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita F. H.", with a long horizontal line extending to the right.

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email



1035 South Bosque Loop Bosque Farms, NM 87068  
505-362-1530 fax 505-869-9195

April 16, 2014

Mr. Curtis Cherne, PE  
Principal Engineer Planning Department  
City of Albuquerque  
Development and Building Services  
600 Second Street NW  
Albuquerque, NM 87102

RE: Re-submittal of Grading and Drainage Plan for Garcias Kitchen Food Prep & Catering J13/D096

Dear Mr. Cherne,

I am in receipt of your comments dated August 26, 2013 for this project and have the following responses to offer:

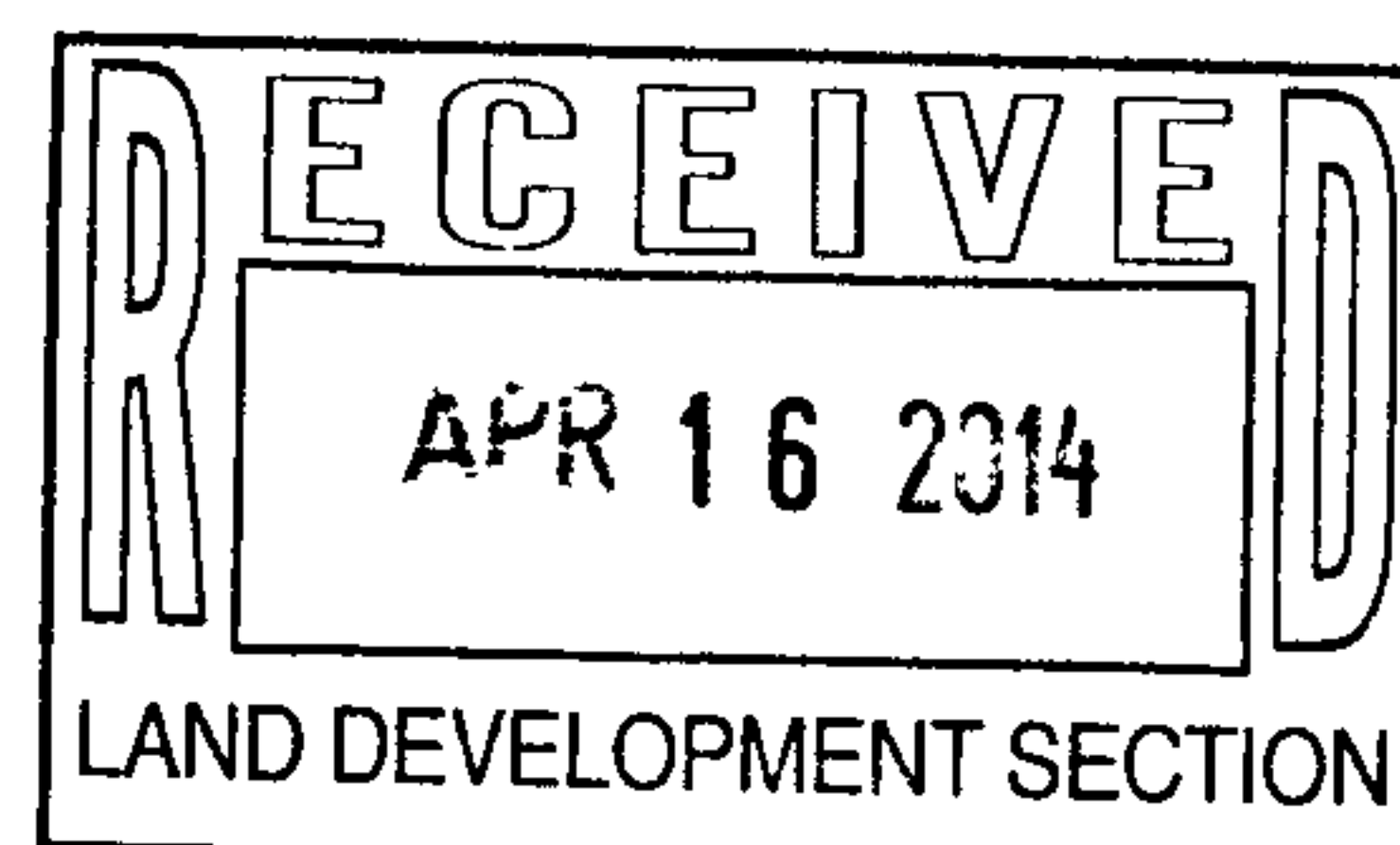
1. Since the pond does not show a spillway, provide the 100yr-10day water surface elevation on the site and top of the perimeter wall elevation.  
The Grading plan was modified to include a storm drainage sump pump that will pump the runoff into Central through a 4" private storm drain through the curb as per COA Std Dwg 2235.

I believe that we have addressed your comments and the plan is ready for approval of building permit approval. If you have any questions or require additional information, please call me at 505-362-1530.

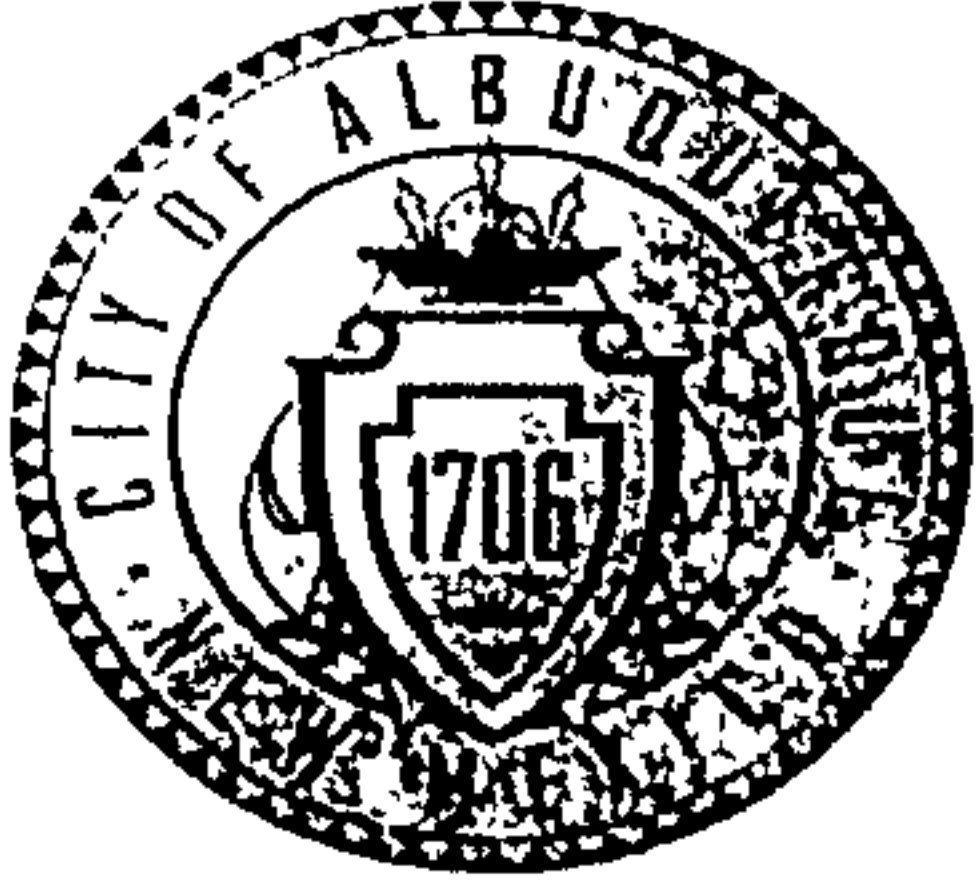
Sincerely,

A handwritten signature in black ink, appearing to read "Martin J. Garcia".

Martin J. Garcia, PE  
Anchor Engineering LLC







# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

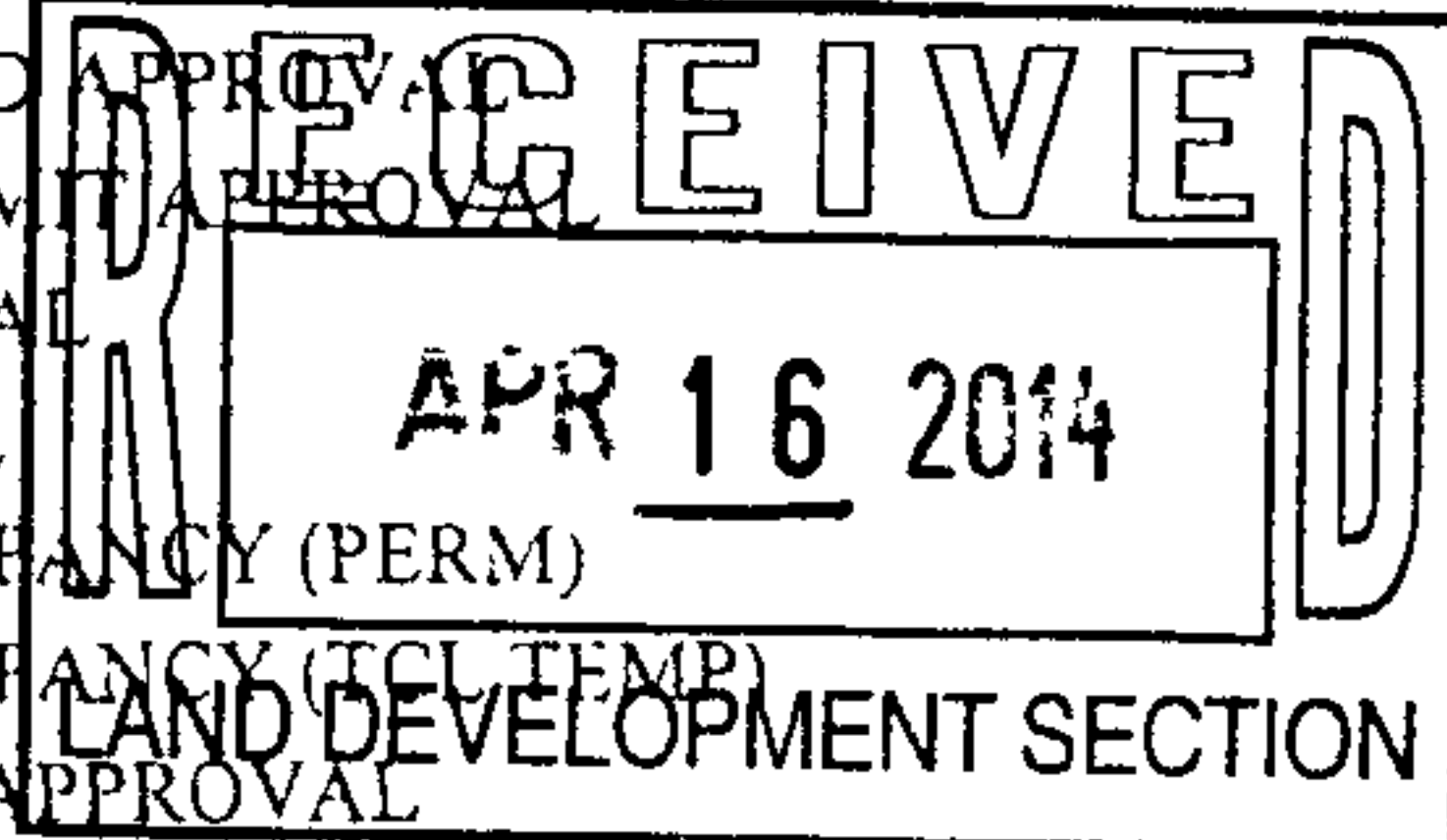
Project Title: Garcia's Kitchen City Drainage #: J13 D096  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lots 1 and 2 Garcia Properties Development  
City Address: 1736 Central Ave S.W. Albuquerque, NM 87102  
Engineering Firm: Anchor Engineering Contact: Martin J. Garcia  
Address: 1035 S. Bosque Loop Bosque Farms, NM 87068  
Phone#: 505.362.1530 Fax#: \_\_\_\_\_ E-mail: martin@anchoreng.net  
Owner: Garcia's Kitchen Contact: Dan Garcia  
Address: 1736 Central Ave S.W. Albuquerque, NM 87102  
Phone#: 505.842.0273 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☒ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 4/16/14 By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# CITY OF ALBUQUERQUE



September 11, 2013

Martin J. Garcia, P.E.  
Anchor Engineering, LLC  
1035 South Bosque Loop  
Bosque Farms, NM 87102

**Re: Garcias Kitchen Food Prep & Catering  
Grading and Drainage Plan  
Engineer's Stamp Date 8/19/2013 (J13/D096)**

Dear Mr. Garcia,

Based upon the information provided in your submittal received 8-19-2013, the above referenced grading and drainage plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

- 1 • Please quantify the flows entering from the northwesterly property.
- 2 • Clarify existing and proposed spot elevations along the boundary lines.
- 3 • Show pond volume calculations. The high water elevation is at 4952.22 and bottom of Pond 1 is at 4952.23. How much runoff is being intercepted by Pond 1?
- 4 • Provide 100-yr/10-day Volume calculations and WSEL.
- 5 • Please spot elevation for the trash area to assume that the runoff will drain to the center of the enclosure. Please include a note on the grading plan that floor drain will be routed to an oil water separator and then to Sanitary Sewer.
- 6 • Include sections at the pond locations to the east, west and to the south. Provide top and bottom of wall elevation for the proposed retaining walls. Will the retaining walls be waterproofed?
- 7 • Provide positive flow away from the building.
- 8 • Callout curb opening along the westerly and easterly ponds. Show the curb openings along the easterly pond.
- 9 • Erosion Sediment Control Plan and permit must be submitted prior to building permit approval.

PO Box 1293

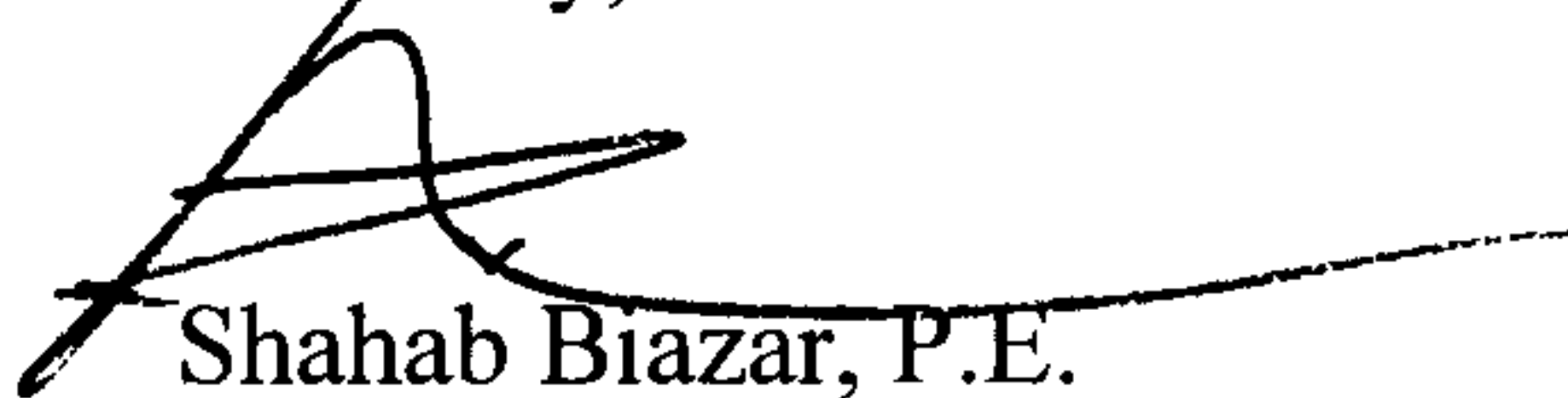
Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

  
Shahab Biazar, P.E.  
Senior Engineer, Planning Department  
Development and Review Services

C: email



1004677

BP

# **DRAINAGE AND TRANSPORTATION INFORMATION SHEET** (REV 02/2012)

PROJECT TITLE: 1000 PROPRATE ANCHORAGE TRAIL ZONE MAP: J13D096  
 DRB#: 1004677, 1007646 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 2 GARCIA PROPRATE DEVELOPMENT  
 CITY ADDRESS: 1736 CENTRAL AVE SW.

ENGINEERING FIRM: ANCHOR ENGINEERING LLC CONTACT: LAUREN J. GARCIA  
 ADDRESS: 1035 SOUTH BOSQUE 100P PHONE: 362-1530  
 CITY, STATE: BOSQUE TEXAS 76810 ZIP CODE: 76808  
 EMAIL: anchoreng@aig.com

OWNER: GARCIA CONTACT: JAN GARCIA  
 ADDRESS: 1736 Central Ave SW PHONE: 362-2753  
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87102

ARCHITECT: J. Rogers Architects CONTACT: Jim Rogers  
 ADDRESS: \_\_\_\_\_ PHONE: 247-1168  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
 EMAIL: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

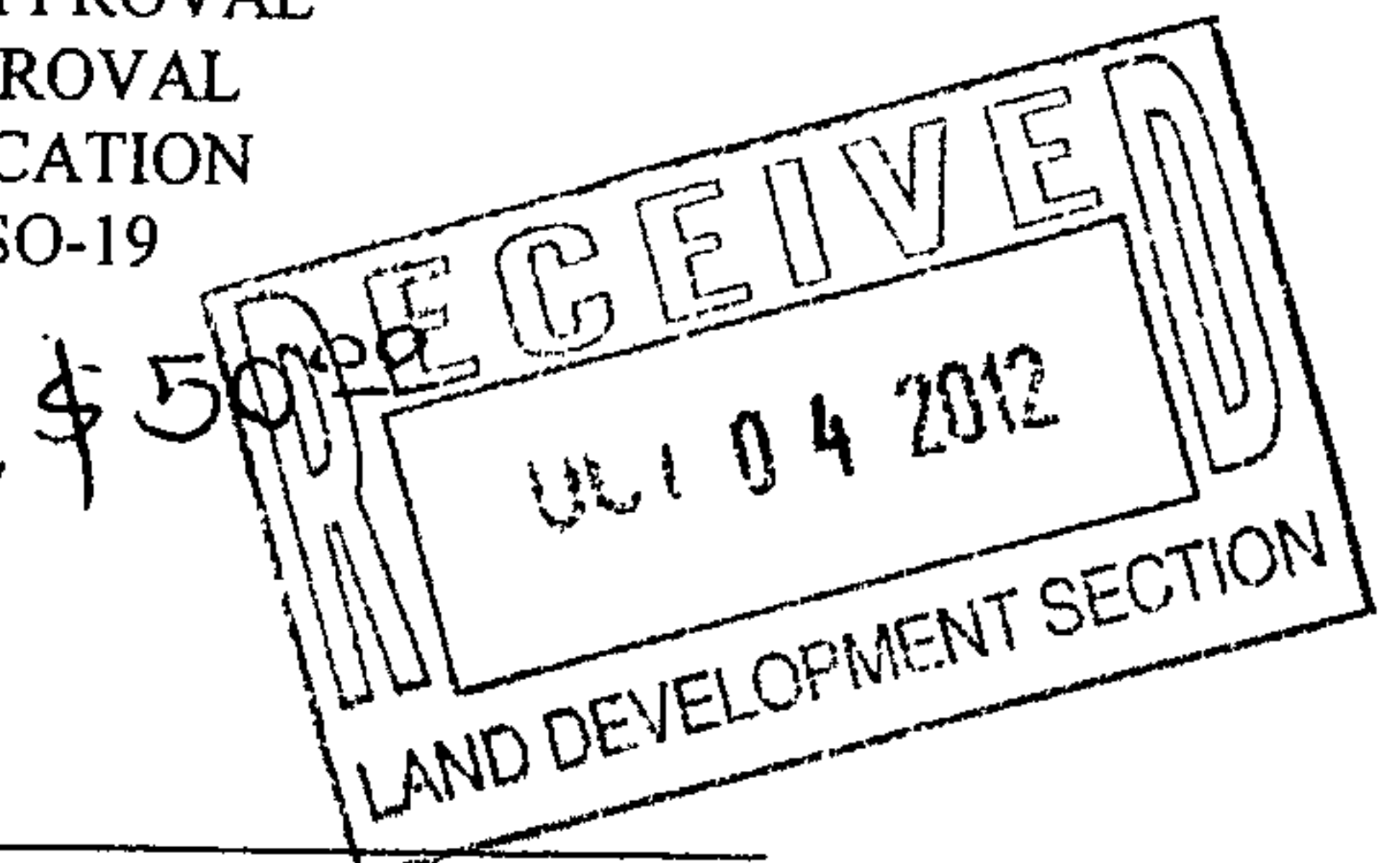
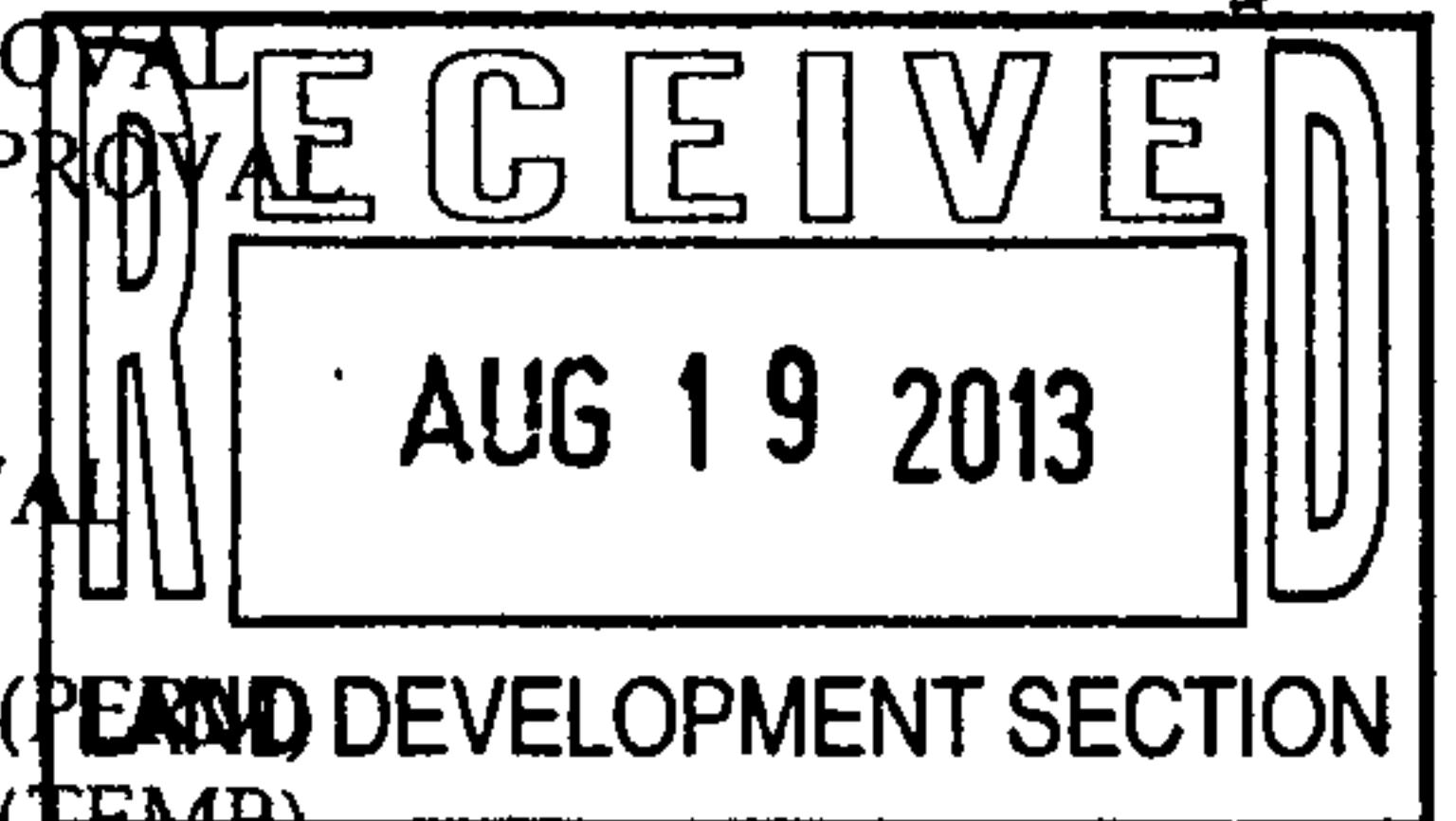
TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☒ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 10/5/12

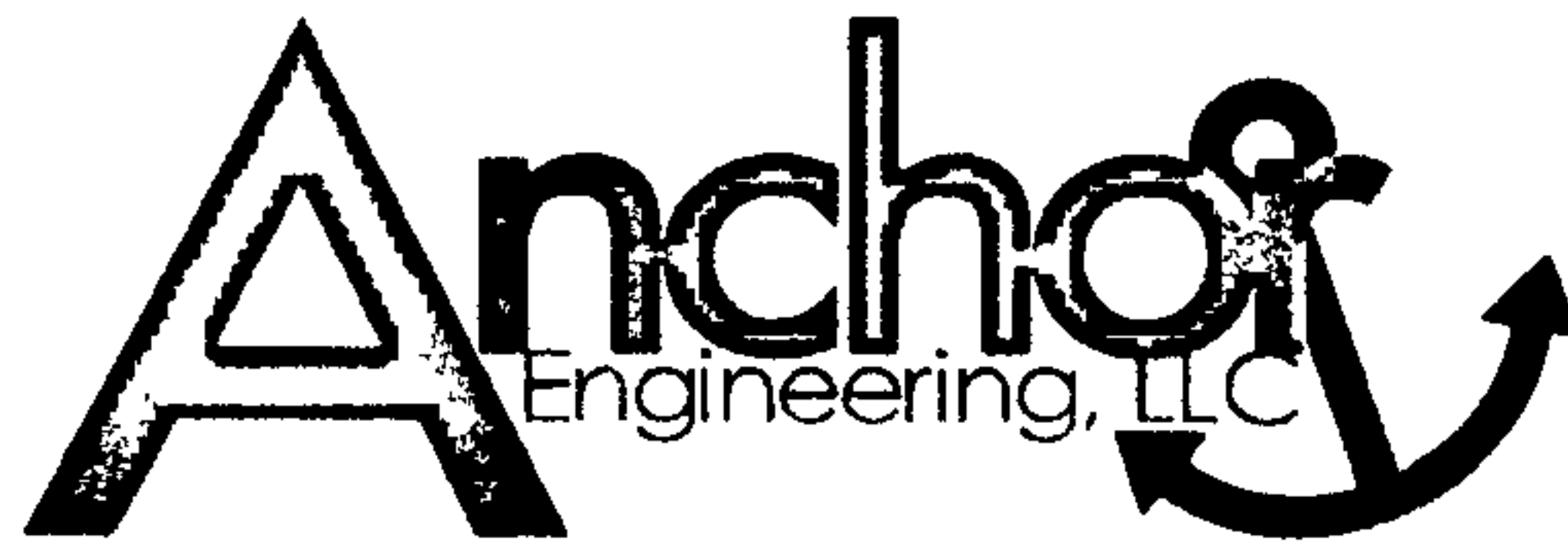
BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





1035 South Bosque Loop Bosque Farms, NM 87068  
505-362-1530 fax 505-869-9195

August 19, 2013

Mr. Shahab Biazar, PE  
Senior Engineer Planning Department  
City of Albuquerque  
Development and Building Services  
600 Second Street NW  
Albuquerque, NM 87102

RE: Re-submittal of Grading and Drainage Plan for Garcias Kitchen Food Prep & Catering J13/D096

Dear Mr. Biazar,

I am in receipt of your comments dated October 23, 2012 for this project and have the following responses to offer:

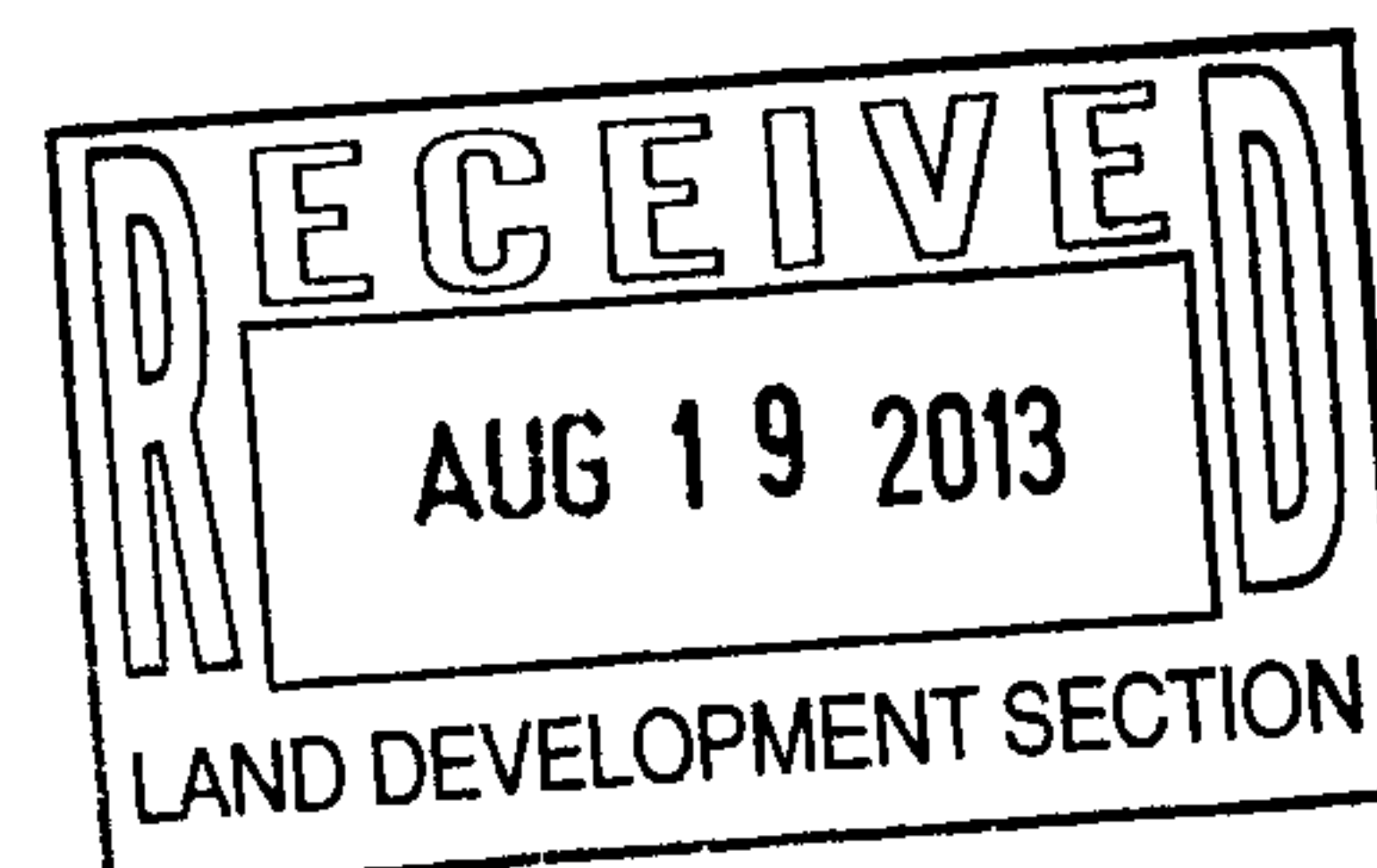
1. Please quantify the flows entering from the north  
There are no off-site flows entering from the north to the site since Central Avenue has curb and gutter to direct flows down Central Avenue. All the flows from the Garcia's Kitchen site are being collected into our storm drainage retention pond.
2. Provide spot elevations abutting the site.  
Spot elevations have been added to the plan.
3. Provide pond calculations.  
Pond calculations are shown on the plan.
4. Provide Pond overflow locations.  
Pond overflow locations are shown on the new plan. Essentially the overflow location is into the parking areas, thus the curb openings into the pond also serve as overflow locations.
5. Label Central Avenue.  
Central Avenue has been labeled.
6. Per DPM Chapter 22 Section 9, runoff from the trash enclosure pad is required to drain to the sanitary sewer.  
A drain to the sanitary sewer has been added and is shown on the site utility plan of which a copy is attached.

I believe that we have addressed your comments and the plan is ready for approval. If you have any questions or require additional information, please call me at 505-362-1530.

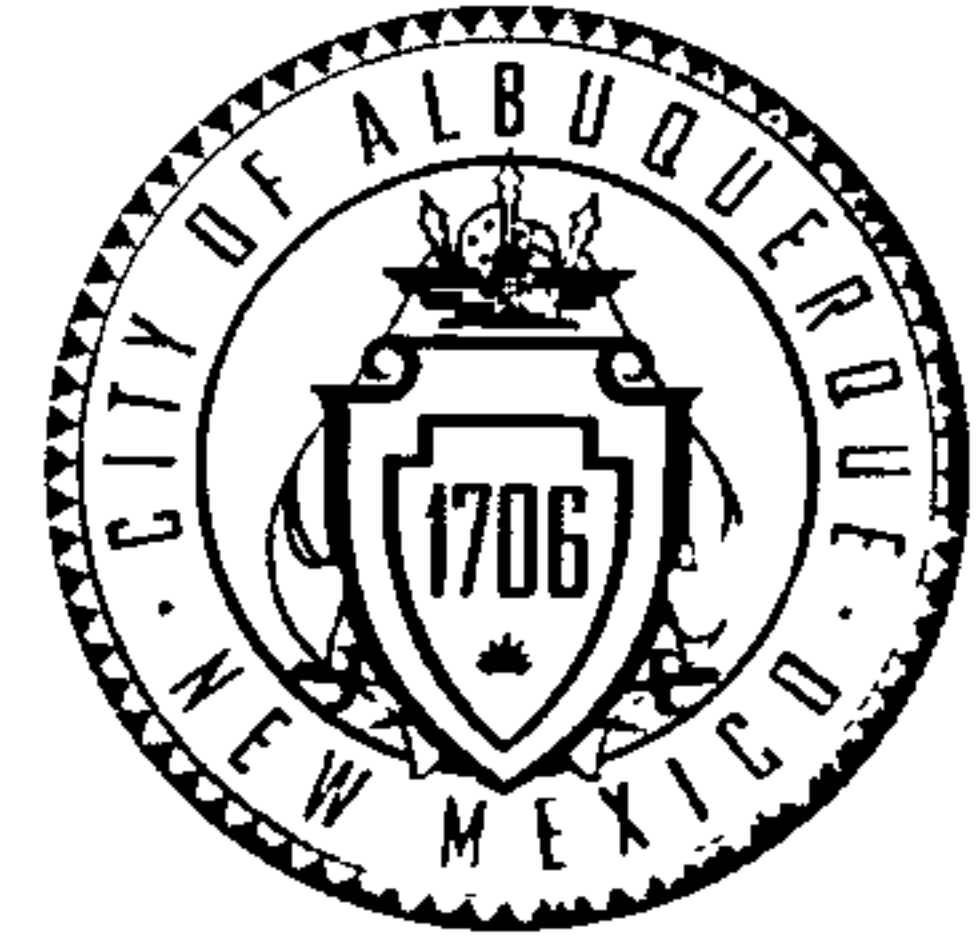
Sincerely,

A handwritten signature in black ink, appearing to read "Martin J. Garcia".

Martin J. Garcia, PE  
Anchor Engineering LLC



# CITY OF ALBUQUERQUE



October 23, 2012

Martin J. Garcia, P.E.  
Anchor Engineering, LLC  
1035 South Bosque Loop  
Bosque Farms, NM 87102

**Re: Garcias Kitchen Food Prep & Catering  
Grading and Drainage Plan  
Engineer's Stamp Date 10/23/2012 (J13/D096)**

Dear Mr. Garcia,

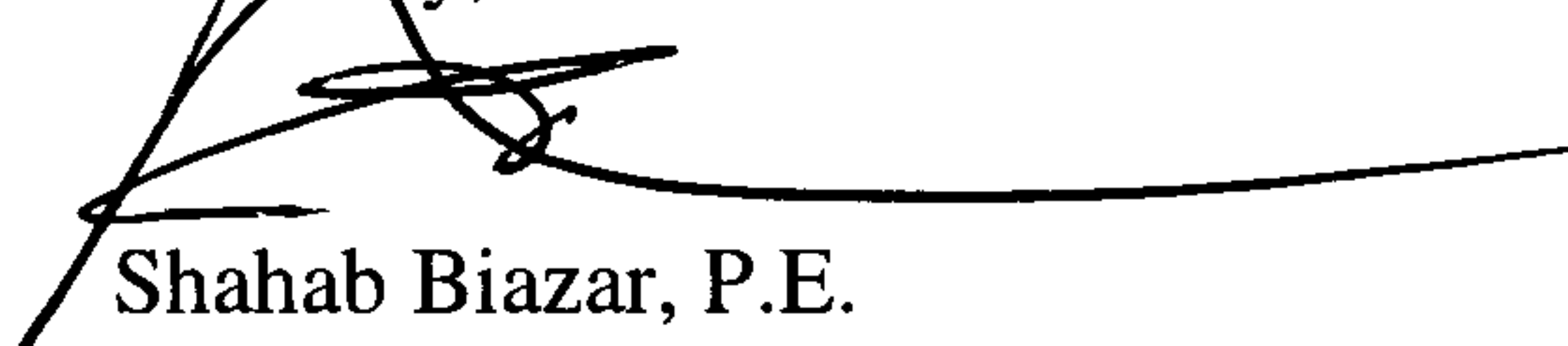
Based upon the information provided in your submittal received 10-4-2012, the above referenced grading and drainage plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

- Please quantify the flows entering from the north.
- Provide spot elevations abutting the site.
- Provide pond calculations.
- Provide pond over flow locations.
- Label Central Ave.
- Per the DPM Chapter 22 Section 9, runoff from the trash enclosure pad is required to drain to the sanitary sewer.

If one acre or more is being disturbed this project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,



Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: RER/SB  
email

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

PROJECT TITLE: 7000 PROPANATE AVE W/ 10 THUSING TRACT ZONE MAP: J-13/10094  
DRB#: 1004677, 1007646 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 2 GARCIA PROPERTIES DEVELOPMENT  
CITY ADDRESS: 1736 CENTRAL AVE SW.

ENGINEERING FIRM: ANCHOR ENGINEERING LLC CONTACT: MAURITZ GARCIA  
ADDRESS: 1035 SOUTH BOSQUE 102P PHONE: 362-1530  
CITY, STATE: BOSQUE TEXAS 76016 ZIP CODE: 76016  
EMAIL: anchoreng@aig.com

OWNER: GARCIA CONTACT: DAN GARCIA  
ADDRESS: 1736 Central Ave SW PHONE: 362-2753  
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87102

ARCHITECT: JS ROGERS ARCHITECTS CONTACT: Jim Rogers  
ADDRESS: \_\_\_\_\_ PHONE: 247-1168  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 10/5/12 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



August 26, 2013

Martin Garcia, P.E.  
Anchor Engineering  
1035 South Bosque Loop  
Bosque Farms, NM

**Re: Garcia's Food Preparation and Warehouse  
Grading and Drainage Plan  
Engineer's Stamp Date 8-19-13 (J13D096)**

Dear Mr. Garcia,

Based upon the information provided in your submittal received 8-19-13, the above referenced plan is approved for Site Plan for Building Permit-action by the DRB. When submitting for Building Permit, address the following comment:

- Since the pond does not show a spillway, provide the 100-yr 10 day water surface elevation on the site and the top of perimeter wall elevation.

PO Box 1293

The plan was not reviewed at the Building Permit level since the focus was DRB. The plan is in the queue to be reviewed for Building Permit approval.

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

Sincerely,

~ Curtis Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

[www.cabq.gov](http://www.cabq.gov)

C: anchoring@q.com  
file

Approved SPBP  
plan & approval  
letter dated 7/3/14

Checked out by  
Jake Bordenave on  
10/29/15



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

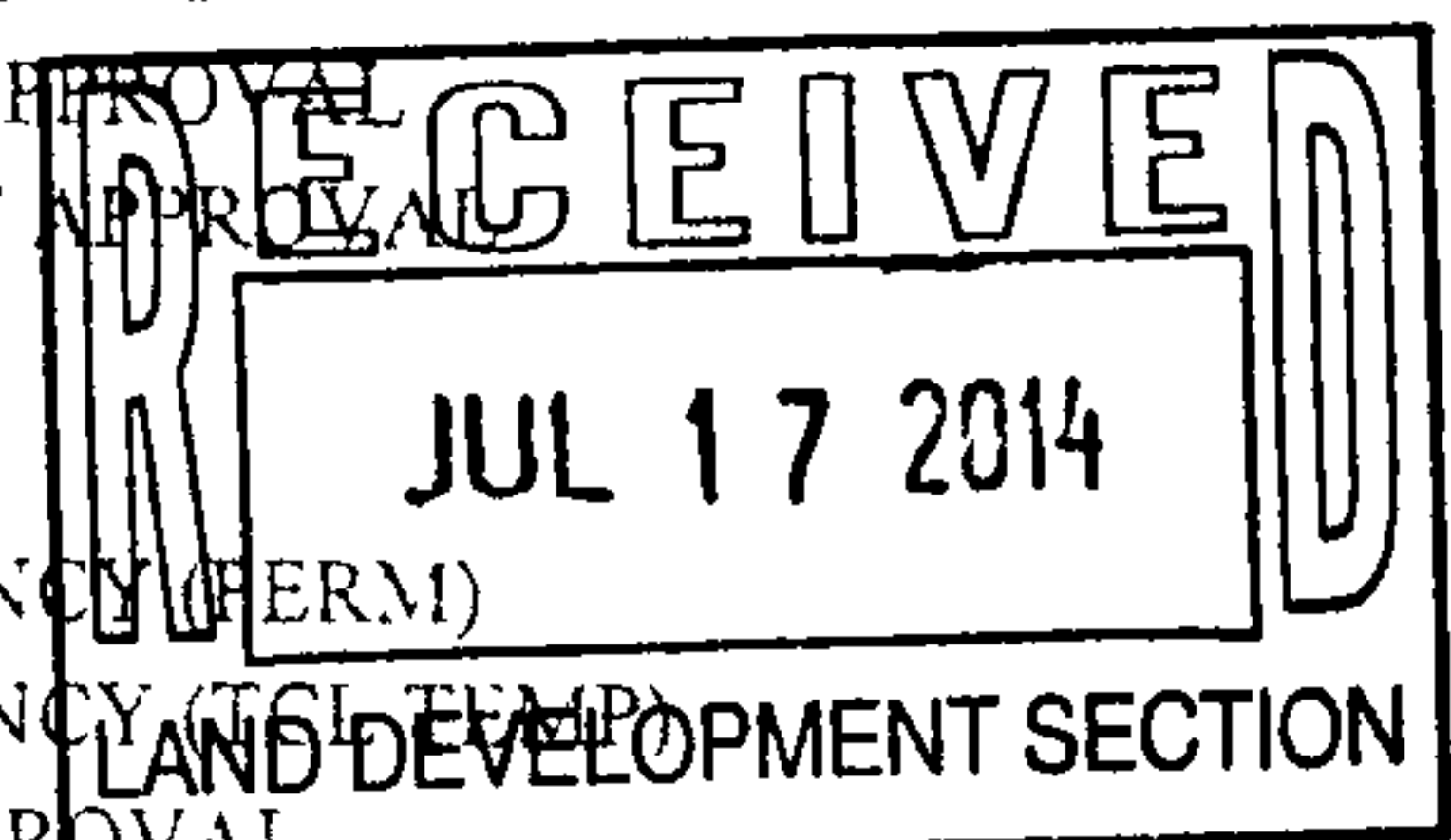
Project Title: Garcia's Kitchen City Drainage #: J13 D096  
DRB#: 1004677 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lots 1 and 2 Garcia Properties Development  
City Address: 1736 Central Ave S.W. Albuquerque, NM 87102  
Engineering Firm: Anchor Engineering Contact: Martin J. Garcia  
Address: 1035 S. Bosque Loop Bosque Farms, NM 87068  
Phone#: 505.362.1530 Fax#: \_\_\_\_\_ E-mail: martin@anchoreng.net  
Owner: Garcia's Kitchen Contact: Dan Garcia  
Address: 1736 Central Ave S.W. Albuquerque, NM 87102  
Phone#: 505.842.0273 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Surveyor: North Star Surveying Contact: \_\_\_\_\_  
Address: 1240 Sunset Rd S.W.  
Phone#: 505.980.0465 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 7/16/2014

By: Francis Phillips

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development



# CITY OF ALBUQUERQUE



October 26, 2012

Martin Garcia, P.E.  
Anchor Engineering LLC  
3501 S. Bosque Lp.  
Bosque Farms, NM 87068

**Re: Garcia's Kitchen Food Prep and Catering Facility, 1736 Central Ave SW,  
Traffic Circulation Layout  
Engineer's Stamp dated 10-03-12 (J13-D096)**

Dear Mr. Garcia,

Based upon the information provided in your submittal received 10-04-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque


NM 87103

[www.cabq.gov](http://www.cabq.gov)

- A traffic circulation layout (TCL) must provide detailed geometric information (radii, dimensions, etc.) for a complete review. Existing conditions must be clearly differentiated from proposed conditions, and all easements and lot lines must be shown. Please review the TCL checklist attached to this letter.

If you have any questions, you can contact me at 924-3991.

Sincerely,

  
Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

PROJECT TITLE: Food Preparation Area within the new Facility ZONE MAP: J-13/D096  
DRB#: 1004677, 1007646 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 2 GARCIA Properties Development  
CITY ADDRESS: 1736 CENTRAL AVE SW.

ENGINEERING FIRM: ANCHOR ENGINEERING LLC CONTACT: MANUEL GARCIA  
ADDRESS: 1035 SOUTH BOSQUE 100P PHONE: 362-1530  
CITY, STATE: BOSQUE TEXAS NM ZIP CODE: 87068  
EMAIL: anchoreng@aig.com

OWNER: GARCIA CONTACT: DAI GARCIA  
ADDRESS: 1736 Central Ave SW PHONE: 362-2753  
CITY, STATE: ALBUQU NM ZIP CODE: 87102

ARCHITECT: JS Rogers Architects CONTACT: Jim Rogers  
ADDRESS: \_\_\_\_\_ PHONE: 247-1168  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

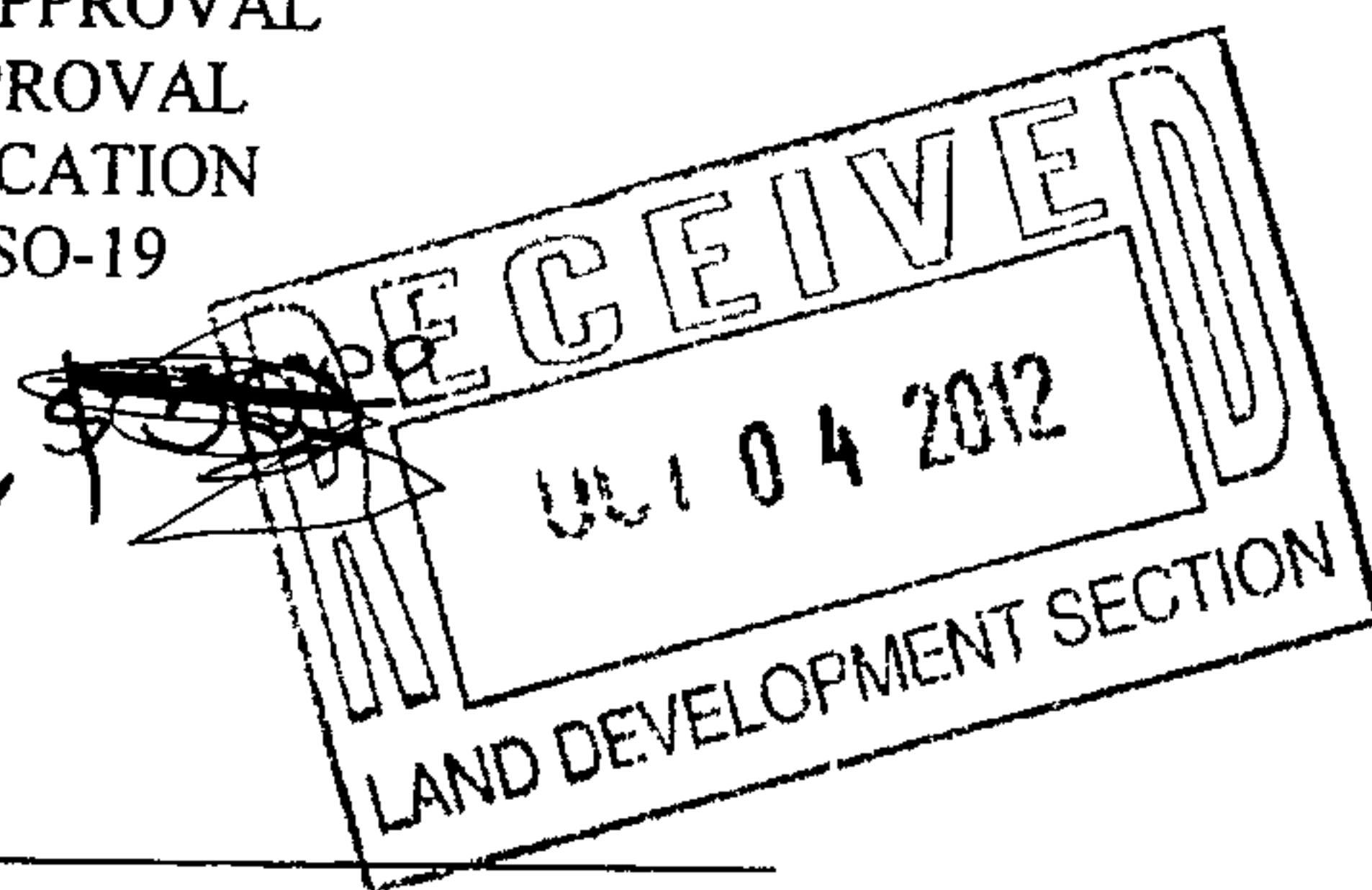
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
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☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

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☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED

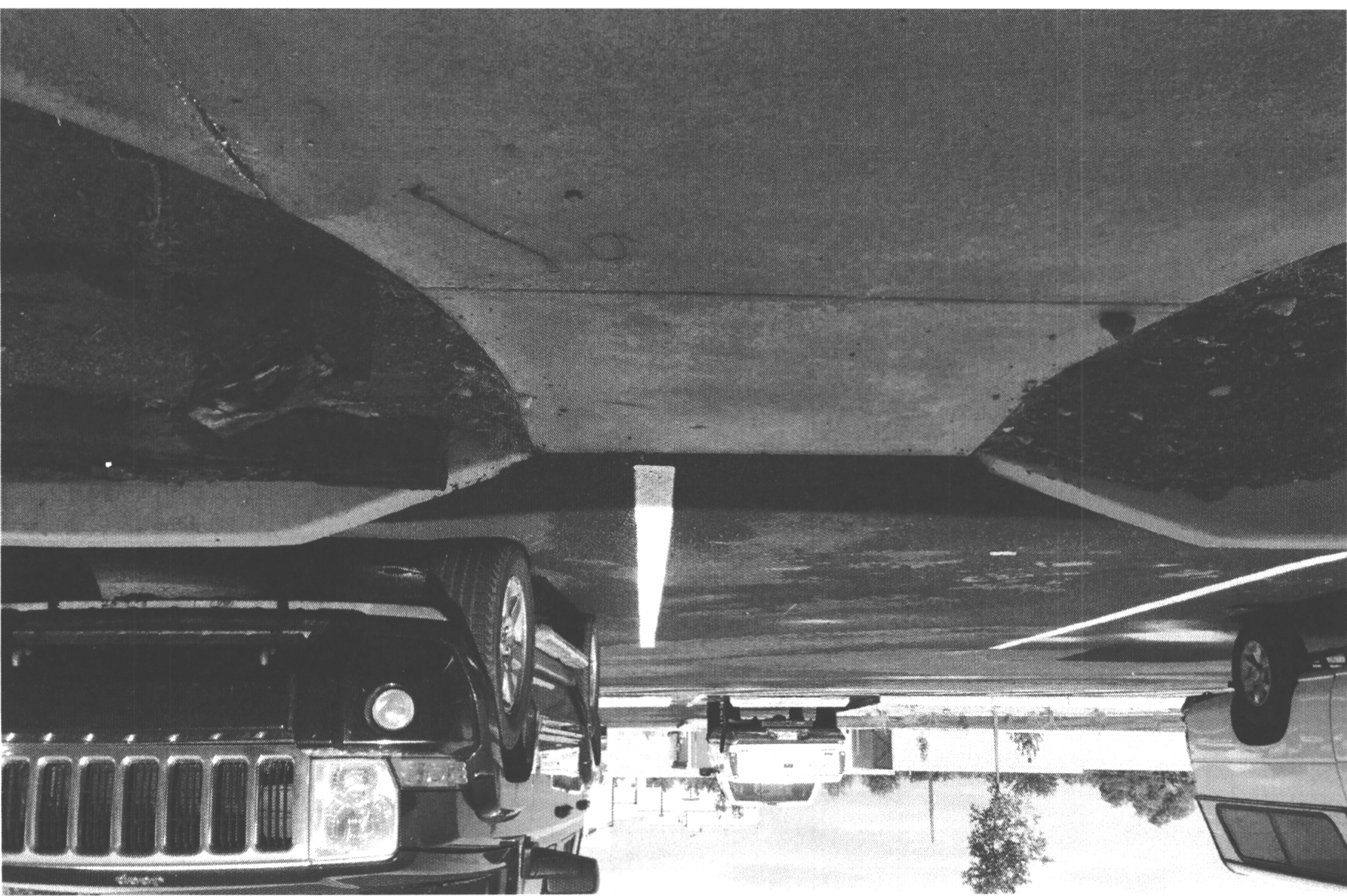
DATE SUBMITTED: 10/5/12 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.







# TRANSMITTAL

**PROJECT:** GARCIA'S KITCHEN  
PROPOSED FOOD PREP &  
CATERING FACILITY

**PROJECT NO:** 1116

**TO:** CITY OF ALBUQUERQUE  
TRAFFIC ENGINEERING DIV.

**DATE:** 07/21/14

**ATTN:** RAQUEL MICHEL

**PHONE:** (505) 924-3630

## WE TRANSMIT

☒ herewith ☐ in accordance with your request ☐ under separate cover

## FOR YOUR:

☐ approval ☐ distribution to parties ☒ information  
☐ review & comment ☒ record ☐ use

## THE FOLLOWING:

☒ Drawings ☐ Shop Drawing Prints ☐ Samples  
☐ Specifications ☐ Shop Drawing Reproducibles ☐ Product Literature  
☐ Change Order ☒ See Below

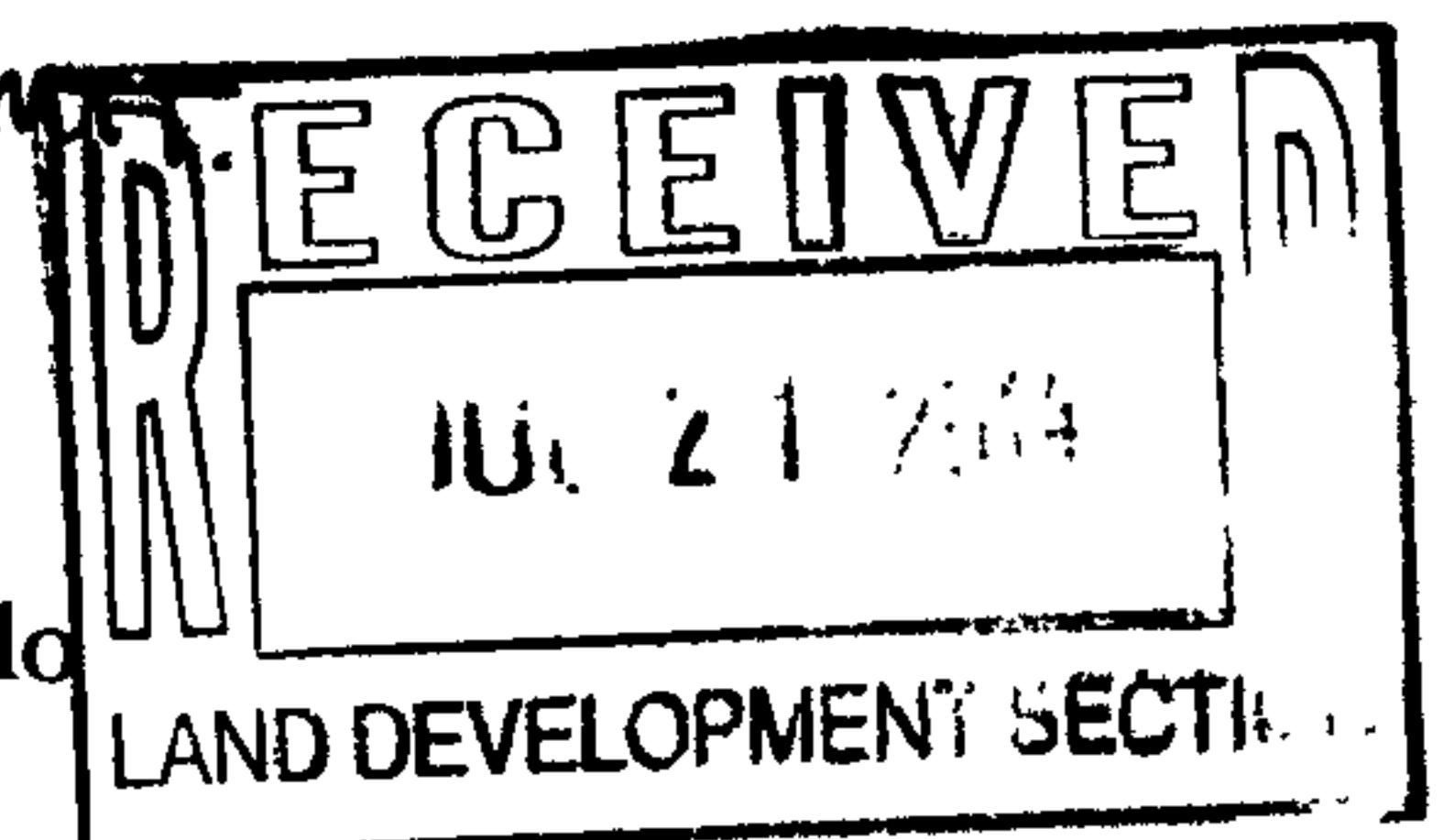
COPIES	DATE	REV. No.	DESCRIPTION
1	8/29/12	3	Site Development Plan for Building Permit with Grading and Drainage Plan (Rev. 08/07/13) Project #1004677, 13DRB-70660

## REMARKS:

MS MICHEL: FRANCIS PHILLIPS REQUESTED DELIVER THE ATTACHED SHEETS TO YOU.  
PLEASE FIND ATTACHED THE PERTINENT SHEETS FROM THE  
APPROVAL SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

**COPIES TO:** Project Files

**BY:** Michael Trujillo



J. S. ROGERS ARCHITECTS PC

821 Mountain Road NW . Albuquerque NM 87102 T. 505-247-1168 F 505-247-0262

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

July 25, 2014

Martin Garcia, P.E.  
Anchor Engineering LLC  
3501 S. Bosque Lp.  
Bosque Farms, NM 87068

**Re: Garcia's Kitchen Food Prep Facility, 1736 Central Ave. SW**  
**Traffic Circulation Layout – Not Required**  
Site Plan for Building Permit (SPBP) dated 09-11-13 (J13-D096)

Dear Mr. Garcia,

Thank you for the TCL submittal. After review of the referenced Site Plan for Building Permit and existing conditions it appears that a TCL is not required for the proposed improvements. A copy of the stamped and signed plan will be needed for each of the building permit plans.

PO Box 1293

Albuquerque

New Mexico 87103

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the approved SPBP for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification along with indicating that the development was built in "substantial compliance" with the SPBP. Submit this certification SPBP with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Racquel M. Michel, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk

Return to

Racquel Michel

@ Plaza del Sol