

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



July 10, 2014

Martin J. Garcia, P.E.
Anchor Engineering, LLC
1035 South Bosque Loop
Bosque Farms, NM 87102

Richard J. Berry, Mayor

**Re: Garcias Kitchen Food Prep & Catering
Grading and Drainage Plan
Engineer's Stamp Date: not stamped (J13/D096)**

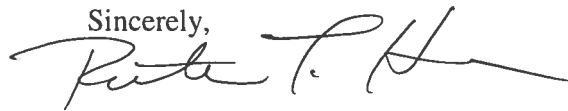
Dear Mr. Garcia:

Based upon the information provided in your submittal received 6-4-14, the above referenced plan cannot be approved for Building Permit until the comments below are addressed.

1. All plans and calculations need to be stamped by an engineer.
2. Onsite flows from the existing restaurant and apartments must be accounted for. The proposed curb south of these existing structures does not allow roof runoff from these structures to drain to Pond 2.
3. Roof runoff from the apartments appear to drain offsite to east and then reenter the property and drain to south west, along with some amount of offsite flows. LIDAR contours support this and so this onsite/offsite flows need to be accounted for. In addition, it appears that a wall is to be built along west property boundary. How will flows from apartments reenter?
4. Sections thru pond on East and West property boundaries need to be shown to indicate how flows will reenter, or how overflows will be contained on site.
5. It appears that Pond #2 Volume should be the total volume of both ponds #2 and #3 from the previous submittal. With a combined larger volume, the WSEL will be lower.
6. While a check valve is indicated on the plans, it is not clear where the check valve will be located. Indicate location of check valve. Also indicate what construction will be done thru Work Order and the CPN #.
7. Details 1/C-5 and 3/C-5 show retaining walls that need to be designed, detailed, and dimensioned.
8. Pump cut sheets provided show general information but do not show where on the curve the pump will operate (which is typically shown on a system curve), nor are there supporting calculations. Please provide.

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit or Work Order.

If you have any questions, you can contact me at 924-3695.

Sincerely,


Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Vicinity Map

Drainage Calculations

Hydrology Calculations				
Garcia's Restaurant				
DPM - Section 22.2				
Volume 2, January 1993				
Precipitation Zone	1			
100 Year Storm Depth, P (360)	2.2			
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.44	0.67	0.99	1.97
Peak Discharge Factors	1.29	2.03	2.87	4.37
Land Treatment Area	Acres	Existing	Proposed	
Type "D" (Roof)		0.76	1.76	
Type "C" (Unpaved Roadway)		0	0.00	
Type "B" (Irrigated Lawns)		0.26	0.44	
Type "A" (Undeveloped)		1.18	0.00	
Total (Acres)		2.2	2.20	
Excess Precipitation(in)		1.00	1.71	
Volume (100) 24 hr, cf		7951.88	13656.06	
Volume (10), cf		5327.76	9149.56	
Q (100), cfs		5.37	8.58	
Q (10), cfs		3.60	5.75	

Pond Volumes

POND VOLUME REQUIRED 13656 CF

POND VOLUME PROVIDED:

SUMP : 2.33 FT X 400 SF = 932 CF
POND 1: 2.00 FT X 2731 SF = 5,462 CF
POND 2: 1.50 FT X 4004 SF = 7,363 CF

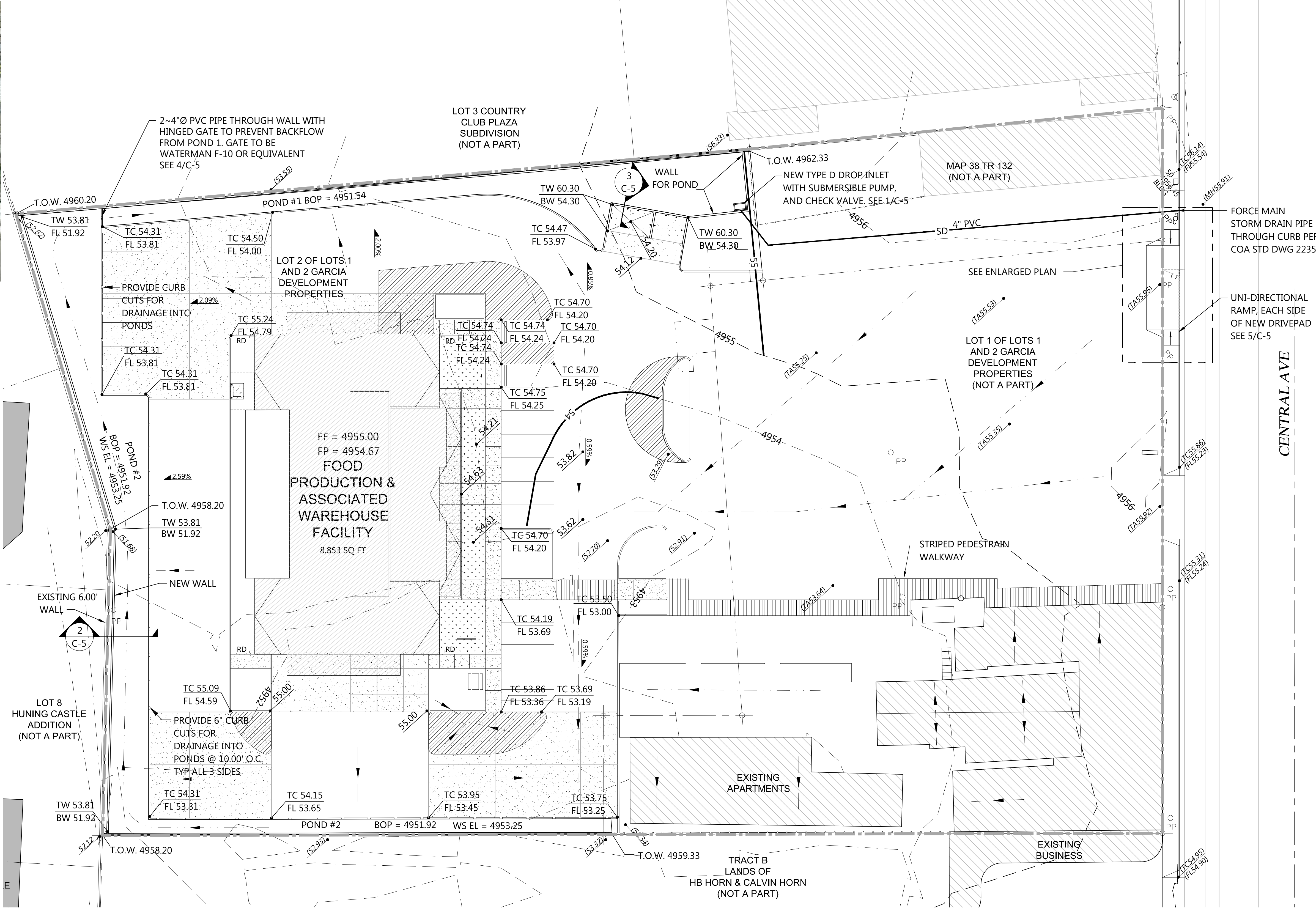
TOTAL POND VOLUME PROVIDED 13,757 CF

Drainage Narrative

THE PURPOSE OF THIS GRADING PLAN IS FOR THE CONSTRUCTION OF A NEW FOOD PREPARATION FACILITY AND CATERING FACILITY LOCATED BEHIND THE EXISTING GARCIA'S RESTAURANT AT 1736 CENTRAL AVENUE S.W. THIS GRADING AND DRAINAGE PLAN TAKES INTO CONSIDERATION LOT 1 AND LOT 2 GARCIA DEVELOPMENT PROPERTIES. THE SITE IS BOUND ON THE NORTH BY CENTRAL BOULEVARD, THE WEST BY EXISTING DEVELOPMENT, AND THE SOUTH BY EXISTING RESIDENTIAL DEVELOPMENT AND THE EAST BY EXISTING DEVELOPMENT. THE EXISTING SITE CURRENTLY DRAINS FROM THE NORTHEAST TO THE SOUTHWEST CORNER OF THE SITE (LOTS 1 AND 2). THERE IS NOT ANY OFF-SITE RUNOFF THAT ENTERS THE PROPERTY, AND DUE TO THE PROPERTY LOWEST POINT BEING THE SOUTHWEST CORNER, WATER CANNOT BE RELEASED INTO CENTRAL BOULEVARD WITHOUT PUMPING. THE PROPOSED DESIGN COLLECTS ALL RUNOFF FROM LOTS 1 AND 2 INTO TWO DETENTION PONDS AS SHOWN. THE WATER WILL THEN BE PUMPED TO A DISCHARGE POINT IN THE CURB AT CENTRAL AVENUE. THE PONDS HAVE BEEN DESIGNED TO ACCOMMODATE A 100 YEAR-24 HOUR STORM AND THE PUMP SPECIFIED WILL DRAIN THAT VOLUME OVER A 24HR PERIOD. IN THE EVENT OF PUMP MALFUNCTION, WATER WILL BACKUP INTO THE PARKING LOT. THE PAD FOR THE NEW BUILDING HAS BEEN ELEVATED SO THAT IN THE EVENT OF WATER PONDING INTO THE PARKING AREAS, THERE IS MINIMAL TO NO CHANCE FOR DAMAGE TO THE BUILDING. THE SITE IS NOT WITHIN THE 100-YEAR FLOOD PLAIN.

Legend

— 4954 —	EXISTING CONTOUR
— 55 —	NEW CONTOUR
— — — — —	DRAINAGE BASIN BOUNDARY
— — — — —	SWALE - DIRECTION OF FLOW
TC	TOP OF CURB
FL	FLOW LINE
FF	FINISH FLOOR
RD	ROOF DRAIN
55.00	NEW SPOT ELEVATION
55.00	EXISTING SPOT ELEVATION



GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'

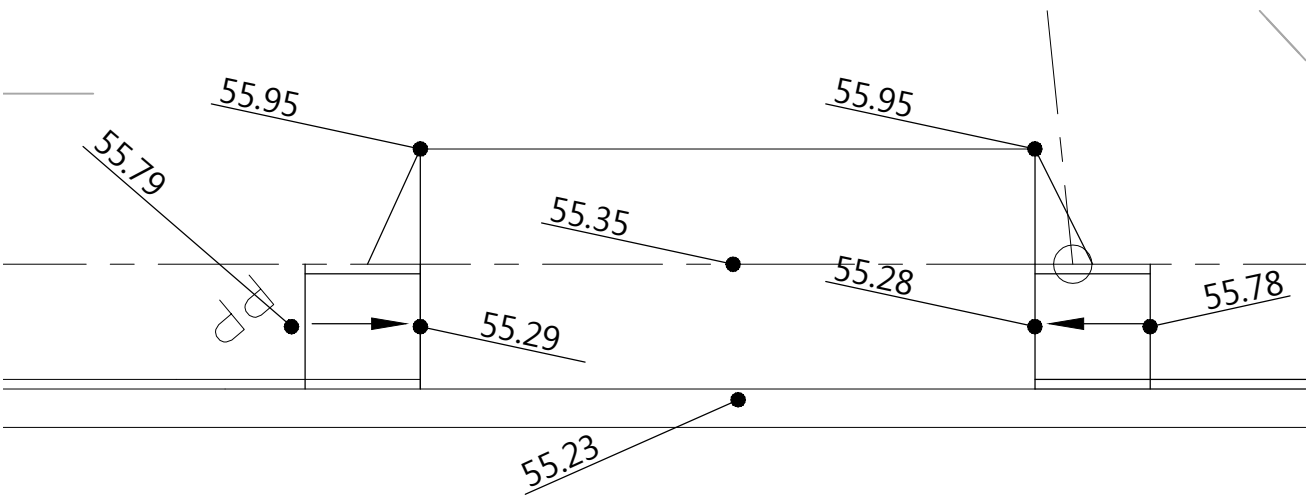
Site Notes

- OIL/WATER SEPARATOR TO BE INSTALLED IN TRASH ENCLOSURE PRIOR TO CONNECTION TO SANITARY SEWER.
- IN THE EVENT OF PUMP FAILURE, WATER WILL BACK UP INTO PARKING LOT.

Sump Pump Information

FLYGT - MODEL NS3127 WITH 464 IMPELLER
PORTABLE CONFIGURATION
PUMP ON A STAND WITH 4" DISCHARGE
POWER REQUIREMENTS: 7.5HP 230/1/60
PROVIDE BACK UP POWER GENERATOR IN EVENT OF POWER FAILURE

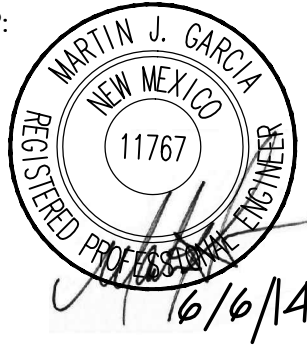
QTY: 1



ENLARGED PLAN

SCALE: 1" = 20'

STAMP:



J-S • ROGERS ARCHITECTS P.C.
821 Mountain Road NW, Albuquerque, NM 87102
phone: (505) 247-1168 fax: (505) 247-0262
e-mail: info@jrogersarchitects.com

ENGINEER:



JOB No:

FILE NAME:

DWG NAME: C1 GarciaGrading

DRAWN BY: FKP

ISSUE DATE: August 29, 2012

RE: DATE DESCRIPTION

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TITLE:

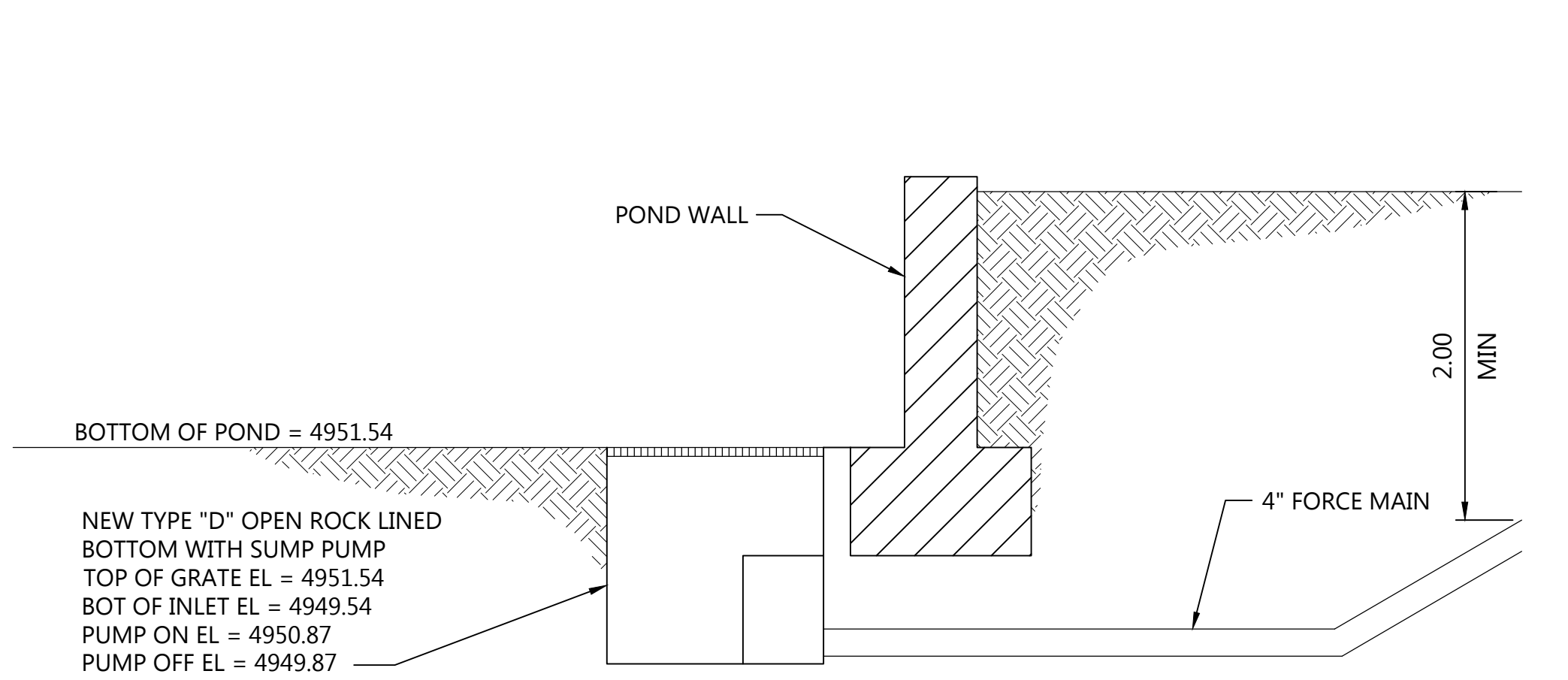
GRADING AND DRAINAGE PLAN

GARCIA'S KITCHEN
FOOD PRODUCTION & WAREHOUSE

1736 Central Avenue, SW
Albuquerque, NM

SHEET:

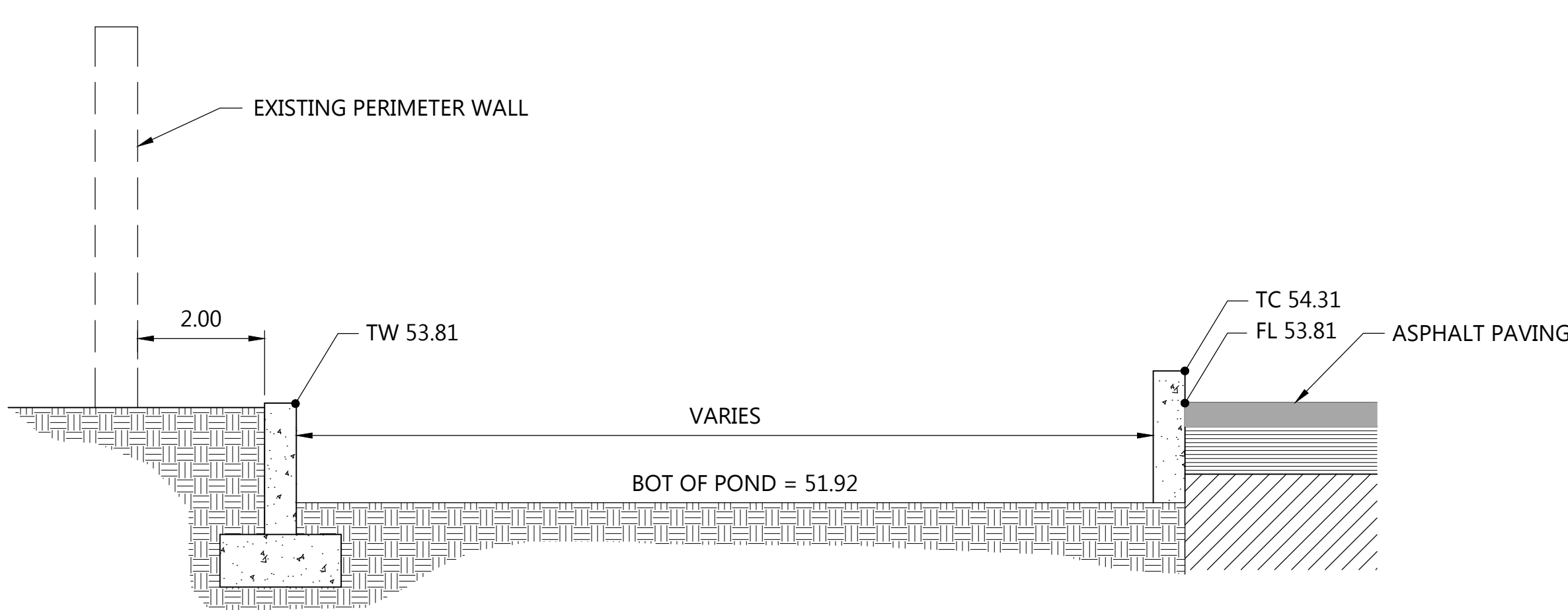
C-1



DETENTION POND DETAIL

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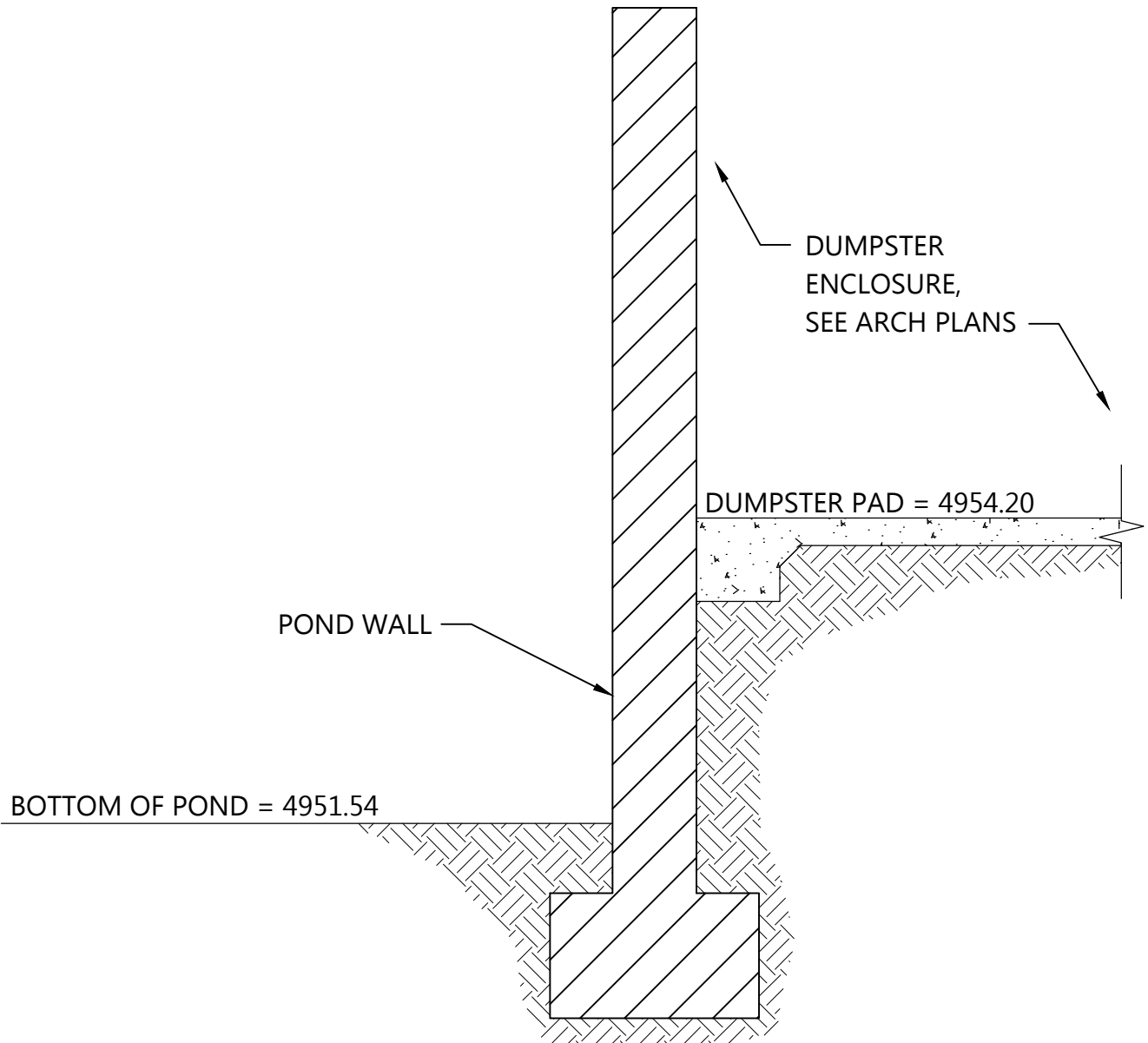
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POND CROSS SECTION

SCALE: NTS

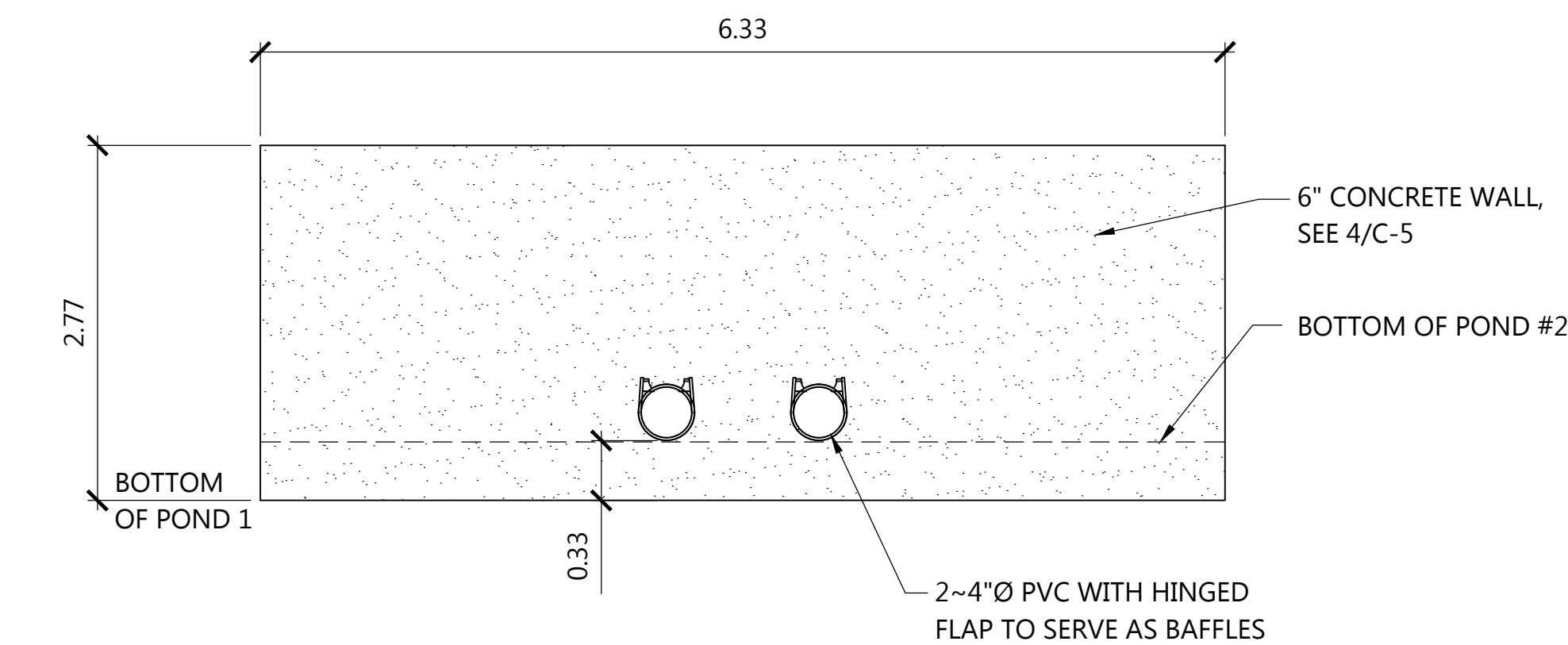
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POND SECTION @ DUMPSTER ENCLOSURE

SCALE: NTS

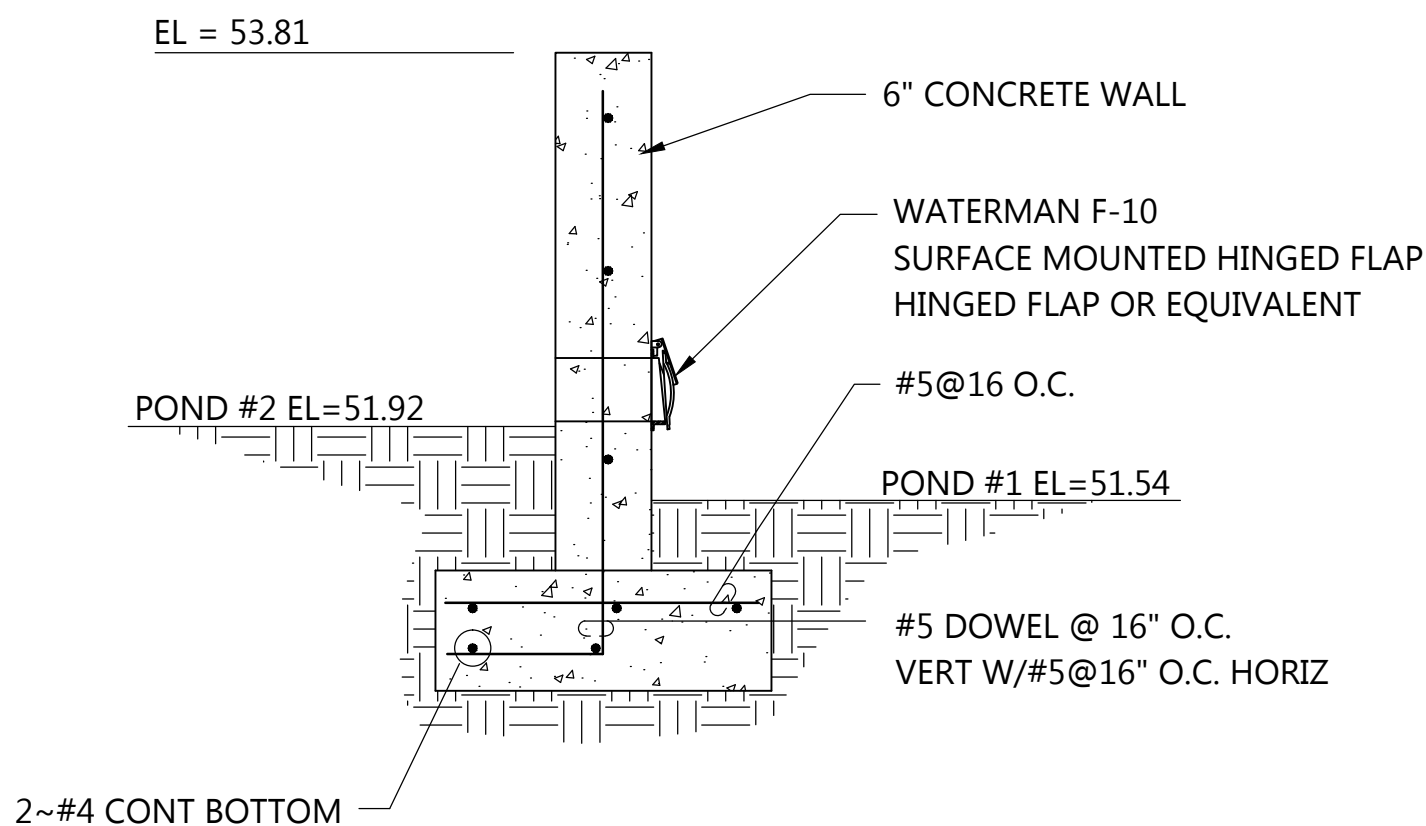
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POND WALL WITH DRAINAGE PIPE DETAIL

SCALE: NTS

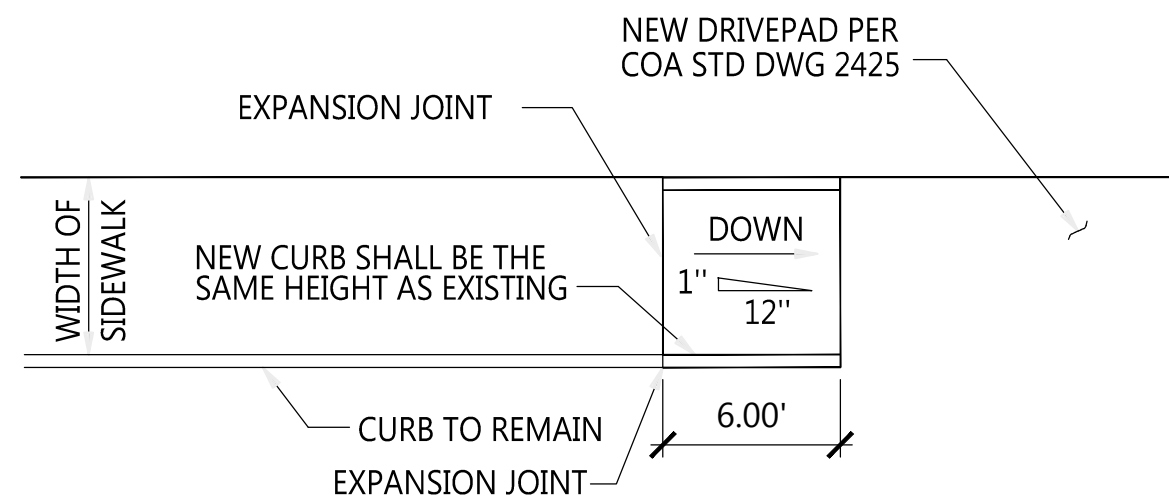
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WALL SECTION

SCALE: NTS

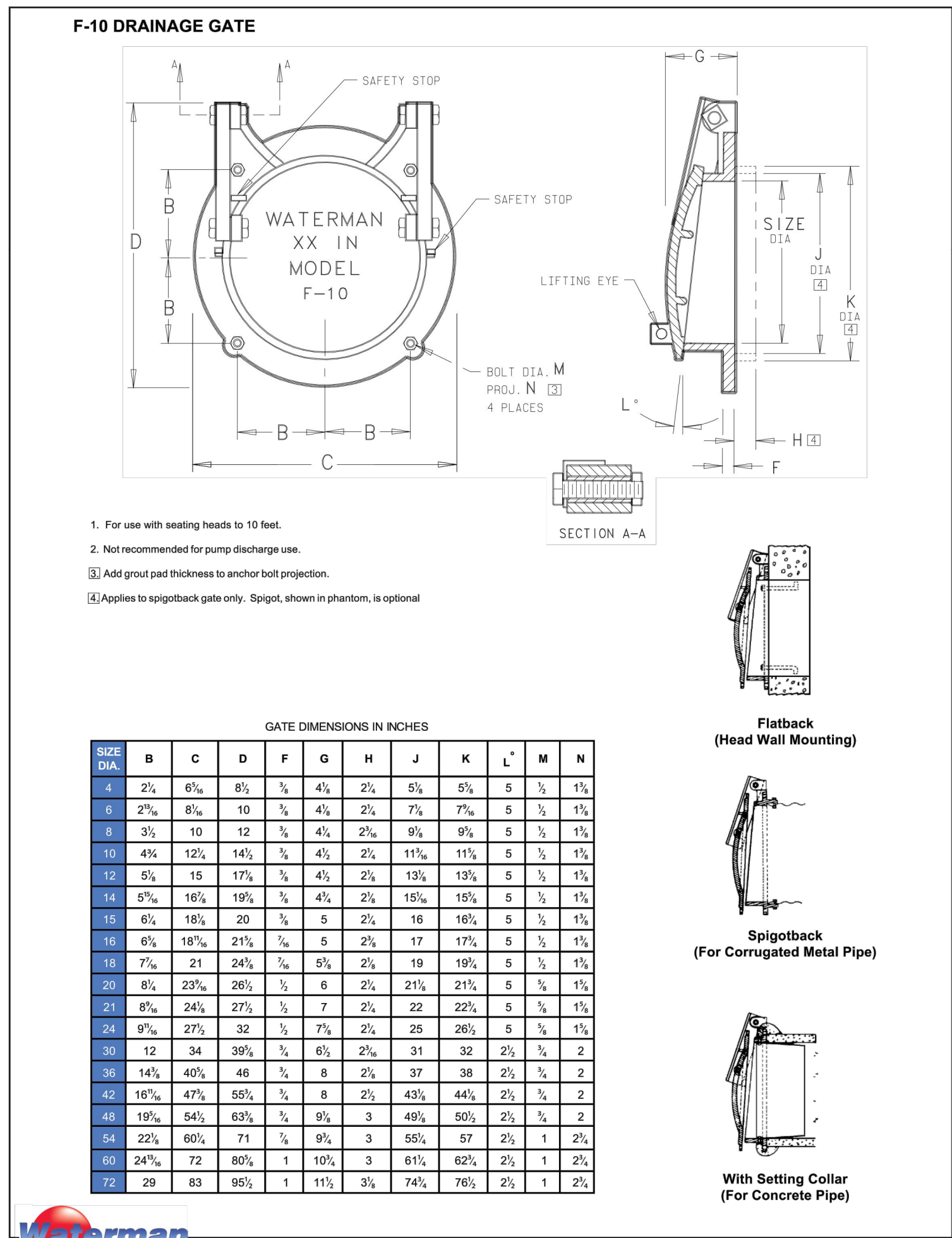
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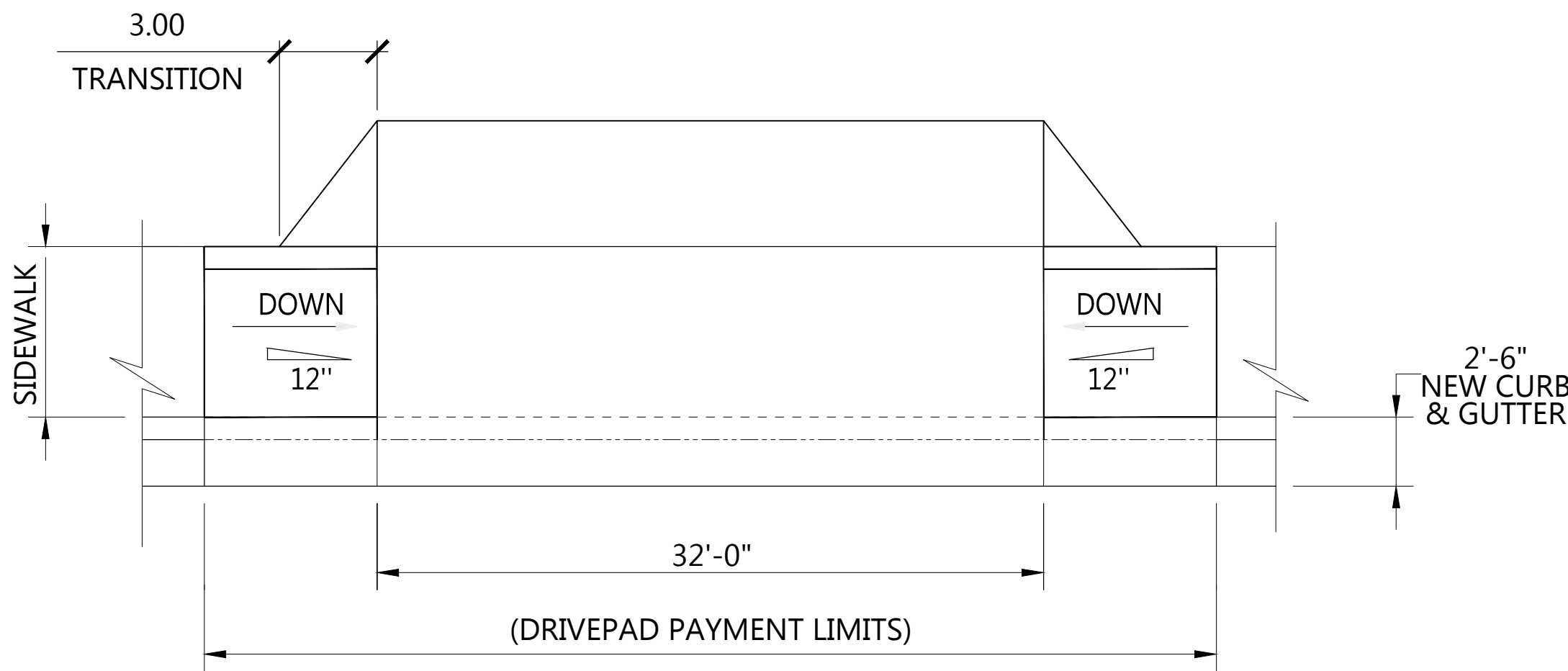
UNI-DIRECTIONAL HANDICAP RAMP

SCALE: NTS

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C-5



2



NEW DRIVEPAD DETAIL

SCALE: NTS

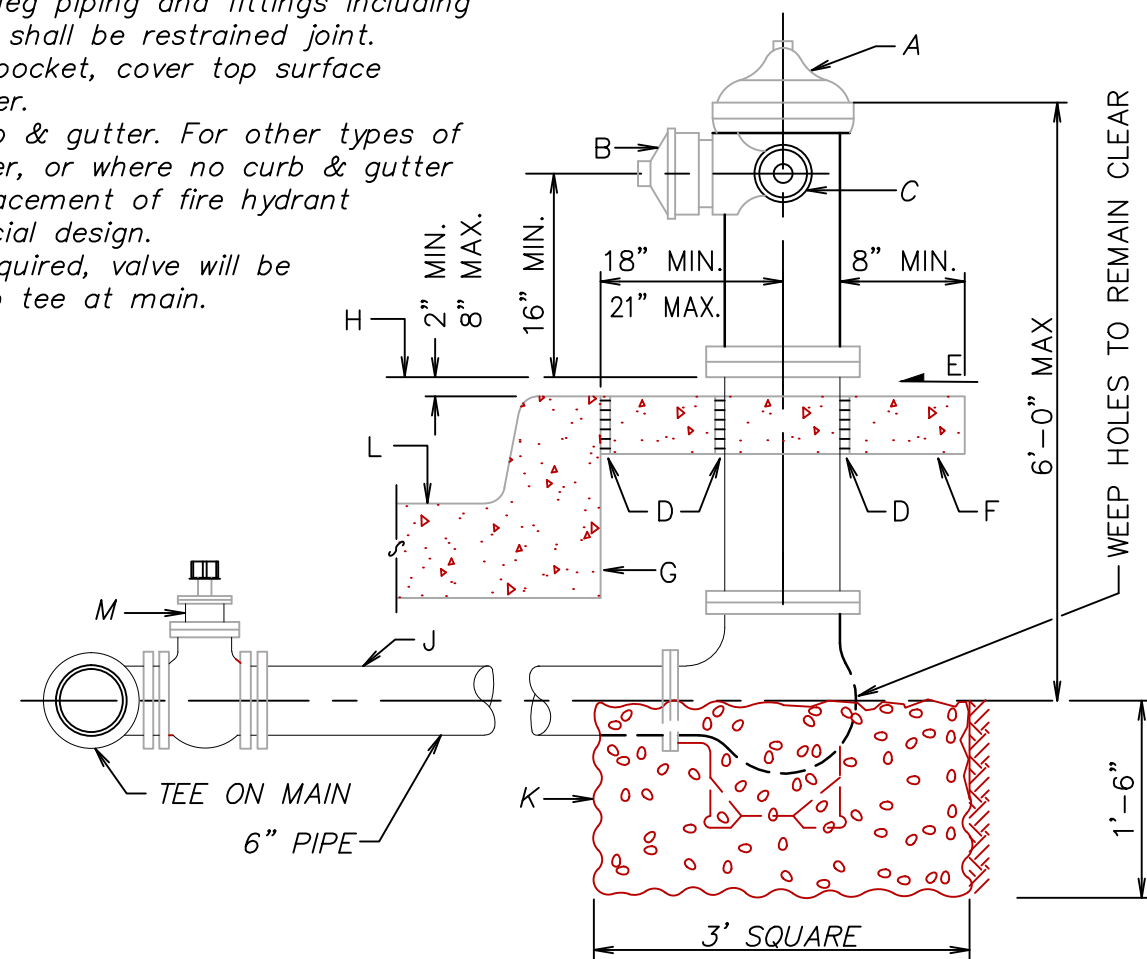
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C-5

GENERAL NOTES

1. No obstruction will be permitted within 3'-0" of fire hydrant.
2. Hydrant leg shall be valved from mains 10" diameter and larger and in arterial streets located in commercial areas.
3. Contractor shall be responsible for setting top flange of fire hydrant to the dimensions shown.
4. For fire hydrant locations, see dwg. 2347-A.
5. When new or existing sidewalk abuts curb, reconstruct sidewalk per dwg. 2430, 2431.
6. Pumper nozzle to be set facing the traveled way, unless otherwise noted on plans.

CONSTRUCTION NOTES

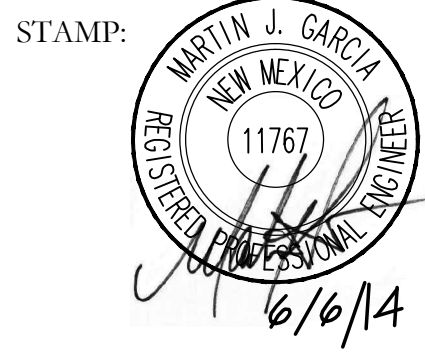
- A. Fire hydrant per specifications
- B. Pumper nozzle 4 1/2"
- C. Hose nozzle 2 1/2"
- D. 1/2" expansion joint material
- E. Slope 1/4" per foot
- F. 3' x 3' x 6" concrete square pad, to be constructed around fire hydrant's centerline when not located within sidewalk or concrete area.
- G. Back of curb
- H. Controlled elevation line, level in all directions.
- J. Use of restrained joints is mandatory. All fire hydrant leg piping and fittings including tee on main shall be restrained joint.
- K. Gravel drain pocket, cover top surface with tar paper.
- L. Standard curb & gutter. For other types of curb & gutter, or where no curb & gutter exist, the placement of fire hydrant requires special design.
- M. If valve is required, valve will be connected to tee at main.



FIRE HYDRANT DETAIL

SCALE: NTS

8
C-5



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ENGINEER:



JOB No:

FILE NAME:

DWG NAME: C5 GARCIADET

DRAWN BY: FKP

ISSUE DATE: August 29, 2012

RE: DATE DESCRIPTION

- 1.
- 2.
- 3.
- 4.

TITLE:

SITE DETAILS

GARCIA'S KITCHEN
FOOD PRODUCTION & WAREHOUSE
1736 Central Avenue, SW
Albuquerque, NM

SHEET:

C-5