



**Planning Department
Transportation Development Services**

November 25, 2015

Jake Bordenave P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87199

**Re: Garcias Kitchen, 1736 Central Ave SW
Request for Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 11-03-2015
Administrative Amendment Dated 11-13-2015 (J13-D096)
Certification dated 11-23-2015**

Dear Mr. Bordenave,

PO Box 1293

Based upon the information provided in your submittal received 11-23-2015, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

New Mexico 87103

Sincerely,

www.cabq.gov

John Gurule, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

I, JEAN J. BORDENAVE, NMPE OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLANS DATED 06/16/2014 AND 11/13/2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY (NONE) OF THE FIRM (NONE). I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/16/2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

NO EXCEPTIONS

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

11/23/15
Date





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development



11/03/15

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105
jakebordenave@comcast.net



project data
job no.: 1509
dwg name: AA
drawn by: METO
check by: JJB
issue date: 11/03/15
revision data

sheet title
SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT

GARCIA'S KITCHEN
FOOD PRODUCTION & WAREHOUSE
1736 Central Avenue SW
Albuquerque, NM

sheet

SD1.0A

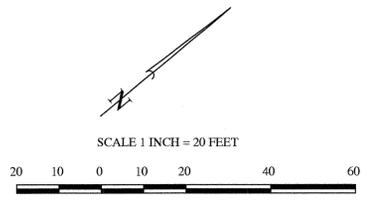
KEYED NOTES

- REMOVE EXISTING 24" DRIVEPAD. INSTALL 6" CONCRETE SIDEWALK PER COA STD. DET. 2440 AND STANDARD CURB AND GUTTER PER COA STD. DET. 2415A.
- NEW 32" DRIVEPAD AND SIDEWALK PER CITY WORK ORDER PROJECT NO. 752085.
- NEW DOMESTIC AND IRRIGATION WATER METERS PER CITY WORK ORDER PROJECT NO. 752085.
- NEW PRIVATE FIRE LINE PER CITY WORK ORDER PROJECT NO. 752085.
- NEW SANITARY SEWER SERVICE PER CITY WORK ORDER PROJECT NO. 752085.
- NEW PUMPED OUTFALL FROM DETENTION POND PER PLAN DETAILS.
- NEW ASPHALT PAVEMENT PER PLAN DETAILS.
- NEW CONCRETE HEADER CURB PER PLAN DETAILS.
- NEW CONCRETE WALK PER PLAN DETAILS.
- NEW PARKING LOT STRIPING PER PLAN DETAILS.
- NEW STRIPED WALKWAY PER PLAN DETAILS.
- NEW HANDICAP SIGNING PER PLAN DETAILS.
- NEW MOTORCYCLE PARKING SIGNING PER PLAN DETAILS.
- LANDSCAPED AREA PER PLAN DETAILS.
- NEW CONCRETE PARKING BUMPERS.
- EXISTING RESTAURANT SIGN TO REMAIN.

ADMINISTRATIVE AMENDMENT
FILE # ~~10130~~ PROJECT # ~~100467~~
AS BUILT OF SITE
IMPROVEMENTS ALREADY
CONSTRUCTED
APPROVED BY *[Signature]* DATE 11.13.2015

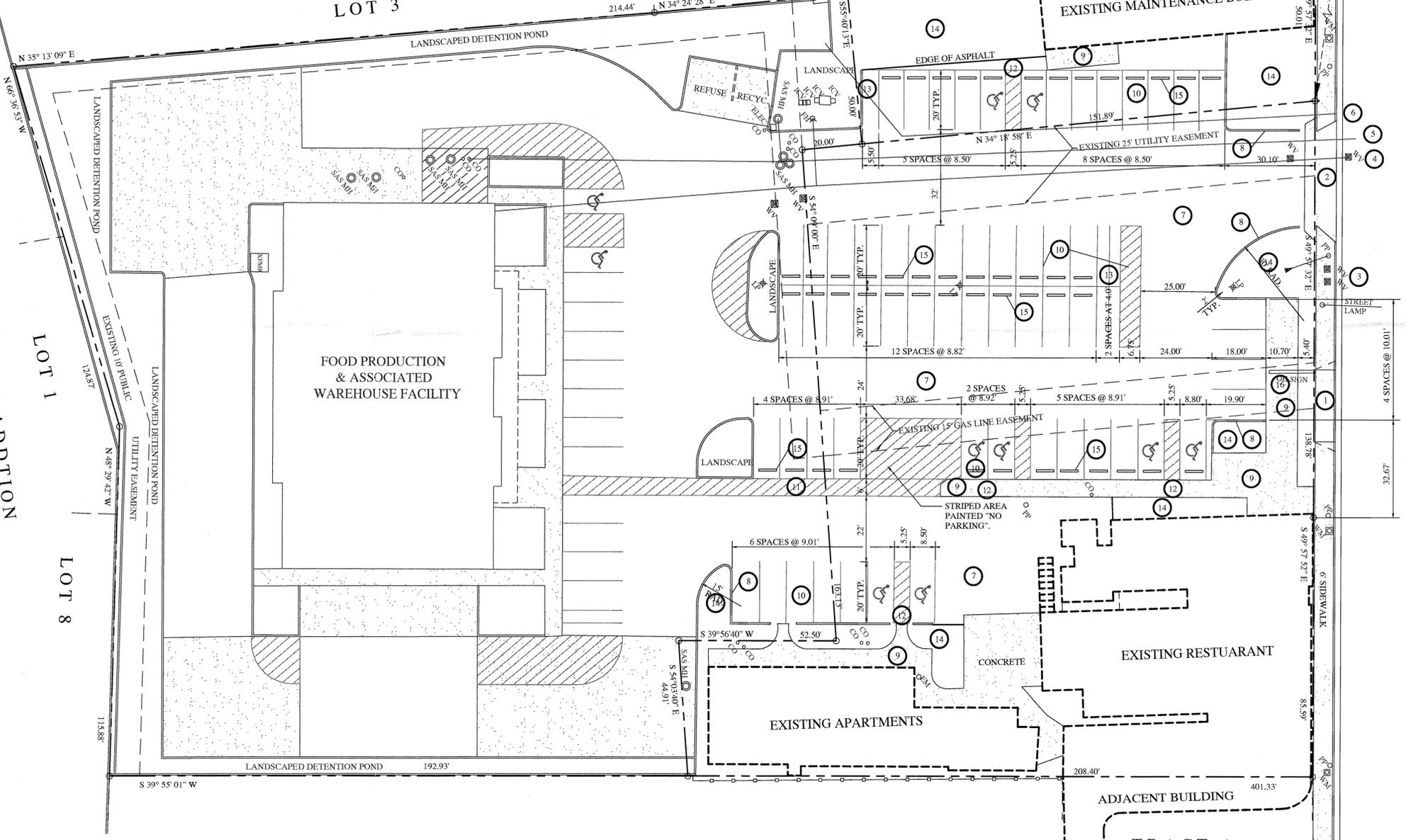
LEGEND

- PP UTILITY POLE
- GUY ANCHOR
- CATV CABLE TV RISER
- ⊗ WM WATER METER
- ⊗ WV WATER VALVE
- ⊗ FH FIRE HYDRANT
- ⊗ LP LIGHT POLE
- EM ELECTRIC METER
- GM GAS METER
- CO SEWER CLEANOUT
- ELEC ELECTRICAL RISER
- TSE TRAFFIC SIGNAL ELECTRIC
- ICV IRRIGATION CONTROL VALVE
- ⊙ SAS MH SANITARY SEWER MANHOLE
- ♿ HANDICAPPED PARKING SPACE



COUNTRY CLUB PLACE
(REC. 4/7/2011 PLAT BOOK 2011C, PAGE 33)

LOT 2 HUNING CASTLE ADDITION
(REC. 3/9/1949 VOL. B, FOLIO 134)



ACS MONUMENT "13-J13"
X=1515.110.608
Y=1481.589.852
Ground-to-grid: 0.999684824
Magnetic Angle: 40° 42' 00"
NMSPL CENTRAL ZONE NAD 83

TRACT B
LANDS OF H.B. HORN AND CALVIN HORN
(REC. 3/2/1978 VOLUME C13, FOLIO 20)

GENERAL NOTE:
REMOVE EXISTING ASPHALT PAVEMENT AND CONCRETE WALKS.
REGRADE SITE PER GRADING PLAN. INSTALL ASPHALT PAVEMENT,
CONCRETE WALKS AND HEADER CURBS PER THIS SHEET.

CENTRAL AVENUE, S.W.
(100' R.O.W.)

GARCIA'S KITCHEN: FOOD PRODUCTION & ASSOCIATED WAREHOUSE FACILITY

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET INDEX

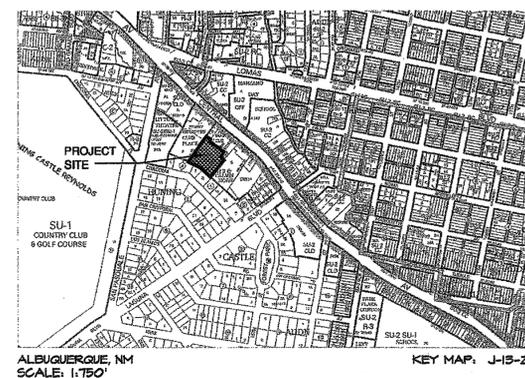
- COVER SHEET
- ED1.0 EXISTING / DEMOLITION SITE PLAN
- SD1.0 SITE DEVELOPMENT PLAN
- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE/SITE DETAILS
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- C-1 GRADING & DRAINAGE PLAN
- C-2 UTILITY PLAN
- C-3 EXHIBIT FOR TRUCK DELIVERY CIRCULATION PLAN

PROJECT DATA

ADDRESS:
1736 CENTRAL AVENUE, SW

LEGAL DESCRIPTION:
LOT 2, GARCIA PROPERTIES DEVELOPMENT

VICINITY MAP



DEVELOPMENT PLAN NOTES:

1. PRIOR SUBMITTAL: COUNTRY CLUB SITE DEVELOPMENT PLAN FOR SUBDIVISION IS AN AMENDMENT, PRIOR PROJECT NUMBER #100467, CASE #06EPC0143.
2. PRIOR SUBMITTAL: EPC APPROVED CASE #100467
 - A. 07EPC-40073 SITE DEVELOPMENT SUBDIVISION
 - B. 07EPC-40074 AMEND SITE DEVELOPMENT PLAN SUBDIVISION
 - C. 07EPC-40075 AMENDMENT TO SECTOR DEVELOPMENT PLAN (ZONE CHANGE)
3. PRIOR SUBMITTAL: EPC APPROVED CASE #1007646
 - A. 09EPC-70033 REPLAT TO CREATE LOTS 1 AND 2, GARCIA PROPERTIES DEVELOPMENT

DRB SIGN OFF BLOCK

PROJECT NUMBER: 1004677
 APPLICATION NUMBER: 13DRP-10000

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated: 10/4/12, and the Findings and Conditions in the Official Notification of Decision are satisfied.

IS AN INFRASTRUCTURE LIST REQUIRED? Yes No
 If yes, then a set of approved DRB plans with a work order is required for any construction within the public right-of-way or for the construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGN OFF APPROVAL:

	9/10/13 Date
	08/28/13 Date
	8-28-13 Date
	8-28-13 Date
	9/11/13 Date
	9-11-13 Date
	9-11-13 Date

*Environmental Health, if necessary.

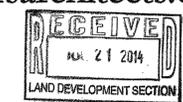
J · S · ROGERS ARCHITECTS P · C ·

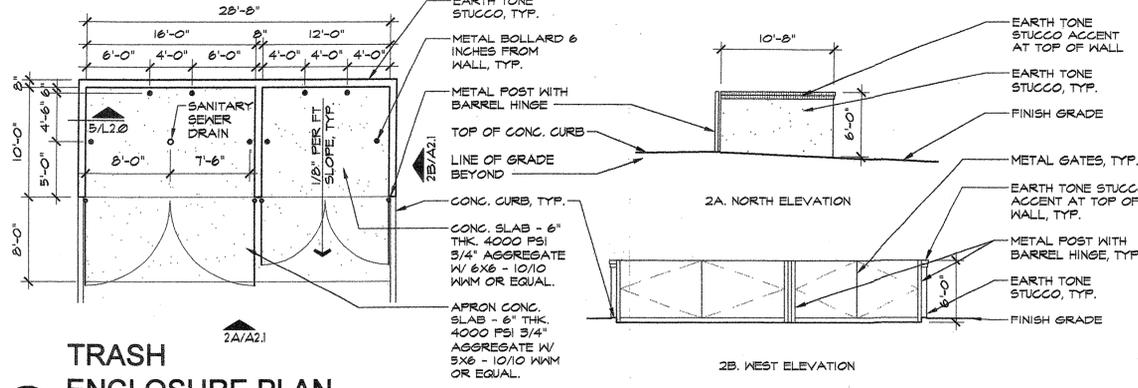
821 Mountain Road NW, Albuquerque, NM 87102

ph:(505)247-1168 fax:(505)247-0262 e-mail: info@jsrogersarchitects.com

August 29, 2012

- 8/07/13 EPC COMMENTS
- 9/27/12 FACILITATED MTG.
- 9/25/12 PER PREHEARING MTG.

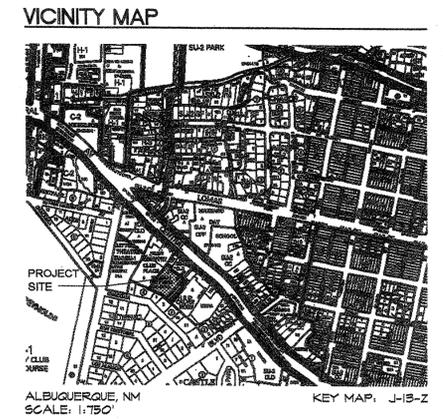




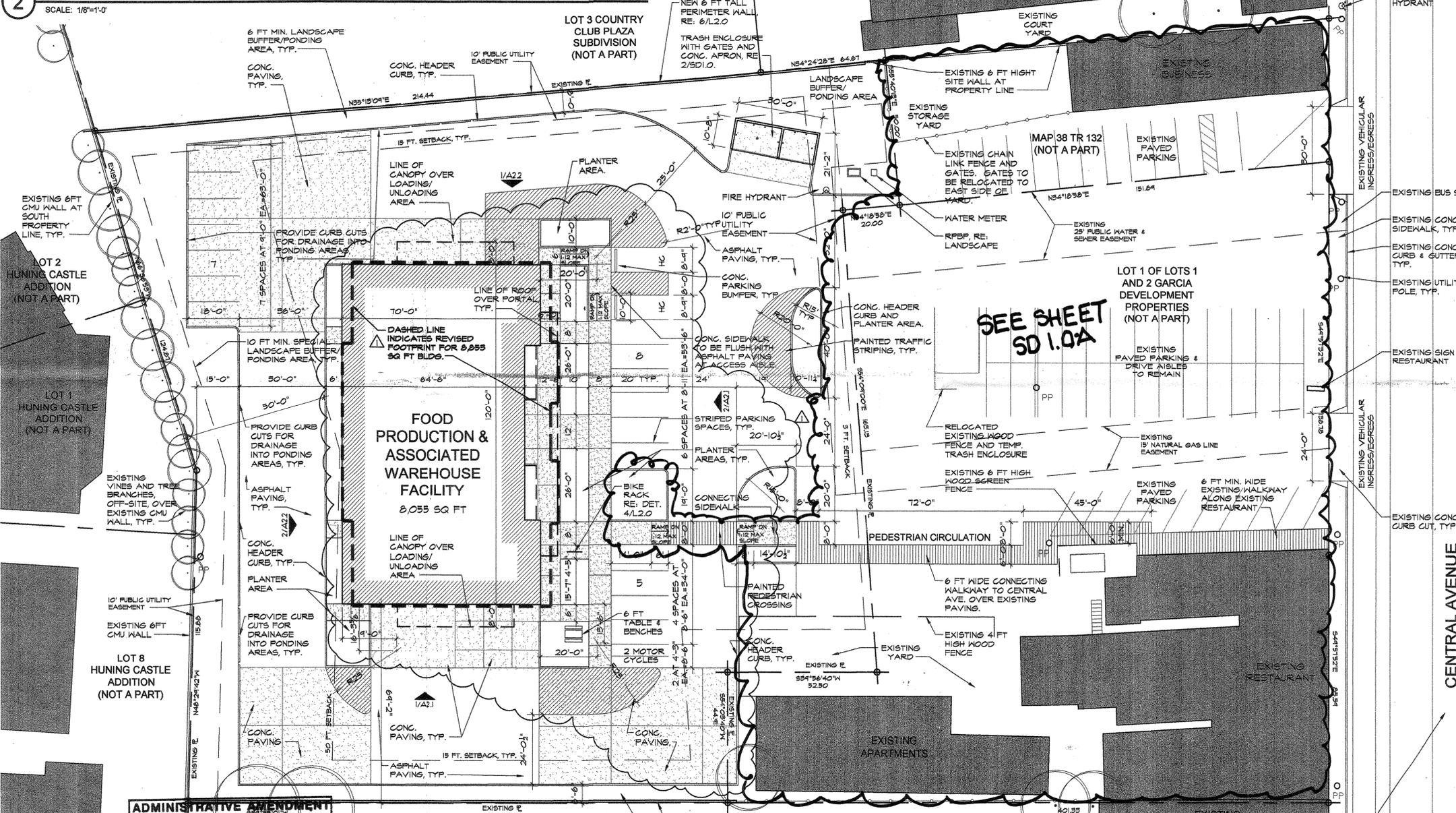
EXISTING CROSS ACCESS EASEMENT NOTE:
 RECIPROCAL CROSS LOT DRAINAGE ACCESS, PRIVATE WATER AND PRIVATE SEWER EASEMENT FOR THE BENEFIT OF LOTS 1, 2 AND TRACT 132 GRANTED BY PLAT OF LOTS 1 AND 2 GARCIA PROPERTIES DEVELOPMENT, 1/27/2009 (PROJECT #1007646, 04DRB-70083). MAINTENANCE IS THE RESPONSIBILITY OF THE OWNERS OF LOTS 1 AND 2.

LOT 1 COUNTRY CLUB PLAZA SUBDIVISION (NOT A PART)

2 TRASH ENCLOSURE PLAN
 SCALE: 1/8"=1'-0"



ZONING DATA
 PROJECT: GARCIA'S KITCHEN, FOOD PREPARATION AND CATERING FACILITY
 ADDRESS: 1736 CENTRAL AVENUE, SW ALBUQUERQUE, NM
 LEGAL DESCRIPTION: LOT 2 OF LOTS 1 AND 2 GARCIA PROPERTIES DEVELOPMENT
 ZONING ORDINANCE: CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE
 EXISTING ZONING: SU-2/SU-1 FOR MIXED USE DEVELOPMENT
 PROPOSED ZONING: SU-2/SU-1 CLD FOR FOOD PRODUCTION & ASSOCIATED WAREHOUSING



PARKING DATA
 OFF-STREET AND BICYCLE PARKING REQUIREMENTS PER CITY OF ALBUQUERQUE ZONING CODE:
 REQUIRED:
 OFFICE: 1574 SF/200 = 8 SPACES
 KITCHEN: 20 (LARGEST SHIFT)/5 = 4 SPACES
 WAREHOUSE: 1,934 SF/2000 = 1 SPACE
 PARKING SPACES: 16 SPACES MIN.
 HANDICAP ACCESSIBLE PARKING: (1 - 25 SPACES; 1 REQUIRED) 1 SPACE MIN.
 MOTORCYCLE PARKING SPACES: (1 - 25 SPACES; 1 REQUIRED) 1 SPACE MIN.
 BICYCLE PARKING SPACES: (1 BICYCLE/20 SPACES) X 16 SPACES = 1 BICYCLE MIN.
 PROVIDED:
 STANDARD PARKING SPACES: 17 SPACES
 CAR ACCESSIBLE: 1
 VAN ACCESSIBLE: 1
 MOTORCYCLE PARKING: 3
 TOTAL OFF-STREET PARKING: 21 SPACES
 BICYCLE PARKING: 3 SPACES

GENERAL NOTES
 A. ALL SITE LIGHTING TO COMPLY WITH CITY OF ALBUQUERQUE STANDARDS.
 B. SITE LIGHTING IS WALL MOUNTED ON THE BUILDING, SEE EXTERIOR ELEVATIONS, SHEET A2.1 AND A2.2.
 C. SITE LIGHTING SHALL BE FULLY SHIELDED.
 D. THIS PROJECT WILL NOT BE PHASED.
 E. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH COA DEVELOPMENT PROCESS MANUAL AND CURRENT ADA STANDARDS/REQUIREMENTS.
 F. ALL CONCRETE CURB RADIUS SHALL BE 2'-0" UNLESS NOTED OTHERWISE.
 G. SITE SEATING (ONE SEAT PER 25 LIN. FT. OF BLDG. FACADE; 120 FT BLDG. FACADE / 25 = 5 SEATS REQ'D. 24" MIN. PER SEAT [2] 6'-0" LONG BENCHES WITH TABLE = 6 SEATS PROVIDED
 H. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FT. OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 TO 6 FT. OF CLEARANCE ON THE THREE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE FOR SPECIFICATIONS.

ADMINISTRATIVE AMENDMENT
 FILE # 14 PROJECT # 1004673
 INCREASE BLDG FROM 8055 TO 8855 SF
 FOOTPRINT EXPANDS EAST. WILL REQUIRE RECONFIGURING SIGN FRONT TO ALLOW MIN. 6' WIDTH IN AREAS MARKED ON PLAN
 APPROVED BY DATE

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 SIGNATURE & DATE

BUILDING FOOTPRINT, MINOR PENETRATION, AND MINOR SITE ADJUSTMENTS TO ACCOMMODATE FINAL DESIGN AND CONSTRUCTION REQUIREMENTS.

CITY OF ALBUQUERQUE
 "SOLID WASTE" MANAGEMENT DEPARTMENT
 APPROVED

1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 SCALE: 1"=20'

STAMP:
 J.S. ROGERS ARCHITECTS P.C.
 821 Mountain Road NW, Albuquerque, NM 87102
 phone: (505) 247-1168 fax: (505) 247-0262
 e-mail: info@jsothersarchitects.com

ENGINEER:
 JOB No:
 FILE NAME:
 DWG NAME: GARC-SITE
 DRAWN BY: MJT
 ISSUE DATE: August 29, 2012
 RE: DATE DESCRIPTION
 1. 9/25/12 PER PREHEARING
 2. 9/27/12 FACILITATED MTG
 3. 8/13/13 EPC COMMENTS
 4.

TITLE:
 SITE DEVELOPMENT PLAN FOR BLDG PERMIT

GARCIA'S KITCHEN
 FOOD PRODUCTION & WAREHOUSE
 1736 Central Avenue, SW
 Albuquerque, NM

RECEIVED
 JUL 21 2014
 LAND DEVELOPMENT SECTION
 SD 1.0