

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 25, 2015

Jake Bordenave P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87199

Re: Garcias Kitchen, 1736 Central Ave SW
Request for Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 11-03-2015
Administrative Amendment Dated 11-13-2015 (J13-D096)
Certification dated 11-23-2015

Dear Mr. Bordenave,

PO Box 1293

Albuquerque

New Mexico 87103

Based upon the information provided in your submittal received 11-23-2015, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

www.cabq.gov

Sincerely,

John Gurule, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

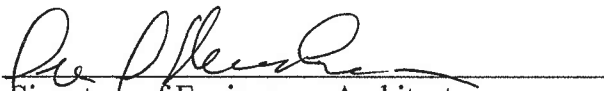
mao via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

I, JEAN J. BORDENAVE, NMPE OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLANS DATED 06/16/2014 AND 11/13/2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY (NONE) OF THE FIRM (NONE). I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/16/2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

NO EXCEPTIONS

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

11/23/15
Date





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

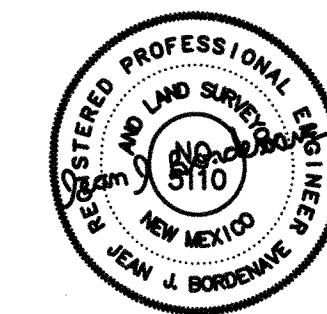
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



11/03/15

BORDENAVE DESIGNS

P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105
jakebordenave@comcast.net



project data

job no.: 1509
dwg name: AA
drawn by: METO
check by: JJB
issue date: 11/03/15

revision data

sheet title

SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT

GARCIA'S KITCHEN
FOOD PRODUCTION & WAREHOUSE

1736 Central Avenue SW
Albuquerque, NM

sheet

SD1.0A

KEYED NOTES

1. REMOVE EXISTING 24" DRIVEPAD. INSTALL 6" CONCRETE SIDEWALK PER COA STD. DET. 2440 AND STANDARD CURB AND GUTTER PER COA STD. DET. 2415A.
2. NEW 32" DRIVEPAD AND SIDEWALK PER CITY WORK ORDER PROJECT NO. 752085.
3. NEW DOMESTIC AND IRRIGATION WATER METERS PER CITY WORK ORDER PROJECT NO. 752085.
4. NEW PRIVATE FIRE LINE PER CITY WORK ORDER PROJECT NO. 752085.
5. NEW SANITARY SEWER SERVICE PER CITY WORK ORDER PROJECT NO. 752085.
6. NEW PUMPED OUTFALL FROM DETENTION POND PER PLAN DETAILS.
7. NEW ASPHALT PAVEMENT PER PLAN DETAILS.
8. NEW CONCRETE HEADER CURB PER PLAN DETAILS.
9. NEW CONCRETE WALK PER PLAN DETAILS.
10. NEW PARKING LOT STRIPING PER PLAN DETAILS.
11. NEW STRIPED WALKWAY PER PLAN DETAILS.
12. NEW HANDICAP SIGNING PER PLAN DETAILS.
13. NEW MOTORCYCLE PARKING SIGNING PER PLAN DETAILS.
14. LANDSCAPED AREA PER PLAN DETAILS.
15. NEW CONCRETE PARKING BUMPERS.
16. EXISTING RESTAURANT SIGN TO REMAIN.

ADMINISTRATIVE AMENDMENT	
FILE # 10132 ¹⁵⁰⁹	PROJECT # 100467
AS BUILT OF SITE	
IMPROVEMENTS ALREADY	
CONSTRUCTED	
APPROVED BY	DATE 11-13-2015

LEGEND

	PP	UTILITY POLE
		GUY ANCHOR
	CATV	CABLE TV RISER
	WM	WATER METER
	WV	WATER VALVE
	FH	FIRE HYDRANT
	LP	LIGHT POLE
	EM	ELECTRIC METER
	GM	GAS METER
	CO	SEWER CLEANOUT
	ELEC	ELECTRICAL RISER
	TSE	TRAFFIC SIGNAL ELECTRIC
	ICV	IRRIGATION CONTROL VALVE
	SAS MH	SANITARY SEWER MANHOLE
		HANDICAPPED PARKING SPACE

CENTRAL AVENUE, S.W.
(100' R.O.W.)

LOT 1

LOT 3

COUNTRY CLUB PLACE
(REC. 4/7/2011 PLAT BOOK 2011C, PAGE 33)

LOT 2
BLOCK 4, HUNING CASTLE ADDITION
(REC. 3/9/1949 VOL. B, FOLIO 134)

LOT 1

LOT 8

FOOD PRODUCTION
& ASSOCIATED
WAREHOUSE FACILITY

EXISTING MAINTENANCE BUILDING

EXISTING RESTUARANT

EXISTING APARTMENTS

ADJACENT BUILDING

TRACT B

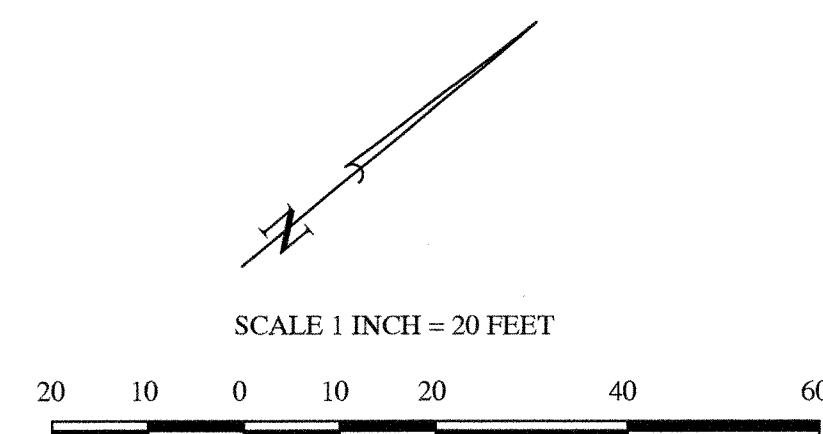
LANDS OF H.B. HORN AND CALVIN HORN

(REC. 3/2/1978 VOLUME C13, FOLIO 20)

TRACT A

GENERAL NOTE:

REMOVE EXISTING ASPHALT PAVEMENT AND CONCRETE WALKS.
REGRADE SITE PER GRADING PLAN. INSTALL ASPHALT PAVEMENT,
CONCRETE WALKS AND HEADER CURBS PER THIS SHEET.



GARCIA'S KITCHEN: FOOD PRODUCTION & ASSOCIATED WAREHOUSE FACILITY

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET INDEX

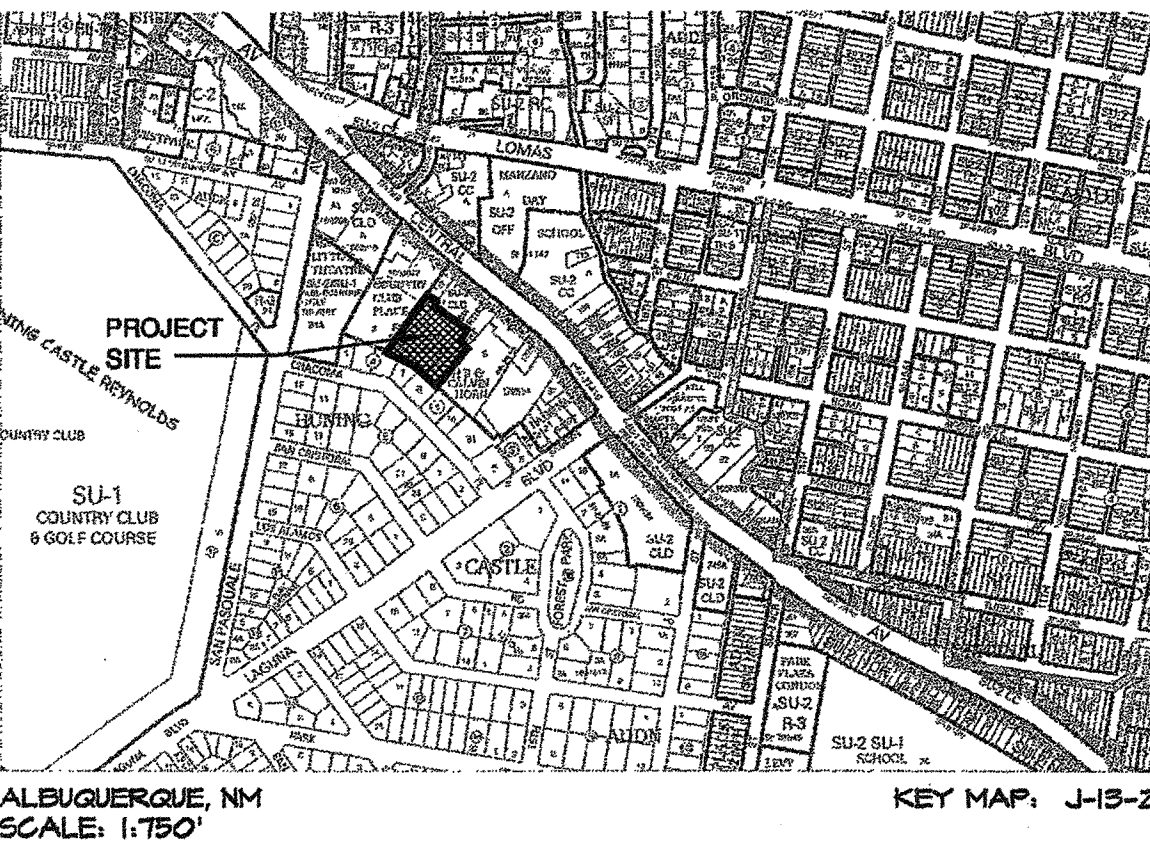
- COVER SHEET
- ED1.0 EXISTING / DEMOLITION SITE PLAN
- SD1.0 SITE DEVELOPMENT PLAN
- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE/SITE DETAILS
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- C-1 GRADING & DRAINAGE PLAN
- C-2 UTILITY PLAN
- C-3 EXHIBIT FOR TRUCK DELIVERY CIRCULATION PLAN

PROJECT DATA

ADDRESS:
1736 CENTRAL AVENUE, SW

LEGAL DESCRIPTION:
LOT 2, GARCIA PROPERTIES DEVELOPMENT

VICINITY MAP



DEVELOPMENT PLAN NOTES:

- PRIOR SUBMITTAL: COUNTRY CLUB SITE DEVELOPMENT PLAN FOR SUBDIVISION IS AN AMENDMENT, PRIOR PROJECT NUMBER #1004677, CASE #06EPC0143.
- PRIOR SUBMITTAL: EPC APPROVED CASE #100467
A. 07EPC-40073 SITE DEVELOPMENT SUBDIVISION
B. 07EPC-40074 AMEND SITE DEVELOPMENT PLAN SUBDIVISION
C. 07EPC-40075 AMENDMENT TO SECTOR DEVELOPMENT PLAN (ZONE CHANGE)
- PRIOR SUBMITTAL: EPC APPROVED CASE #1007646
A. 09EPC-70033 REPLAT TO CREATE LOTS 1 AND 2, GARCIA PROPERTIES DEVELOPMENT

DRB SIGN OFF BLOCK

PROJECT NUMBER: 1004677

APPLICATION NUMBER: 13DRP-10660

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated: 10/4/12, and the Findings and Conditions in the Official Notification of Decision are satisfied.

IS AN INFRASTRUCTURE LIST REQUIRED? ☐ Yes ☒ No
If yes, then a set of approved DRG plans with a work order is required for any construction within the public right-of-way or for the construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGN OFF APPROVAL:

	9/10/13 Date
	08/28/13 Date
	8-28-13 Date
	8-28-13 Date
	9/11/13 Date
	9-11-13 Date
	9-11-13 Date

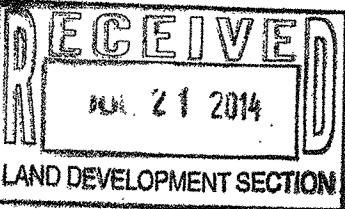
*Environmental Health, if necessary.

J · S · ROGERS ARCHITECTS P · C ·

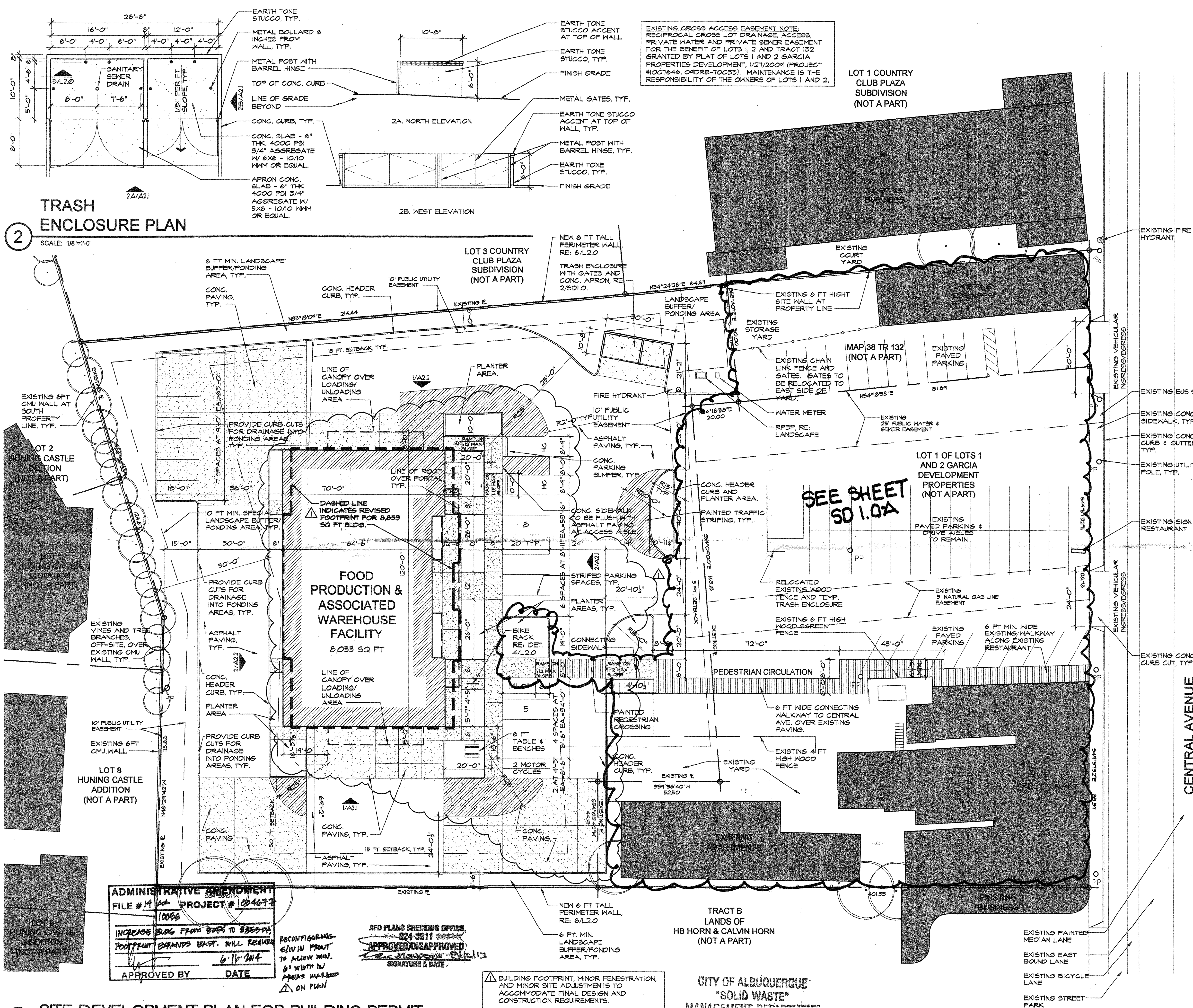
821 Mountain Road NW, Albuquerque, NM 87102

ph:(505)247-1168 fax:(505)247-0262 e-mail: info@jsrogersarchitects.com

August 29, 2012



- 8/07/13 EPC COMMENTS
- 9/27/12 FACILITATED MTG.
- 9/25/12 PER PREHEARING MTG.



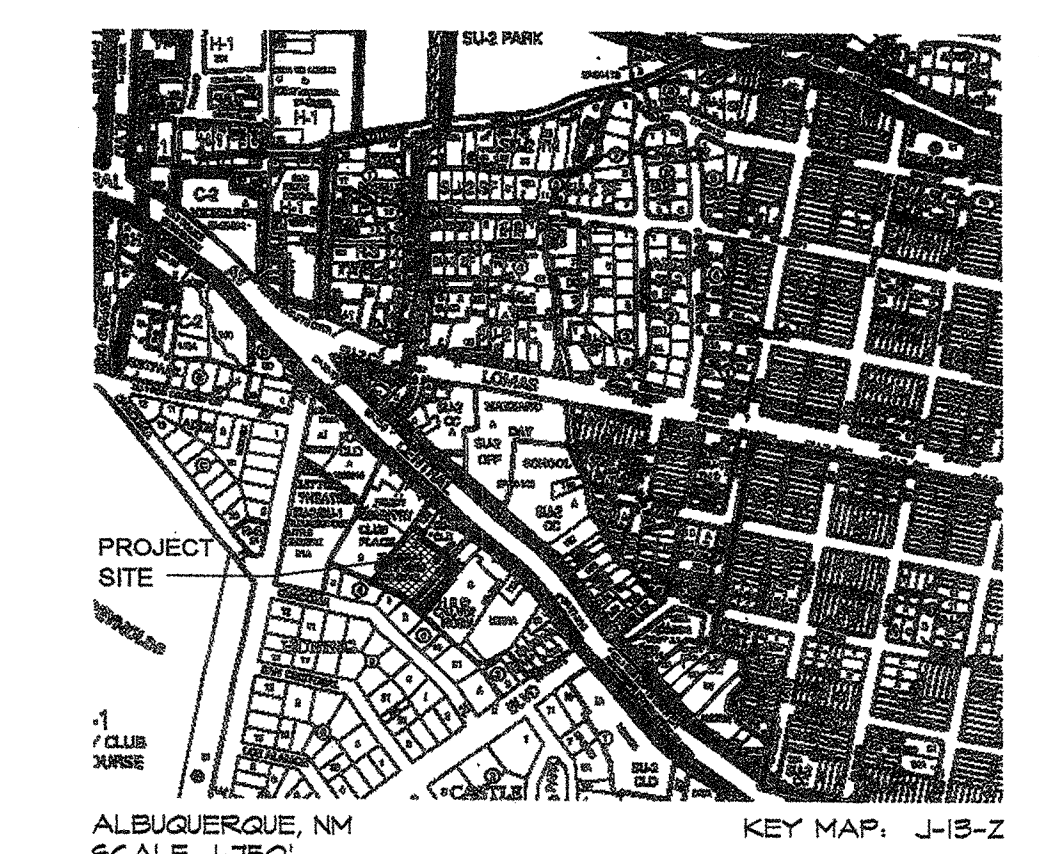
1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1"=20'

ADMINISTRATIVE AMENDMENT
FILE #14 PROJECT #1004673
INCREASE BLDG FROM 8055 TO 8855 SQ FT
FOOTPRINT EXPANDS EAST. WILL REQUIRE
RECONFIGURING SIGN IN FRONT TO ALLOW MIN.
8' WIDTH IN AREAS MARKED
ON PLAN
APPROVED BY DATE

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
RE: MANDATORY FILE #13
SIGNATURE & DATE

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED
8-16-13

VICINITY MAP



ZONING DATA

PROJECT: GARCIA'S KITCHEN, FOOD PREPARATION AND CATERING FACILITY
ADDRESS: 1736 CENTRAL AVENUE, SW, ALBUQUERQUE, NM
LEGAL DESCRIPTION: LOT 2, OF LOTS 1 AND 2 GARCIA PROPERTIES DEVELOPMENT
ZONING ORDINANCE: CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE
EXISTING ZONING: SU-2/SU-1 FOR MIXED USE DEVELOPMENT
PROPOSED ZONING: SU-2/SU-1 CLD FOR FOOD PRODUCTION & ASSOCIATED WAREHOUSING
EXISTING ZONING ADJACENT PROPERTIES:
MAP 38, TR 132 LOT 1, COUNTRY CLUB PLAZA SUBDIVISION SU-2/SU-1 CLD FOR MIXED USE DEVEL.
LOT 3, COUNTRY CLUB PLAZA SUBDIVISION SU-2/SU-1 FOR MIXED USE DEVEL.
LOT 1, HUNING CASTLE ADDITION R-1
LOT 2, HUNING CASTLE ADDITION R-1
LOT 3, HUNING CASTLE ADDITION R-1
TRACT B, LANDS OF HB HORN & CALVIN HORN SU-2 CLD
ZONE ALIAS: J-13-Z
LOT AREA: 1.34 ACRES
HEIGHT: 26'-0" MAXIMUM.
SETBACKS:
5'-0" MIN. CENTRAL AVENUE
10'-0" MIN. LAGUNA BLVD., 15TH STREET, & SAN PASQUALE AVENUE
11'-0" MIN. THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION
NO PART OF ANY SWIMMING POOL, REFUSE BIN, OR BUILDING SHALL BE CLOSER THAN 50 FEET FROM AN R-1 ZONE OR 15 FEET FROM ANY OTHER LOT LINE.

PARKING DATA

OFF-STREET AND BICYCLE PARKING REQUIREMENTS PER CITY OF ALBUQUERQUE ZONING CODE:
REQUIRED:
OFFICE: 1574 SF/200 = 8 SPACES
KITCHEN: 20 (LARGEST SHIFT)/5 = 4 SPACES
WAREHOUSE: 1,934 SF/2000 = 1 SPACE
PARKING SPACES: 16 SPACES MIN.
HANDICAP ACCESSIBLE PARKING: (1 - 25 SPACES: 1 REQUIRED) 1 SPACE MIN.
MOTORCYCLE PARKING SPACES: (1 - 25 SPACES: 1 REQUIRED) 1 SPACE MIN.
BICYCLE PARKING SPACES: (1 BICYCLE/20 SPACES) X 16 SPACES = 1 BICYCLE MIN.
PROVIDED:
STANDARD PARKING SPACES: 17 SPACES
CAR ACCESSIBLE: 1 SPACE
VAN ACCESSIBLE: 1 SPACE
MOTORCYCLE PARKING: 2 SPACES
TOTAL OFF-STREET PARKING: 21 SPACES
BICYCLE PARKING: 3 SPACES

GENERAL NOTES

- ALL SITE LIGHTING TO COMPLY WITH CITY OF ALBUQUERQUE STANDARDS.
- SITE LIGHTING IS WALL MOUNTED ON THE BUILDING, SEE EXTERIOR ELEVATIONS, SHEET A21 AND A22.
- SITE LIGHTING SHALL BE FULLY SHIELDED.
- THIS PROJECT WILL NOT BE PHASED.
- SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH COA DEVELOPMENT PROCESS MANUAL AND CURRENT ADA STANDARDS/REQUIREMENTS.
- ALL CONCRETE CURB RADI SHALL BE 2'-0" UNLESS NOTED OTHERWISE.
- SITE SEATING (ONE SEAT PER 25 LIN. FT OF BLDG FACADE: 120 FT BLDG FACADE/ 25 = 5 SEATS REQ'D. 24" MIN. PER SEAT [2] 6'-0" LONG BENCHES WITH TABLE = 6 SEATS PROVIDED
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FT. OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 TO 6 FT. OF CLEARANCE ON THE THREE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE FOR SPECIFICATIONS.

STAMP:

J-S ROGERS ARCHITECTS P.C.
821 Mountain Road NW, Albuquerque, NM 87102
phone: (505) 247-1168 fax: (505) 247-0262
e-mail: info@jsrogersarchitects.com

ENGINEER:

JOB No:

FILE NAME:

DWG NAME: GARC-SITE

DRAWN BY: MJT

ISSUE DATE: August 29, 2012

RE:	DATE	DESCRIPTION
1.	9/25/12	PER PREHEARING
2.	9/27/12	FACILITATED MTG
3.	8/13/13	EPC COMMENTS
4.		

TITLE:

SITE DEVELOPMENT
PLAN FOR
BLDG PERMIT

GARCIA'S KITCHEN
FOOD PRODUCTION & WAREHOUSE

1736 Central Avenue, SW
Albuquerque, NM

SHEET: RECEIVED
JUL 21 2014
LAND DEVELOPMENT SECTION
SD1.0