



**Planning Department
Transportation Development Services**

July 25, 2014

Martin Garcia, P.E.
Anchor Engineering LLC
3501 S. Bosque Lp.
Bosque Farms, NM 87068

Re: Garcia's Kitchen Food Prep Facility, 1736 Central Ave. SW
Traffic Circulation Layout – Not Required
Site Plan for Building Permit (SPBP) dated 09-11-13 (J13-D096)

Dear Mr. Garcia,

Thank you for the TCL submittal. After review of the referenced Site Plan for Building Permit and existing conditions it appears that a TCL is not required for the proposed improvements. A copy of the stamped and signed plan will be needed for each of the building permit plans.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the approved SPBP for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification along with indicating that the development was built in "substantial compliance" with the SPBP. Submit this certification SPBP with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Raquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

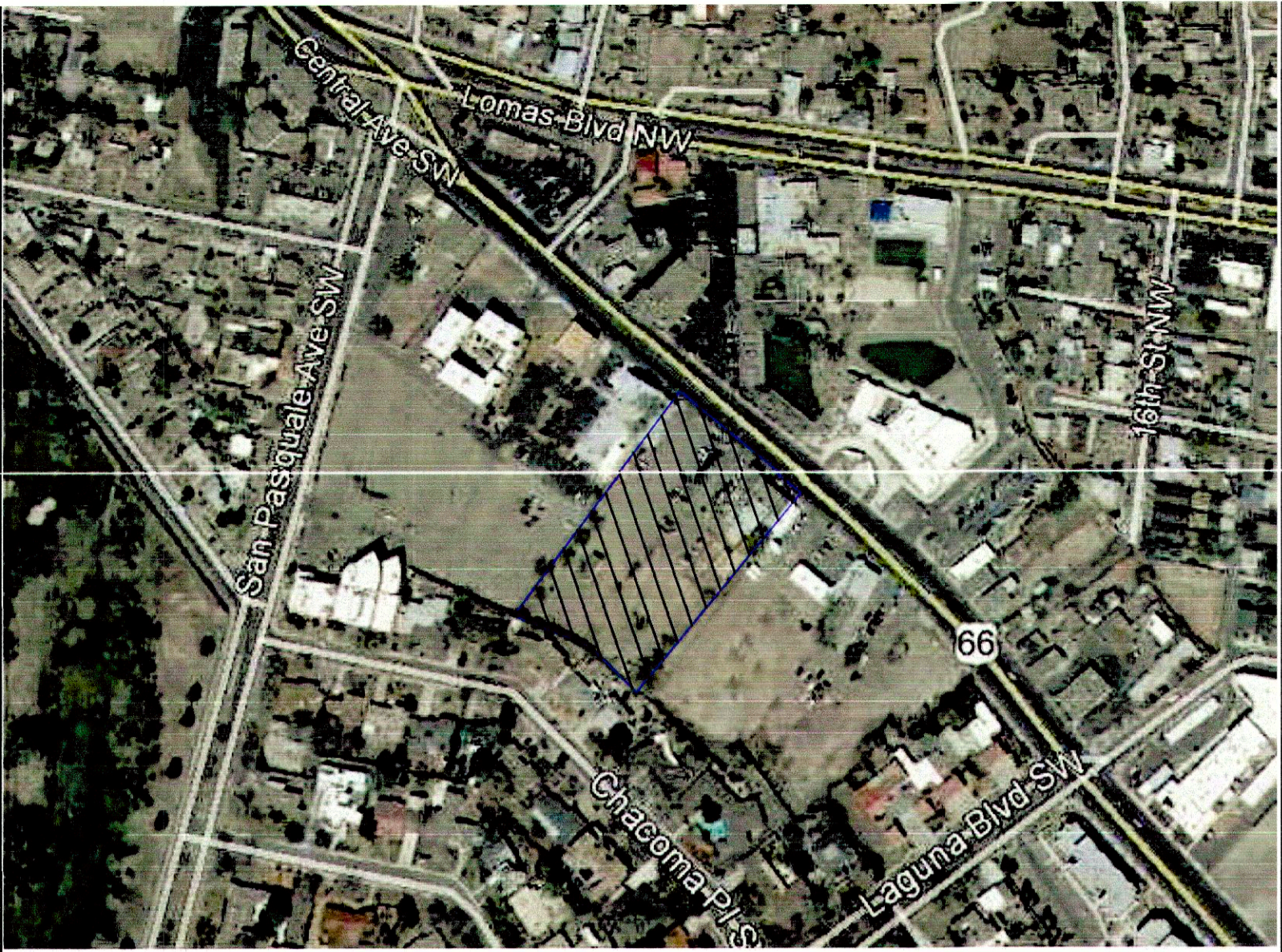
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☐ No ☐ Copy Provided

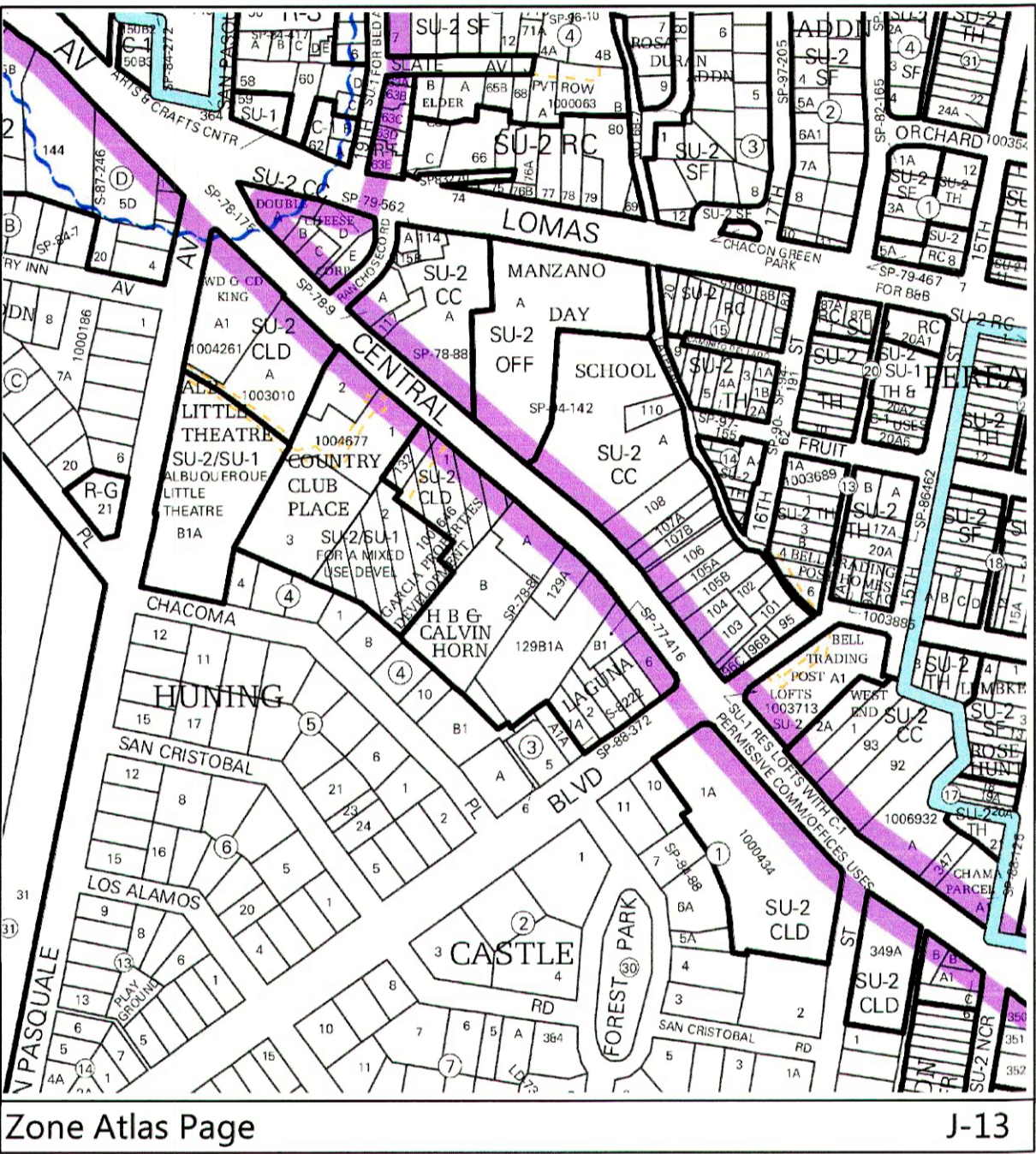
DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Vicinity Map



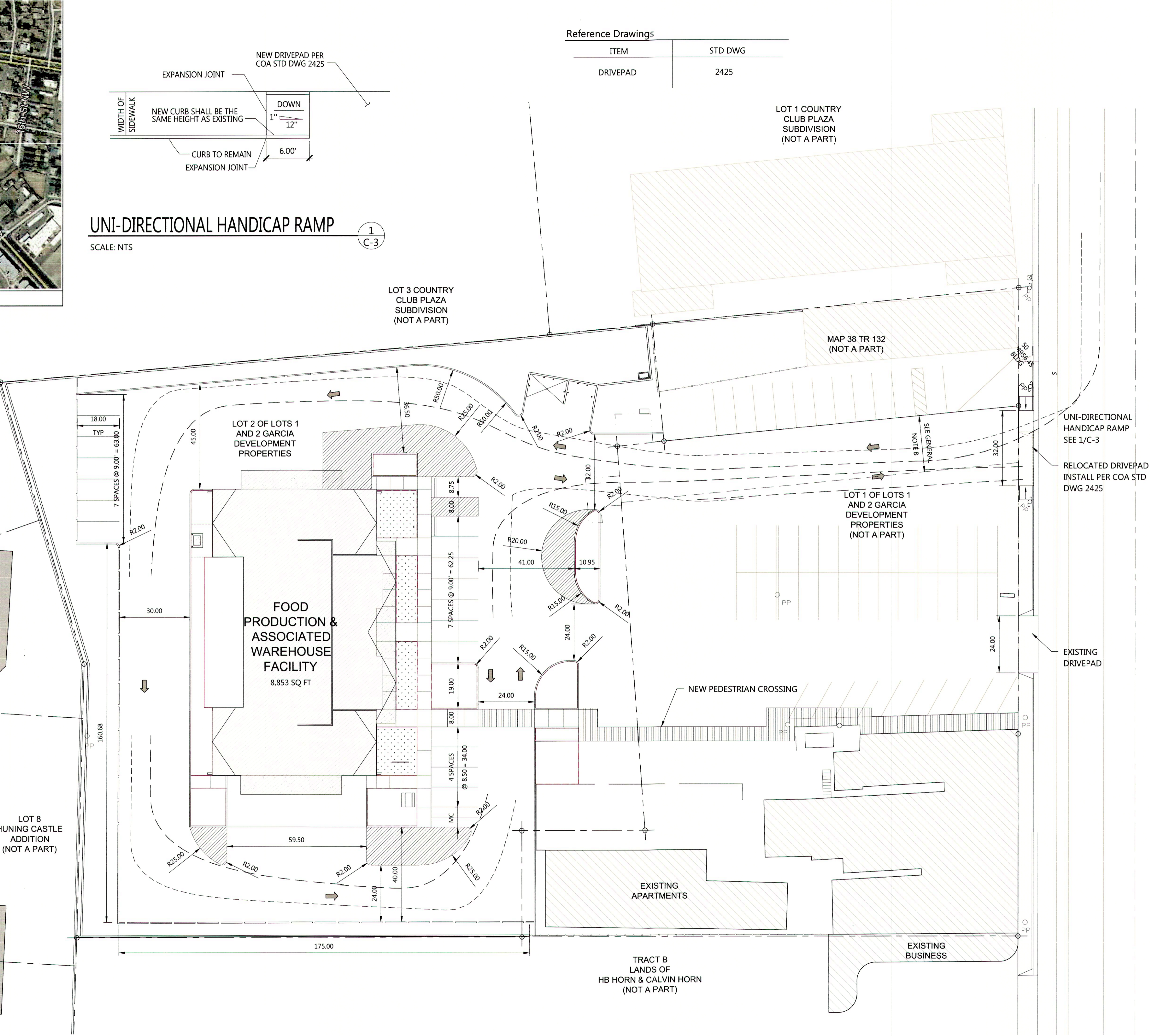
Zone Atlas Page

General Notes

- A. INGRESS/EGRESS EASEMENT FOR LOT 2 IS BLANKET IN NATURE ARE STATED ON PLAT FILED FOR GARCIA PROPERTIES DEVELOPMENT AND RECORDED WITH THE COUNTRY CLERK OF BERNALILLO COUNTY.
- B. EXISTING WATER AND SEWER LINE EASEMENT PER PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY.
- C. SLOPES FOR PARKING LOT AND ARE DESIGNED NOT TO EXCEED 6% SLOPE AS PER THE GRADING AND DRAINAGE PLAN. SEE SHEET C1.

Legend

- PROPERTY LINE (PER PLAT)
- WB-40 TRACTOR TRAILER FRONT WHEEL PATH
- WB-40 TRACTOR TRAILER REAR WHEEL PATH
- ← DIRECTION OF TRAFFIC FLOW
- PAINTED STRIPING
- CONCRETE
- MC MOTORCYCLE PARKING



TRAFFIC CIRCULATION PLAN

SCALE: 1" = 20'

Reference Drawings

ITEM	STD DWG
DRIVEPAD	2425

LOT 1 COUNTRY CLUB PLAZA SUBDIVISION (NOT A PART)

LOT 3 COUNTRY CLUB PLAZA SUBDIVISION (NOT A PART)

MAP 38 TR 132 (NOT A PART)

LOT 1 OF LOTS 1 AND 2 GARCIA DEVELOPMENT PROPERTIES (NOT A PART)

TRACT B LANDS OF HB HORN & CALVIN HORN (NOT A PART)

UNI-DIRECTIONAL HANDICAP RAMP SEE 1/C-3

RELOCATED DRIVEPAD INSTALL PER COA STD DWG 2425

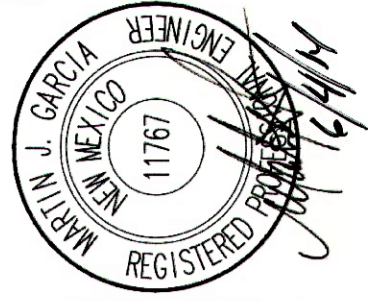
EXISTING DRIVEPAD

NEW PEDESTRIAN CROSSING

EXISTING APARTMENTS

EXISTING BUSINESS

STAMP:



J-S · ROGERS ARCHITECTS P · C ·
821 Mountain Road NW, Albuquerque, NM 87102
phone: (505) 247-1168 fax: (505) 247-0262
e-mail: info@jstogersarchitects.com

ENGINEER:



JOB No:

FILE NAME:

DWG NAME: C3 Garcia TCL

DRAWN BY: FKP

ISSUE DATE: August 29, 2012

RE: DATE DESCRIPTION

1.
2.
3.
4.

TITLE:

TRAFFIC CIRCULATION PLAN

GARCIA'S KITCHEN

FOOD PRODUCTION & WAREHOUSE

1736 Central Avenue, SW
Albuquerque, NM

SHEET:

C-3

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