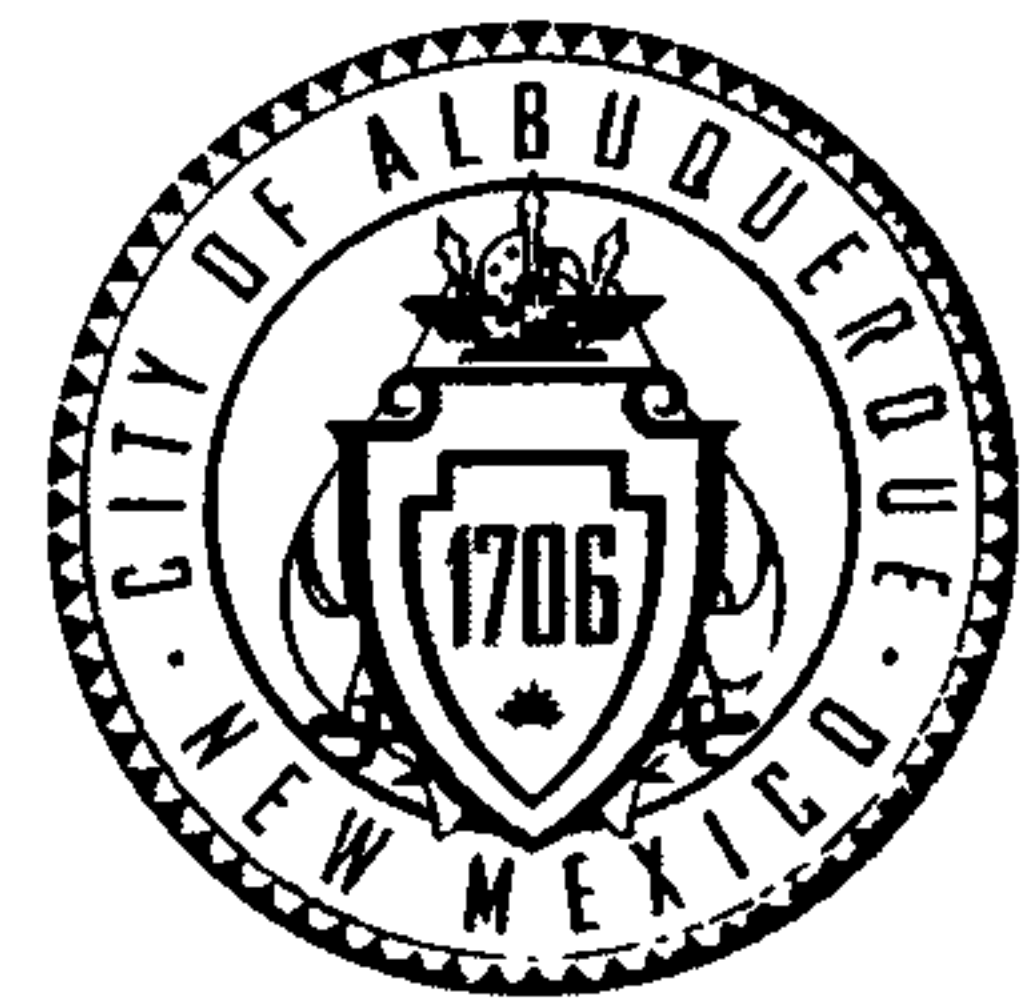


CITY OF ALBUQUERQUE



January 20, 2015

Glenn Broughton, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

**Re: Ace Leadership High School
1225 Sawmill Rd NW
Request 90 day Temporary C.O. - Accepted
Engineer's Stamp dated: 4-3-14 (J13D099)
Certification dated: 1-19-15**

Dear Mr. Broughton,

Based on the Certification received 1/20/2015, the site is acceptable for release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

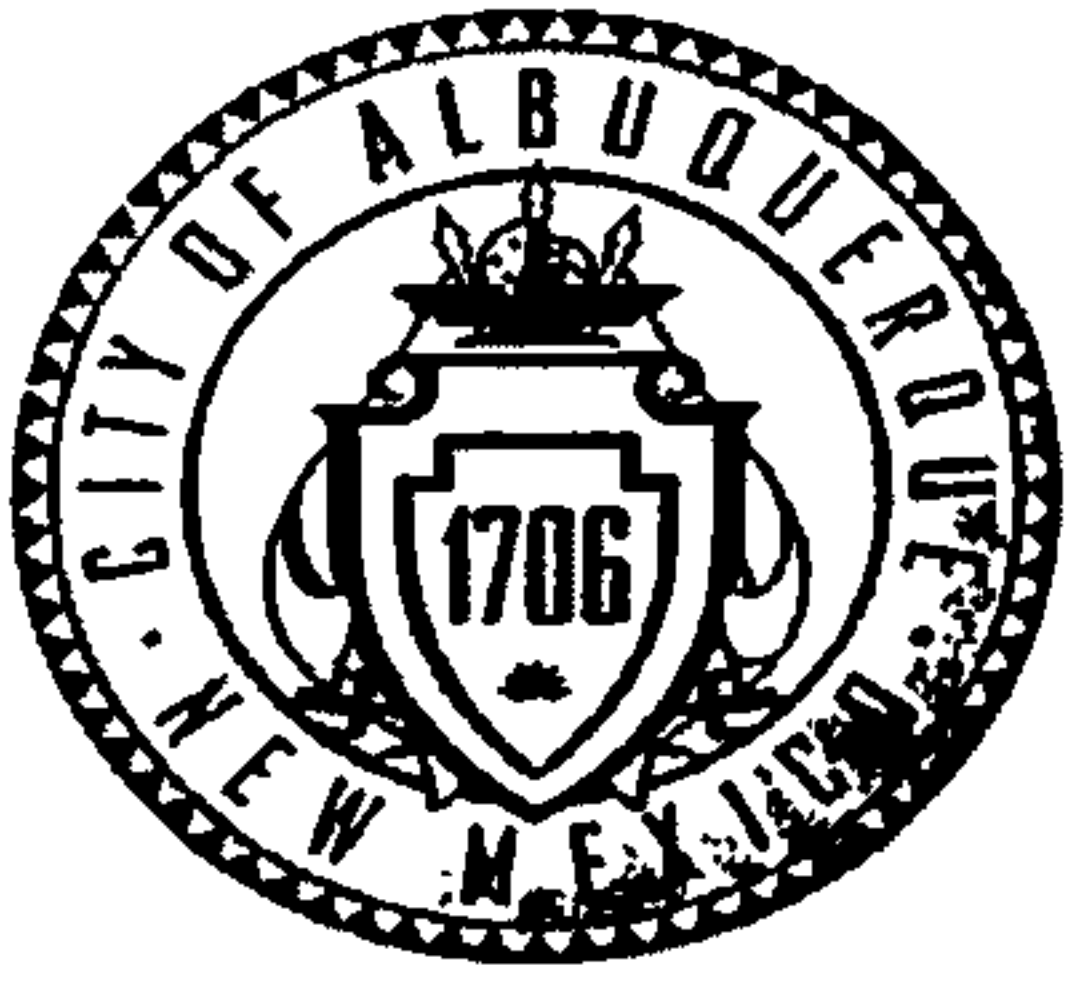
New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

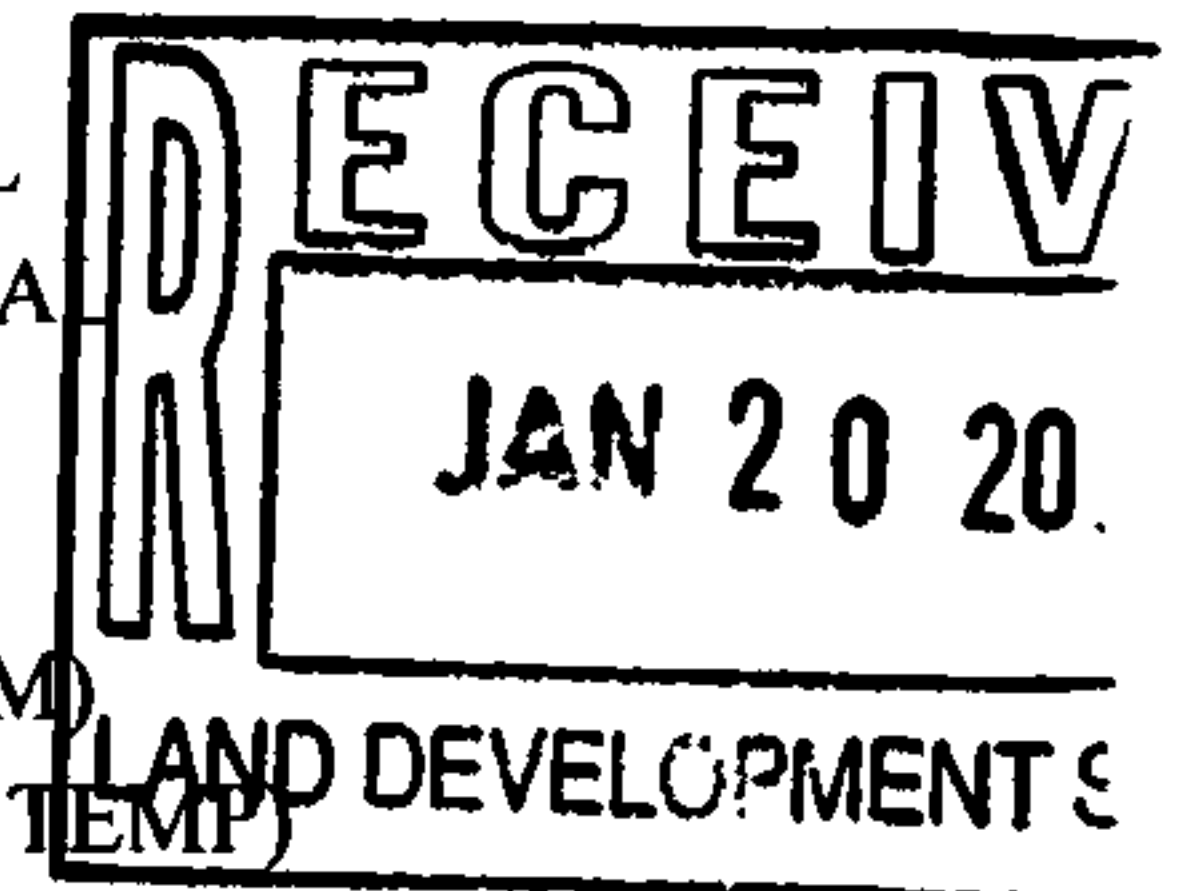
Project Title: ACE Leadership High School Building Permit #: _____ City Drainage #: _____
DRB#: 1002981 EPC#: _____ Work Order#: _____
Legal Description: Plat Of Tracts A Thru D Sawmill Industrial
City Address: 1225 Sawmill Rd NW Albuquerque, NM 87104
Engineering Firm: 1224 Bohannon Huston, Inc Contact: Glenn Broughton
Address: 7500 Jefferson St. NE Albuquerque, NM 87109
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: gbrought@bhinc.com
Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes _____ No _____ Copy Provided _____

DATE SUBMITTED: 1-19-2015

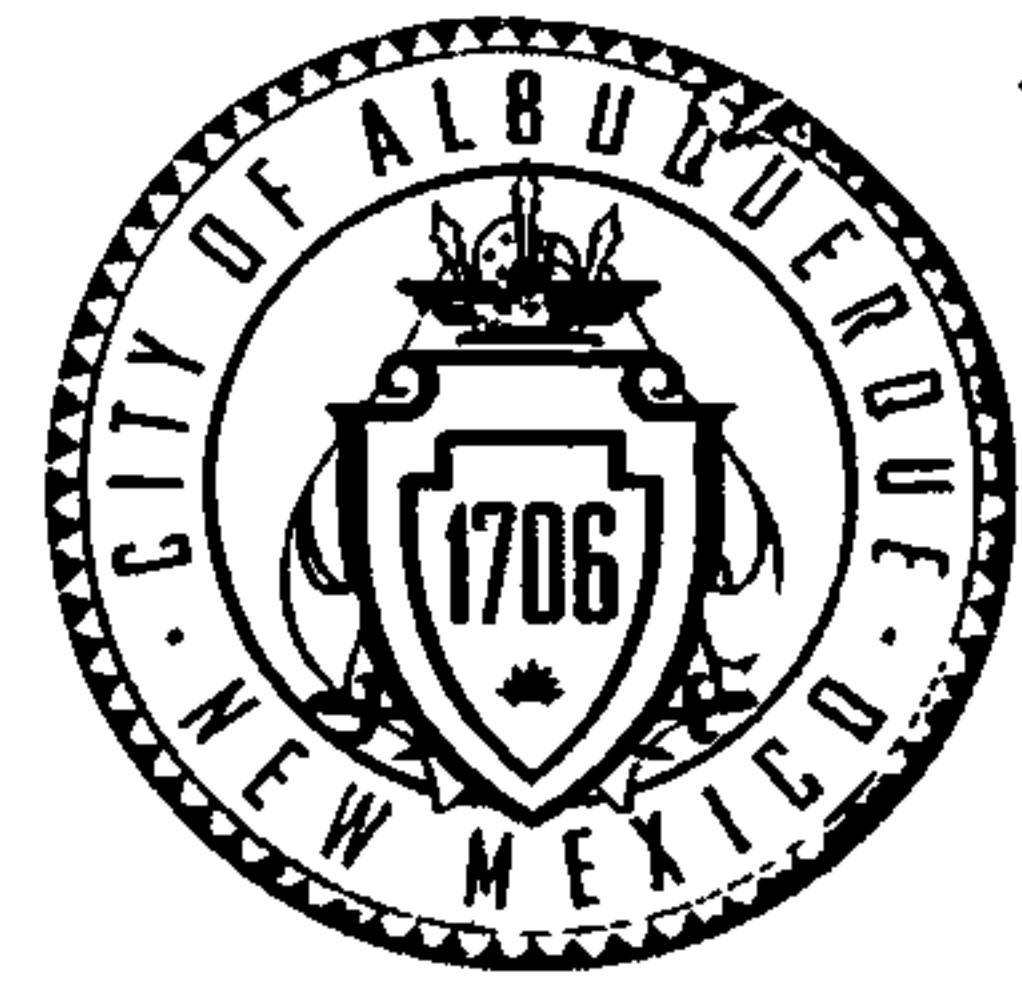
By: Glenn Broughton

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
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CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 4, 2014

Richard J. Berry, Mayor

Glenn Broughton, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

**RE: ACE Leadership High School -1225 Sawmill Road NW
Proposed Drainage Management Plan and Grading Plan For
For Building Permit and Work Order
Engineer's Stamp Date 4-3-2014 (J13/D099)**

Dear Mr. Broughton:

Based upon the information provided in your submittal received 4-3-14, the above referenced plan is approved for Building Permit and Work Order. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

PO Box 1293

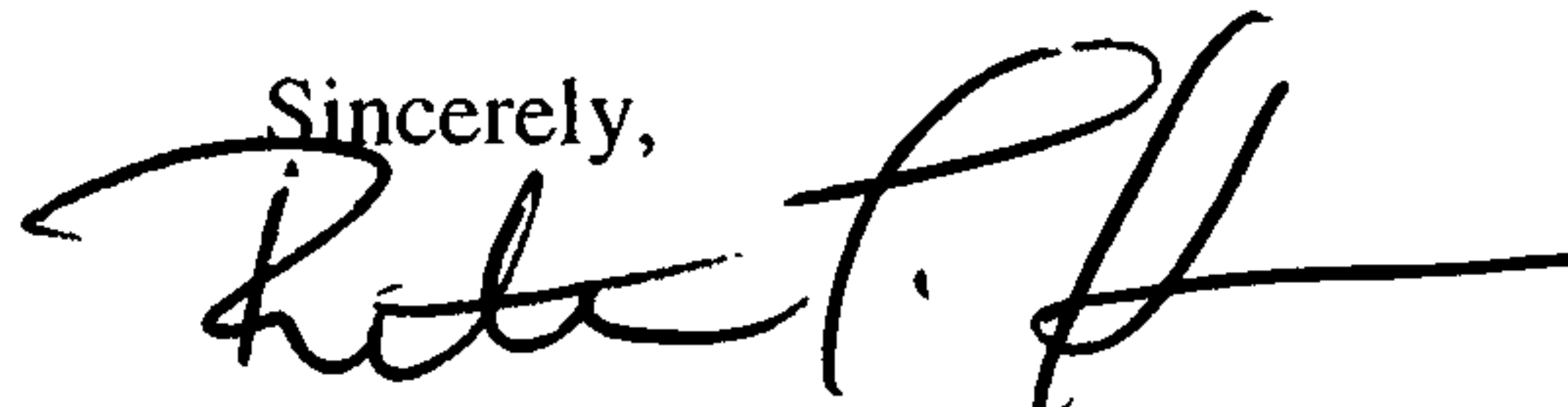
Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

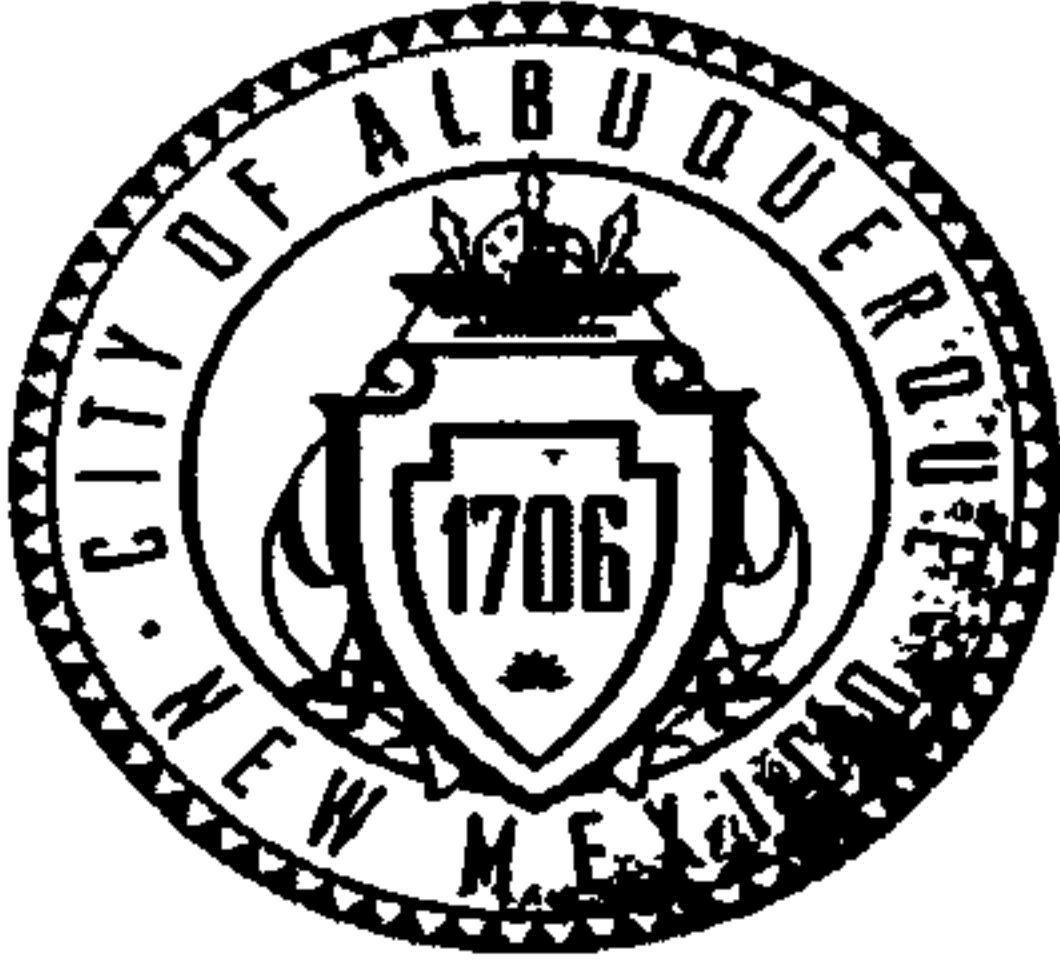
If you have any questions, you can contact me at 924-3695.

New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file: **J13D099**
c.pdf: via Email: gbroughton@bhinc.com, Tim Sims, Monica Ortiz



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ACE Leadership High School Building Permit #: _____ City Drainage #: 1130099
DRB#: 1002981 EPC#: _____ Work Order#: _____
Legal Description: Plat Of Tracts A Thru D Sawmill Industrial
City Address: 1225 Sawmill Rd NW Albuquerque, NM 87104

Engineering Firm: Bohannon Huston, Inc Contact: Glenn Broughton
Address: 7500 Jefferson St. NE Albuquerque, NM 87109
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: gbrought@bhinc.com

Owner: 1224 Bellamah LLC Contact: _____
Address: 2025 4th St. NW Albuquerque, NM 87102
Phone#: (505) 878-0005 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

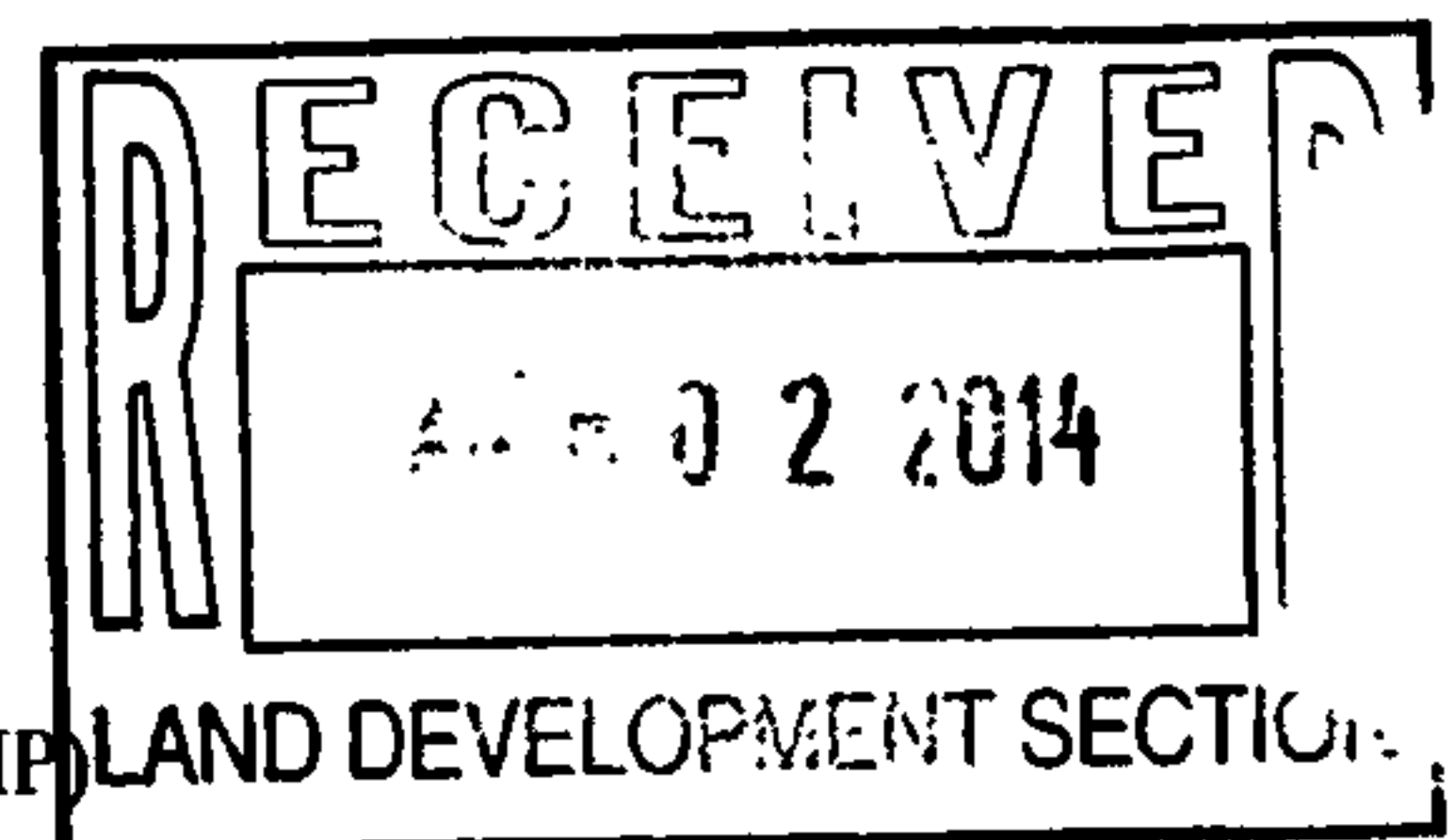
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

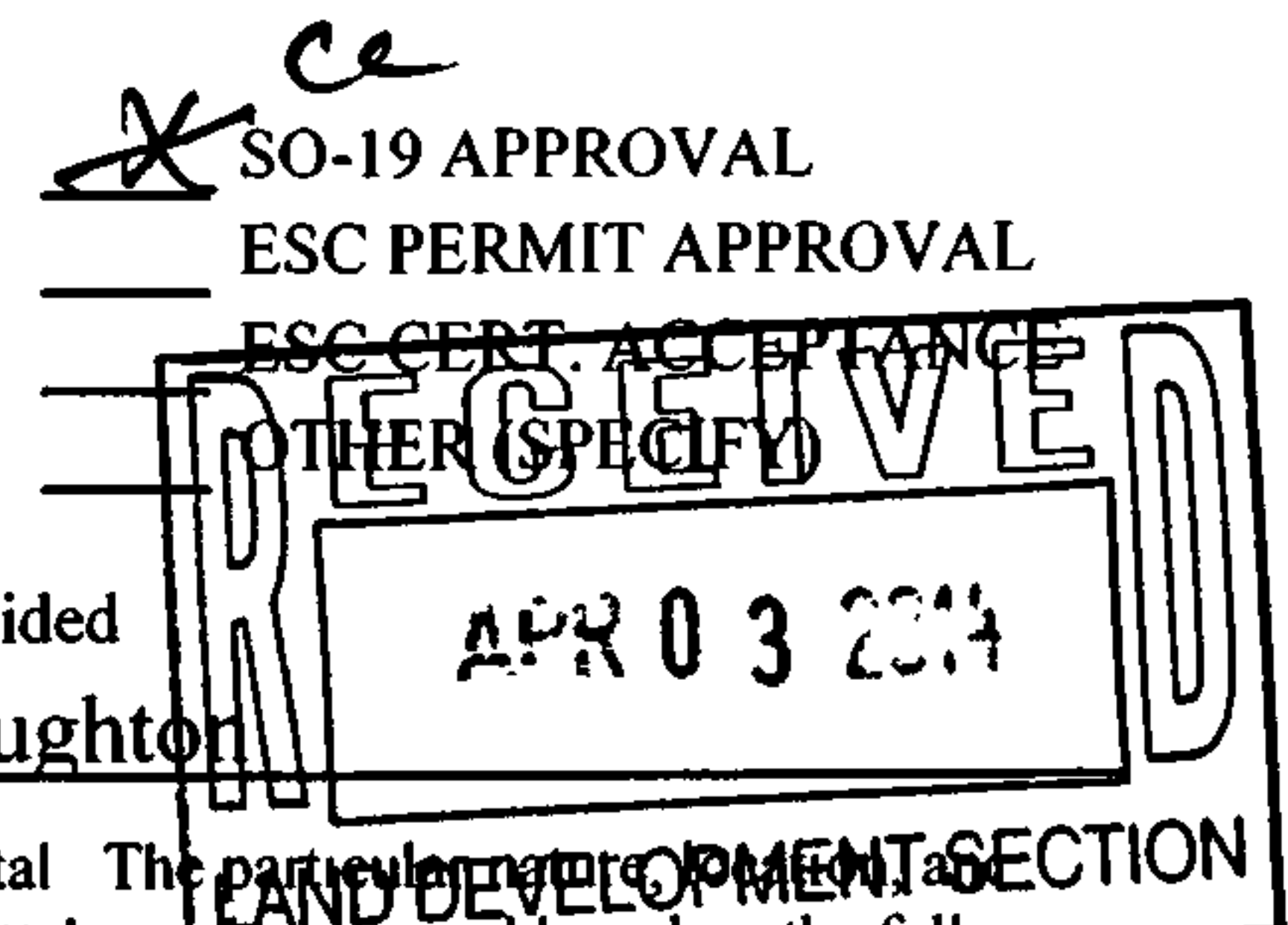
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided
DATE SUBMITTED: 4-03-2014 By: Glenn Broughton



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 1, 2014

Richard J. Berry, Mayor

Glenn Broughton, PE
Bohannon Huston, Inc.
7500 Jefferson NE, Courtyard I
Albuquerque, New Mexico 87113

RE: **ACE Leadership High School - 1225 Sawmill Road NW**
Drainage Management Plan and Grading Plan for
Building Permit, SO-19 and Work Order

File: **J13-D099**

PE Stamp: **3-11-2014**

Dear Mr. Broughton:

Based upon the information provided in your submittal received 3/11/14, the subject Grading and Drainage Plan cannot be approved for Building Permit, SO-19 or Work Order.

Please address the following items for approval:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

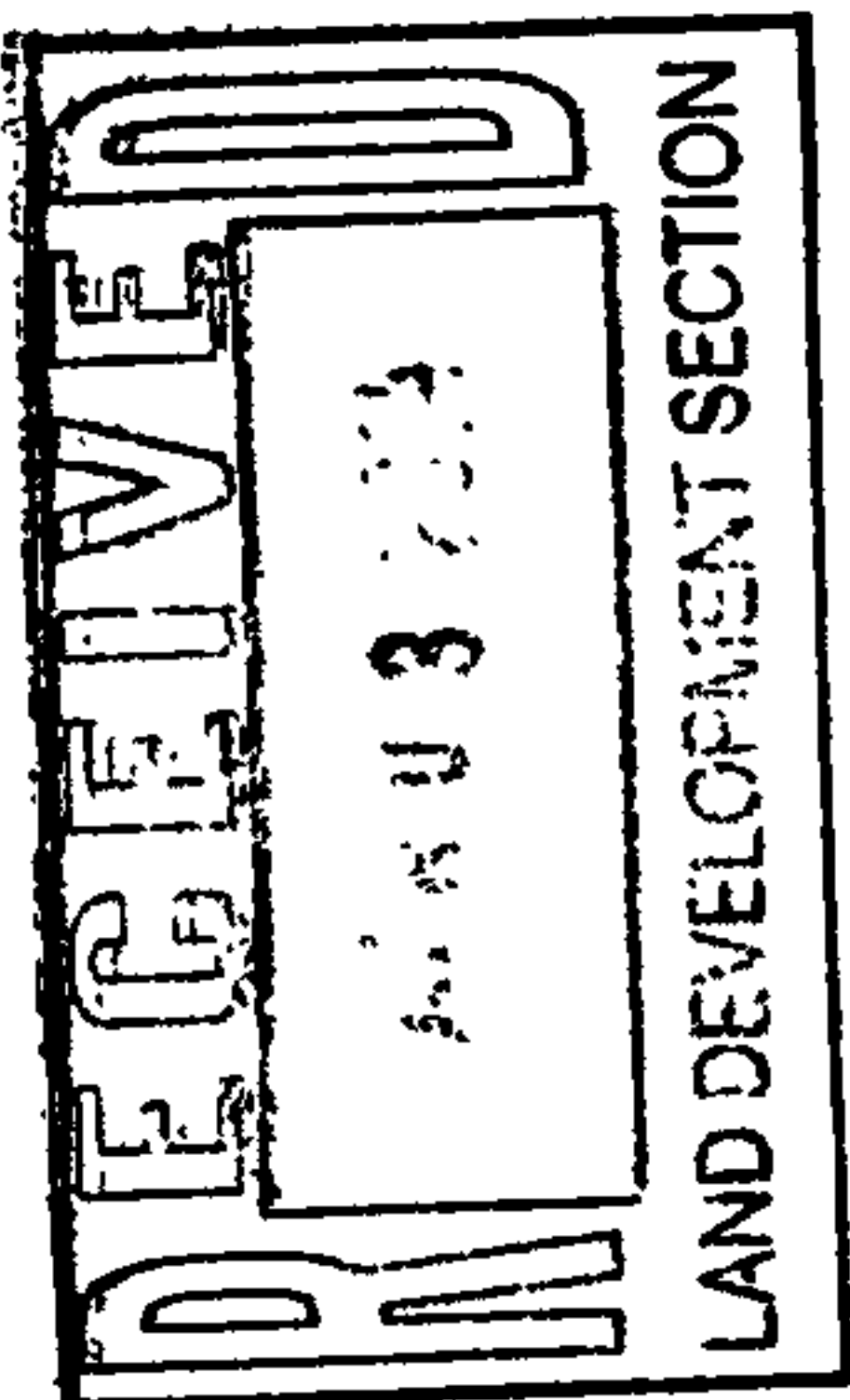
1. The DMP sheet should include a location map (J13) and applicable FIRM map, identifying the Flood Zone applicable to this site.
2. Clarify that the impervious areas used in sizing the ponds includes the Gravel roadway surfaces. If not, boldly note on the DMP and Grading Plan that hard surfacing of those areas will require reanalysis and possible pond size adjustment.
3. What surfacing is proposed on the Cul-de-Sac? Label if it is in the Work Order.
4. What is the typical gravel road section? - Curb & gutter on sides?
5. On the G&D, does the Perimeter Retaining/Screen wall prevent cross lot drainage?
6. How does the SE entrance tie to Sawmill Road?
7. How do you know the invert elevation on the SD Manhole full of dirt?
8. Label all items to be built by Work Order, and reference the CPN.
9. The SO-19 notes will not be applicable, since the work on Sawmill is in WO.

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit or Work Order.

J13D099_commentLTR_ACE-HS__2014MAR11seal

1 of 2

Albuquerque - Making History 1706-2006



CPN 725182

April 1, 2014

ACE Leadership High School
1225 Sawmill Road NW
File: J13-D099

Page 2

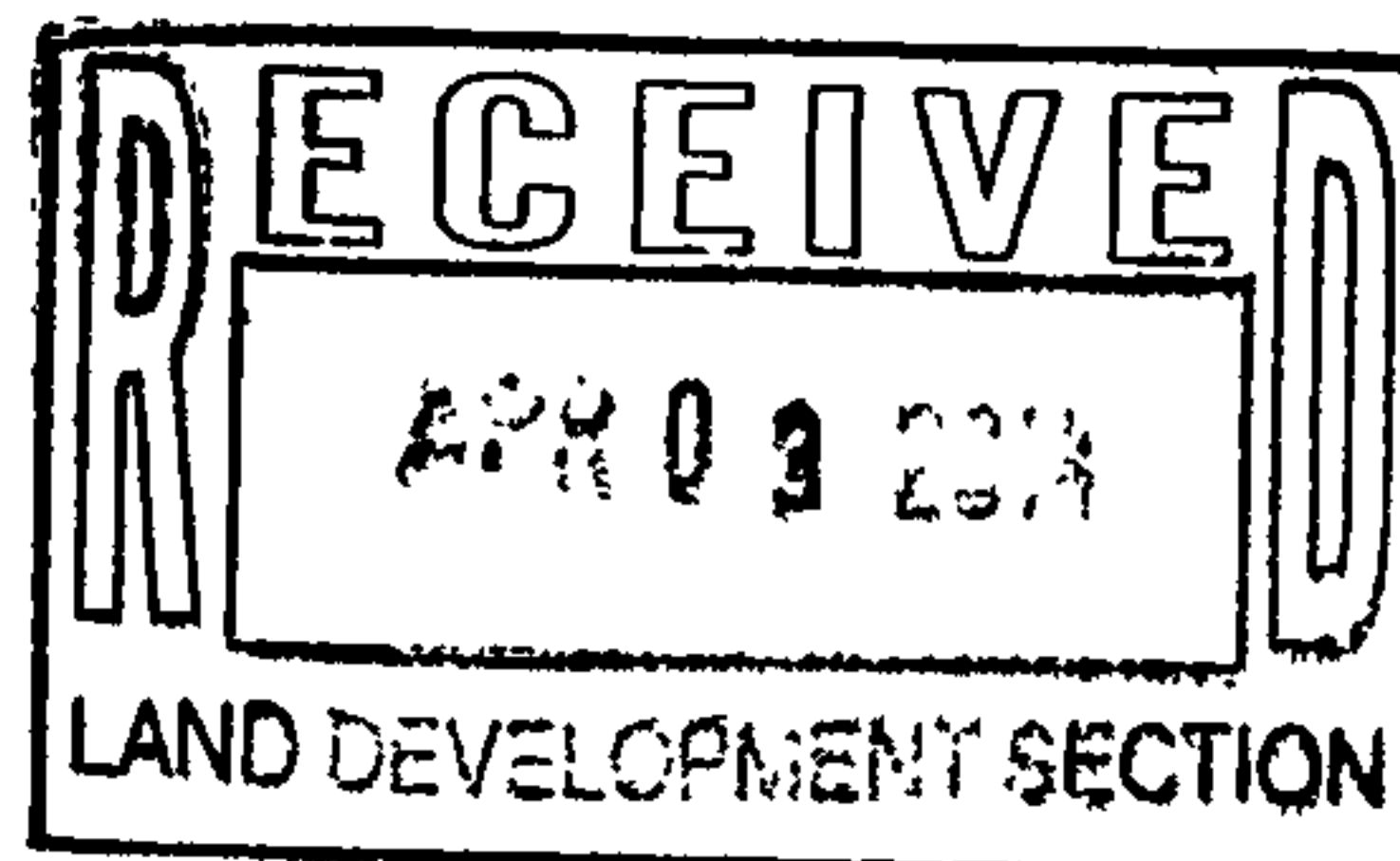
If you have questions, please email me or telephone 505-924-3994.

Sincerely,

 4/1/14

Gregory R. Olson, P.E.
Senior Engineer
Development and Building Services

Orig: Drainage file: J13/D099
c.pdf Addressee via Email GBroughton@BHInc.com



April 3, 2014

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Mr. Gregory Olson, P. E.
Senior Engineer
Development and Building Services
City of Albuquerque
600 2nd St NW
Albuquerque, NM 87102

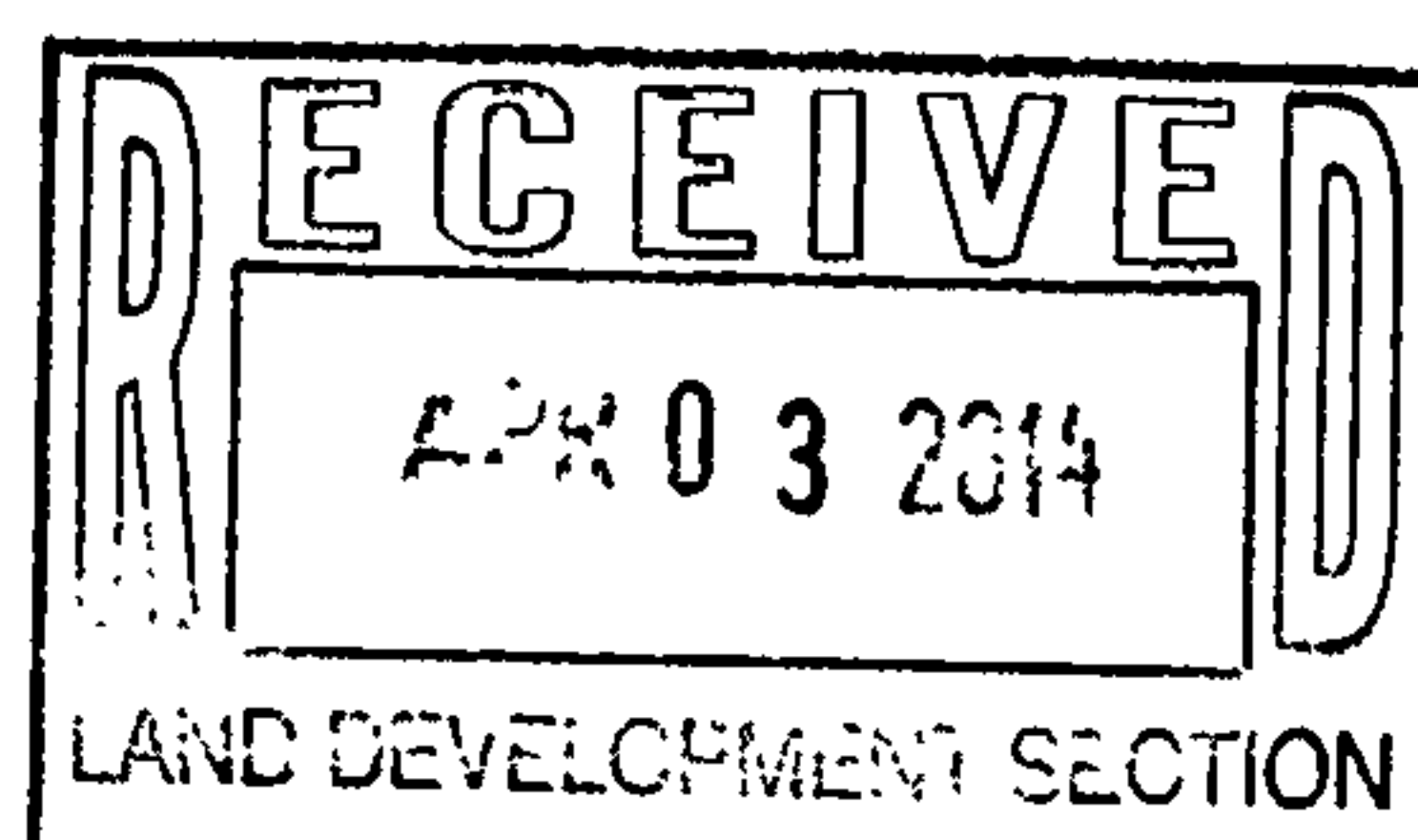
Re: ACE Leadership High School, Hydrology Re-Submittal

Dear Mr. Olson:

Enclosed for your review is a copy of the revised grading plan and detail sheet. The revisions are based on comments that you provided in your letter dated April 1, 2014. Below is a brief description of how the comments were addressed:

- ✓ 1. The Zone Atlas and FIRM with the site location shown have been added to the DMP. The site is not within a designated flood zone. The introductory paragraph of the DMP narrative has been edited to reflect this.
- ✓ 2. The initial submittal used Type C land treatment for the gravel road and parking surface. The land treatments, analysis and narrative have been revised to assume that these areas are paved (Land Treatment Type D).
- ✓ 3. The cul de sac is paved with curb and gutter. This will be constructed under a City Work Order, CPN 725182. This is noted on both the DMP and Grading Plan.
- ✓ 4. The gravel road is 24 feet wide (F-F) with 6" of base course on prepared subgrade. A gravel pavement section is shown on Sheet C-300.
- ✓ 5. The perimeter fence on the south and west sides are 8 foot high CMU and will prevent cross lot drainage. The grades around the remainder of the site are set to so that all onsite drainage is conveyed to the detention pond and will not drain onto the adjoining properties.
- ✓ 6. A new drivepad is being constructed under the City Work Order.
- ✓ 7. The upstream and downstream manholes were clean. The invert of this manhole was calculated based on upstream and downstream inverts.
- ✓ 8. All items to be constructed under the City Work Order have been noted and the CPN referenced.
- ✓ 9. The SO-19 notes have been deleted.

An Erosion and Sediment Control Plan will be submitted under a separate cover.



Engineering ▲

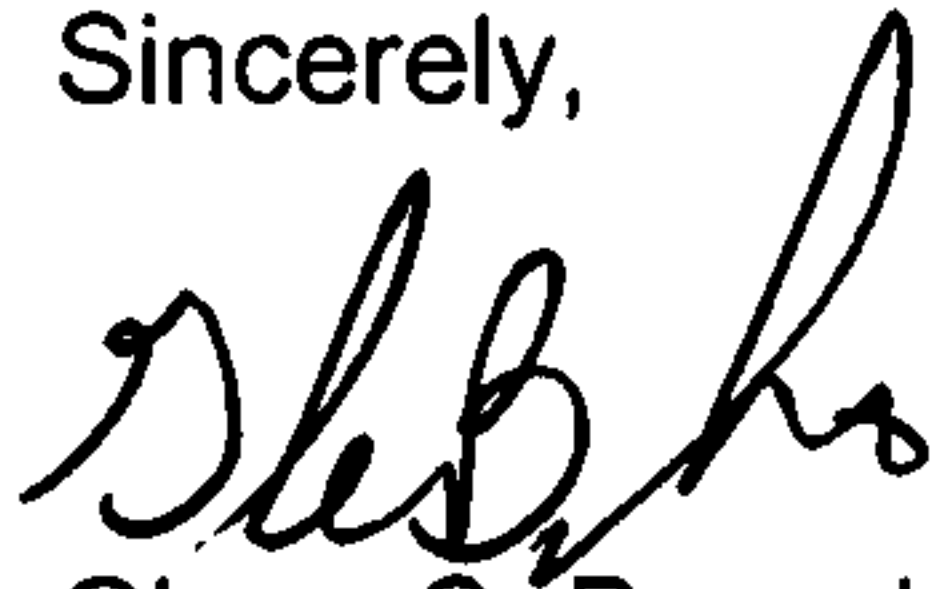
Spatial Data ▲

Advanced Technologies ▲

Gregory Olson, P.E.
City of Albuquerque
April 3, 2014
Page 2

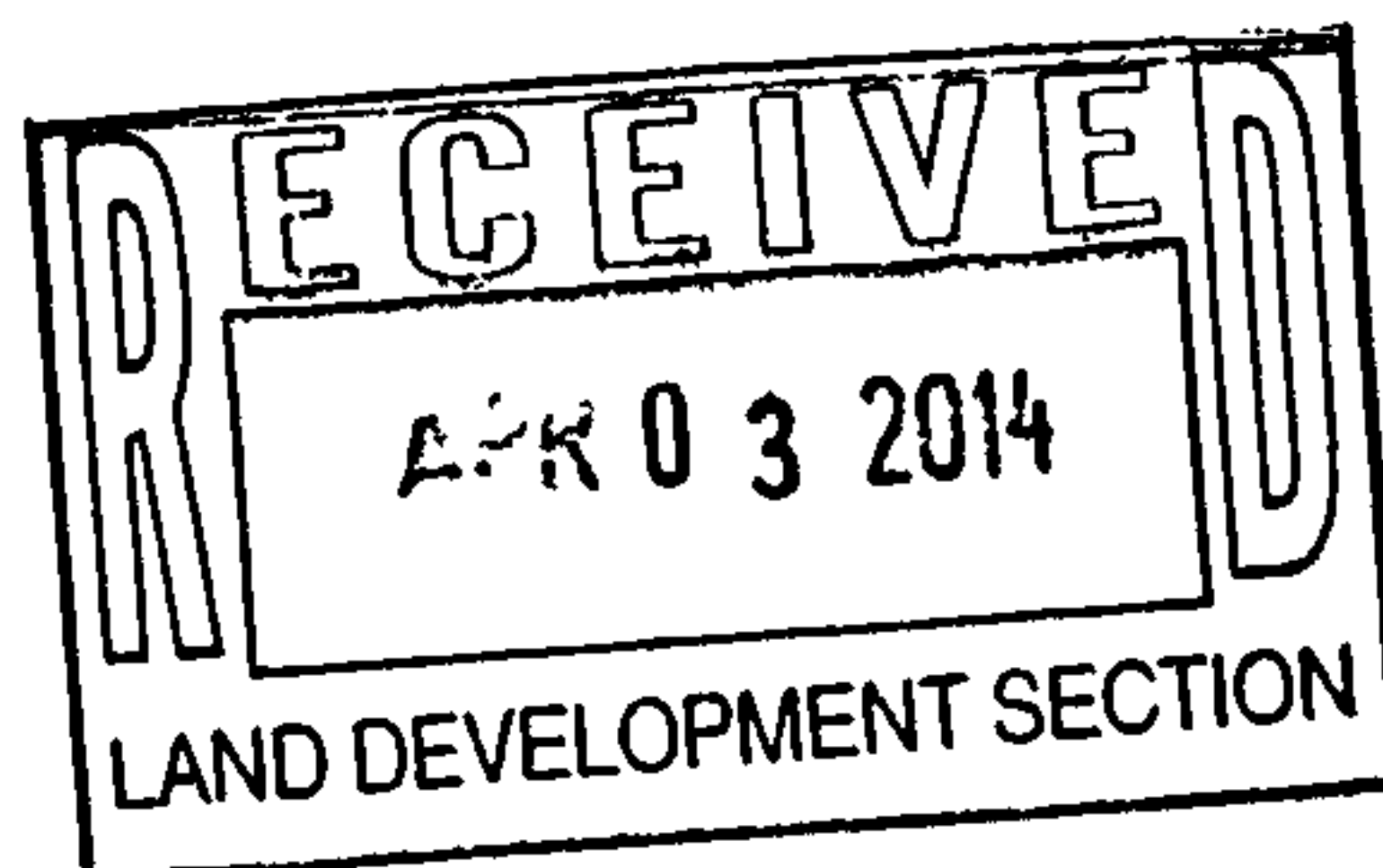
With this submittal we are requesting Hydrology approval for building permit. If you have any questions or require further information, please feel free to contact me.

Sincerely,



Glenn S. Broughton, P.E.
Senior Project Manager
Community Development & Planning

GSB/kp
Enclosures



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 1, 2014

Richard J. Berry, Mayor

Glenn Broughton, PE
Bohannon Huston, Inc.
7500 Jefferson NE, Courtyard I
Albuquerque, New Mexico 87113

RE: **ACE Leadership High School** - 1225 Sawmill Road NW
Drainage Management Plan and Grading Plan for
Building Permit, SO-19 and Work Order

File: **J13-D099**

PE Stamp: **3-11-2014**

Dear Mr. Broughton:

Based upon the information provided in your submittal received 3/11/14, the subject Grading and Drainage Plan cannot be approved for Building Permit, SO-19 or Work Order.

Please address the following items for approval:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. The DMP sheet should include a location map (J13) and applicable FIRM map, identifying the Flood Zone applicable to this site.
2. Clarify that the impervious areas used in sizing the ponds includes the Gravel roadway surfaces. If not, boldly note on the DMP and Grading Plan that hard surfacing of those areas will require reanalysis and possible pond size adjustment.
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9. The SO-19 notes will not be applicable, since the work on Sawmill is in WO.

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit or Work Order.

April 1, 2014

ACE Leadership High School
1225 Sawmill Road NW
File: **J13-D099**

Page 2

If you have questions, please email me or telephone 505-924-3994.

Sincerely,



Gregory R. Olson, P.E.
Senior Engineer
Development and Building Services

Orig: Drainage file: **J13/D099**
c.pdf Addressee via Email GBroughton@BHInc.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ACE Leadership High School Building Permit #: _____ City Drainage #: J13D099
DRB#: 1002981 EPC#: _____ Work Order#: _____
Legal Description: Plat Of Tracts A Thru D Sawmill Industrial
City Address: 1225 Sawmill Rd NW Albuquerque, NM 87104

Engineering Firm: Bohannon Huston, Inc Contact: Glenn Broughton
Address: 7500 Jefferson St. NE Albuquerque, NM 87109
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: gbrought@bhinc.com

Owner: 1224 Bellamah LLC Contact: _____
Address: 2025 4th St. NW Albuquerque, NM 87102
Phone#: (505) 878-0005 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

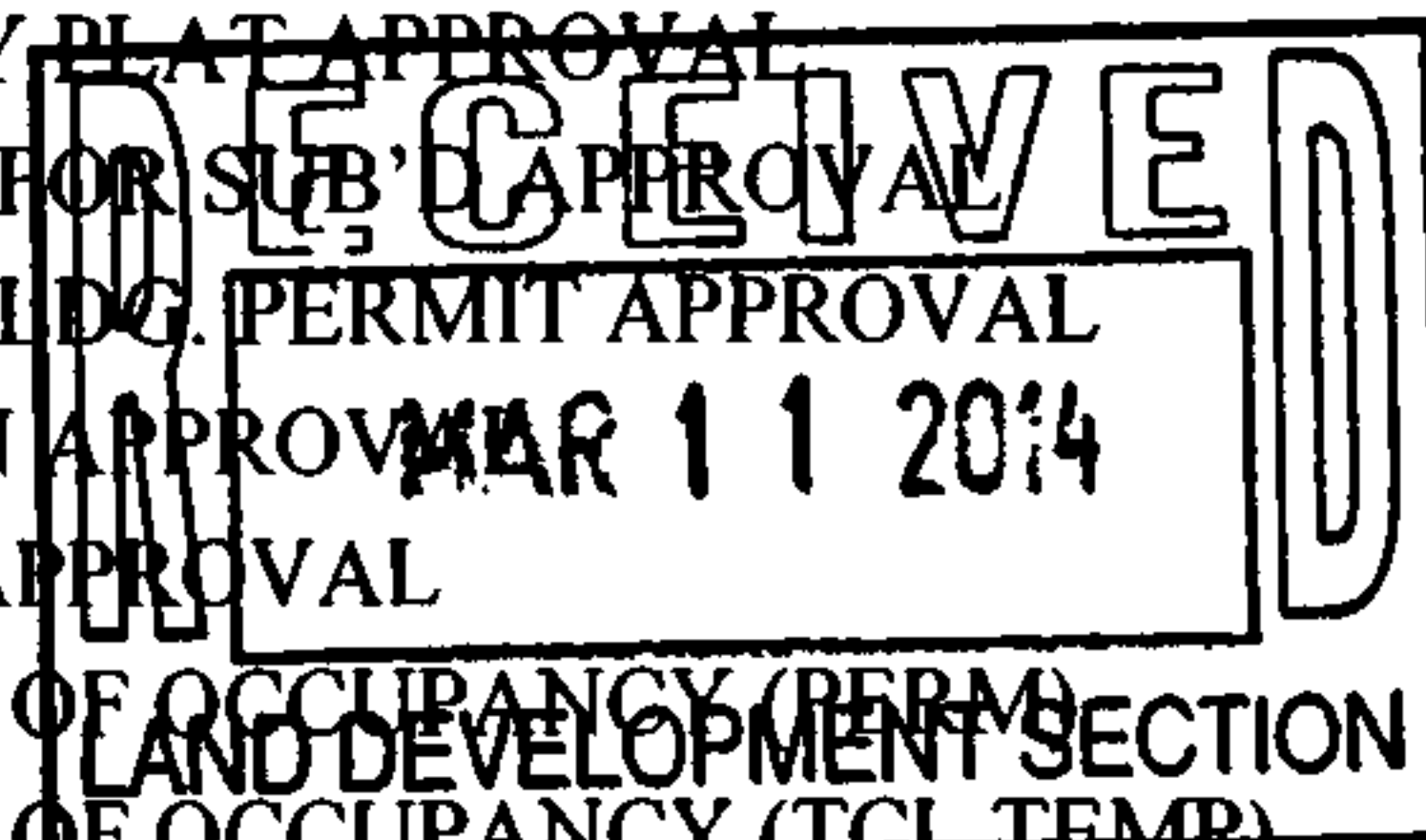
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

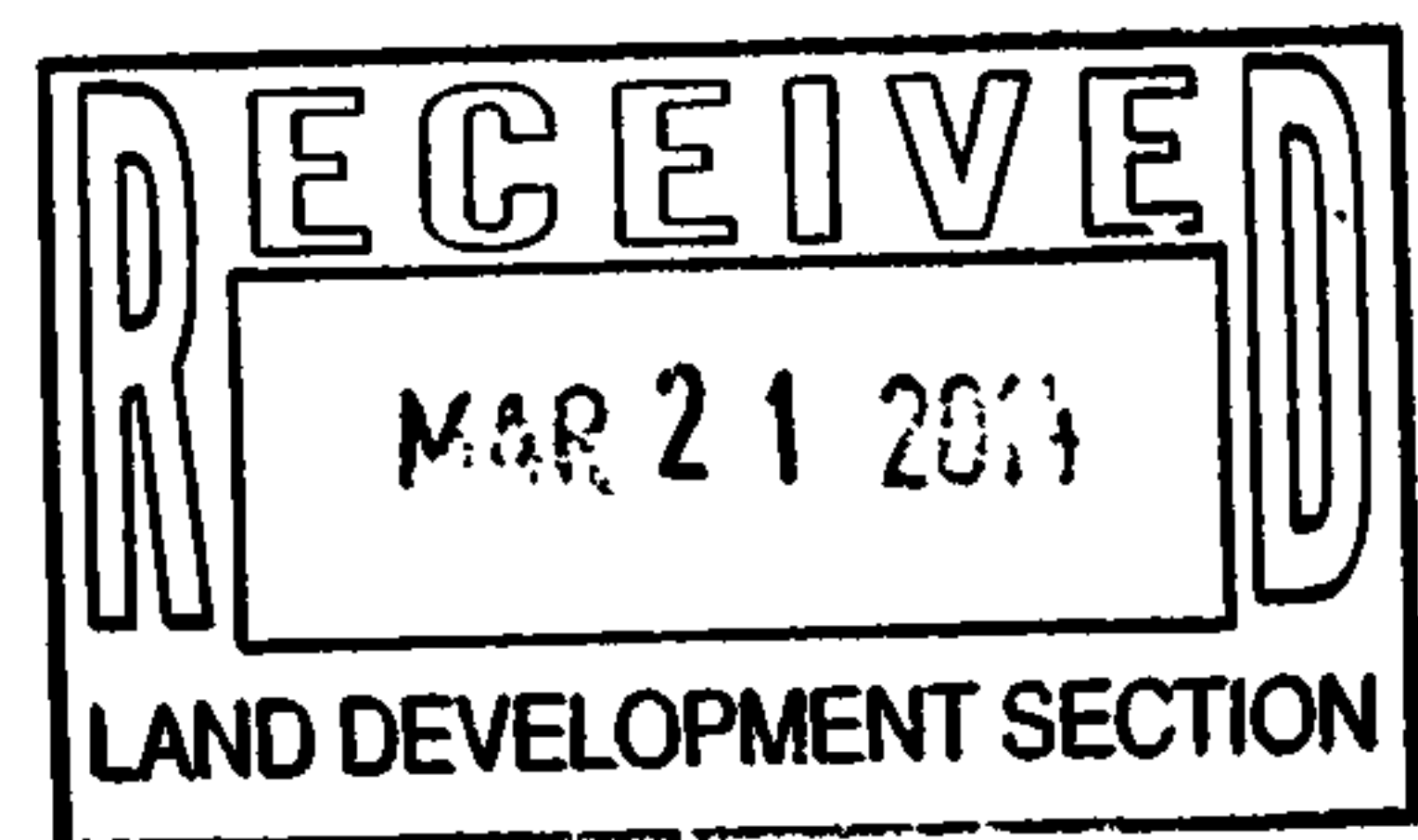


WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 3-11-2014 By: Glenn Broughton

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335
www.bhinc.com
voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: Curtis Cherne
COA Hydrology
Plaza Del Sol

Requested by: Glenn Broughton

Date: 3-11-2014

Time Due: ☐ This A.M.
☒ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone:

Job No.: 20140224

Job Name: ACE Leadership High School

DELIVERY VIA

☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

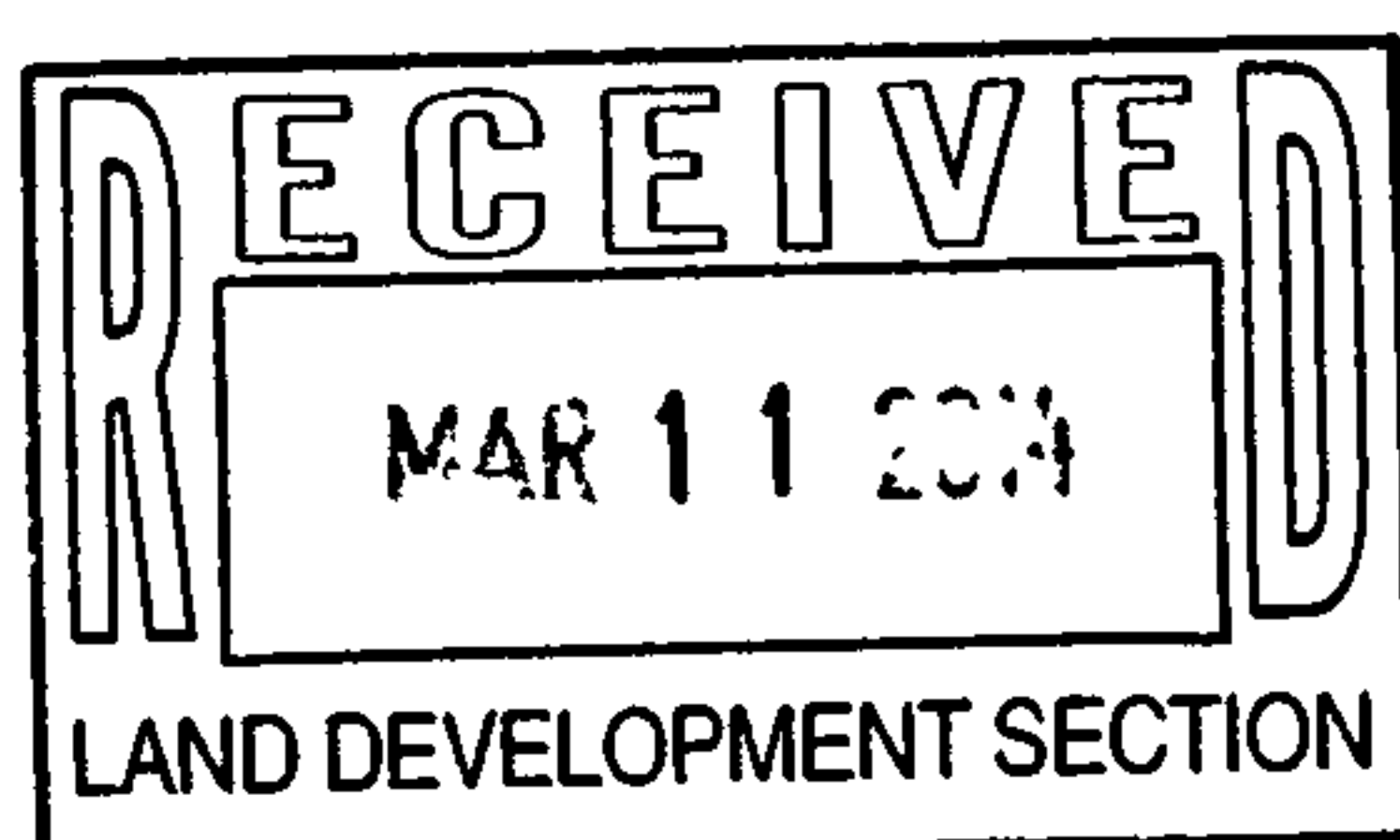
<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Drainage Management Plan
2	1	Drainage Info Sheet
3	1	Erosion Control Plan
4	1	Grading Plan
5	1	Civil Details

COMMENTS / INSTRUCTIONS

Curtis,

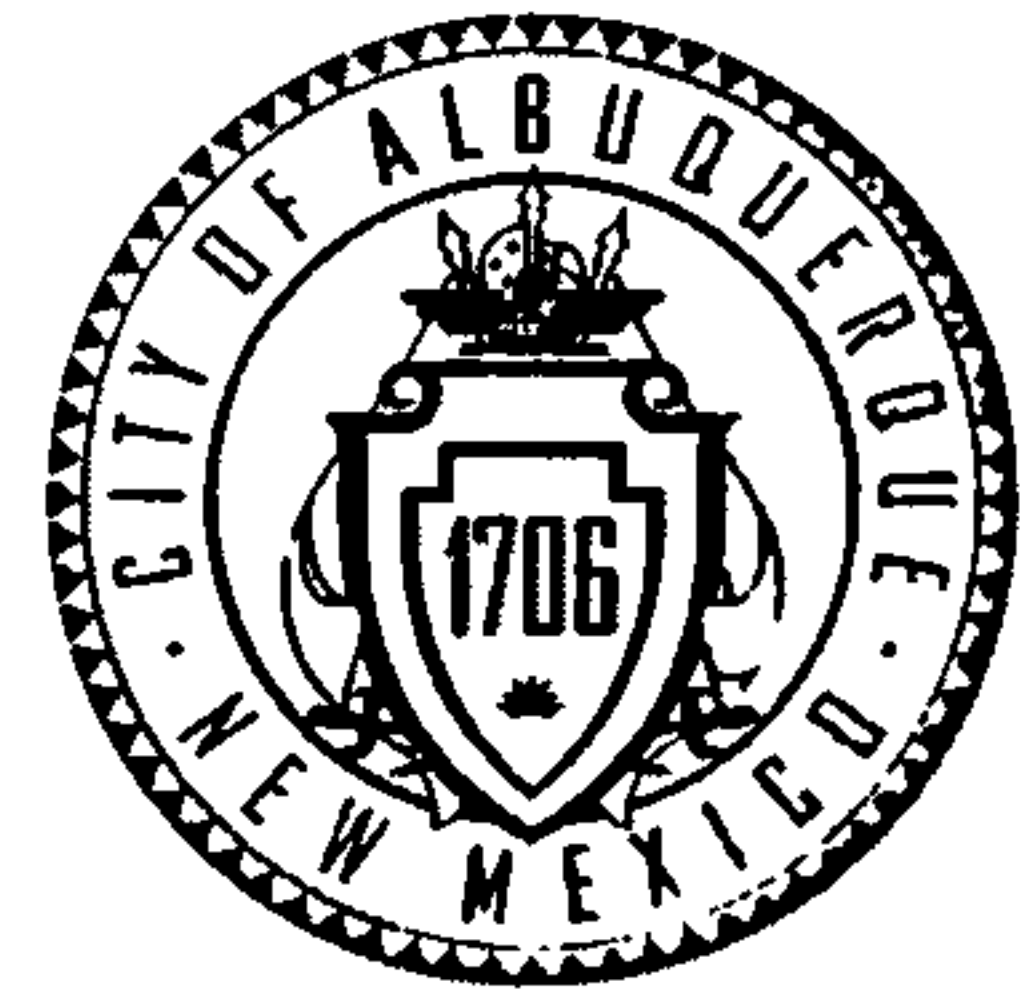
Please find attached our DMP. We are requesting building permit approval.

Thanks,
Glenn



REC'D BY: _____ DATE: _____ TIME: _____

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

January 27, 2015

Patricia H. Hancock, R.A.
SMPC Architects
115 Amherst Dr. SE
Albuquerque, NM 87106

**Re: ACE Leadership High School, 1225 Sawmill Rd.
Certificate of Occupancy – Transportation Development**
Architect's Stamp dated 01-19-15 (J13-D099)
Certification dated 01-19-15

Dear Mrs. Hancock,

PO Box 1293

Albuquerque

Based upon the information provided in your submittal received 01-20-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

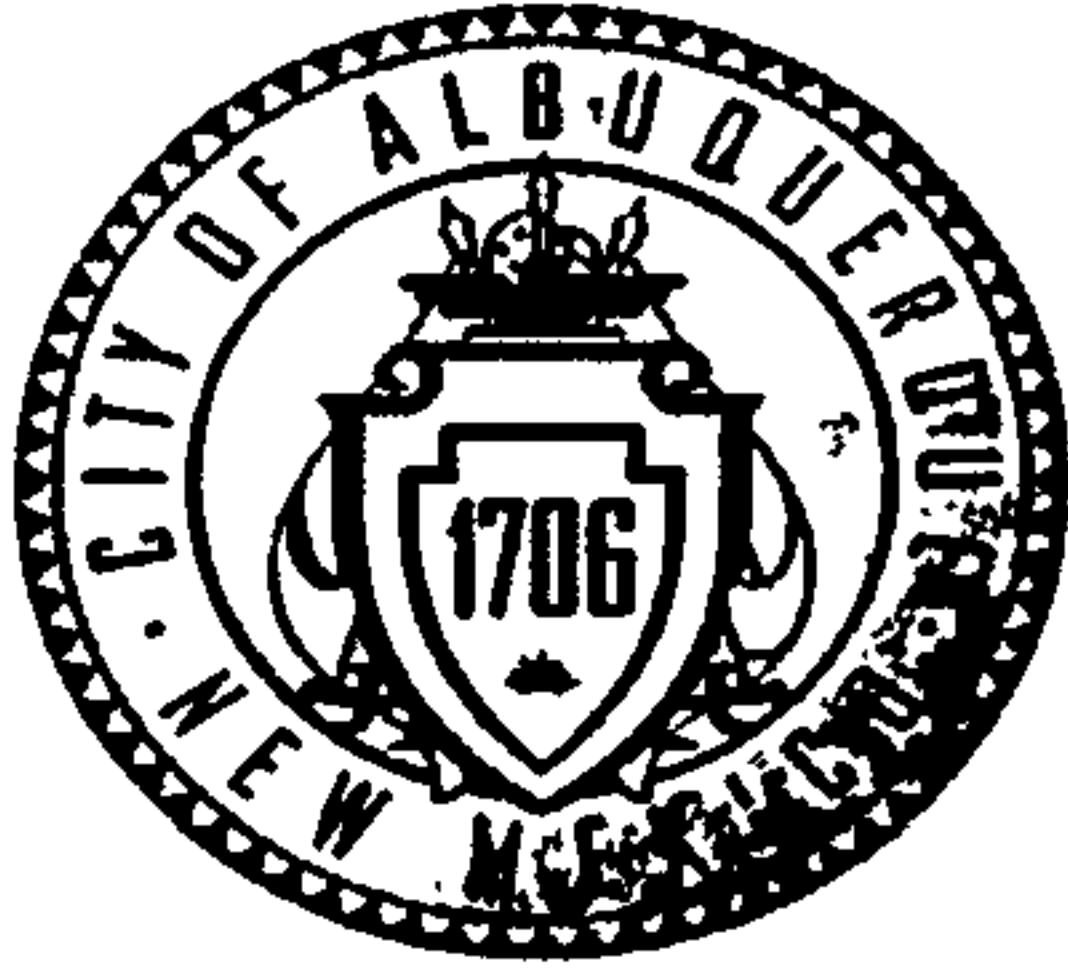
New Mexico 87103

Sincerely,

cabq.gov

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ACE Leadership High School Building Permit #: _____ City Drainage #: _____
DRB#: 1002981 EPC#: _____ Work Order#: _____
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City Address: 1225 Sawmill Rd NW Albuquerque, NM 87104

Engineering Firm: Bohannon Huston, Inc Contact: Glenn Broughton
Address: 7500 Jefferson St. NE Albuquerque, NM 87109
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: gbrought@bhinc.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: SMPC Architects Contact: _____
Address: 115 Amherst Drive SE, Albuquerque, NM 87106
Phone#: 505-255-8668 Fax#: 505-268-6665 E-mail: p.hancock@smpcarchitects.

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

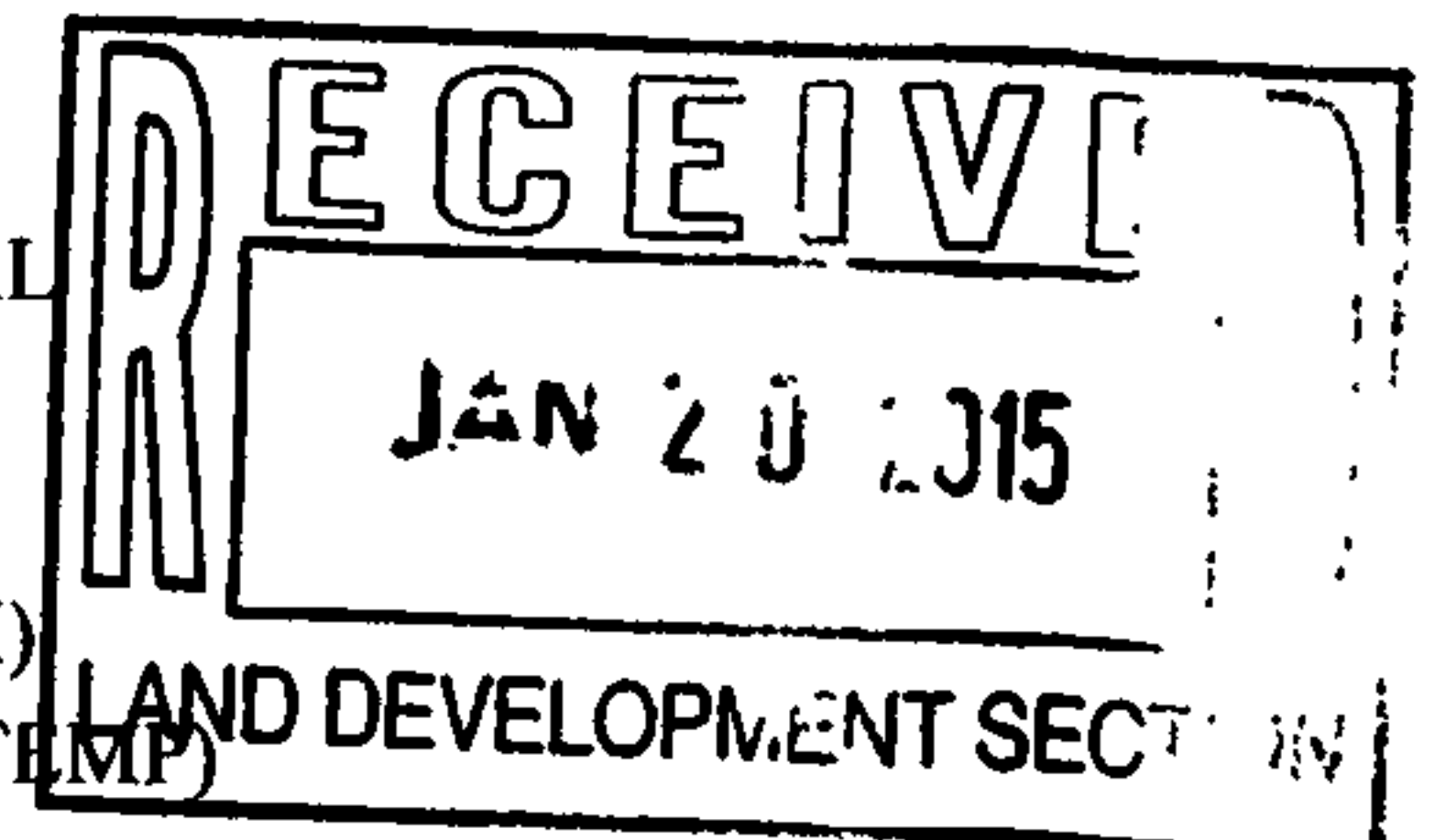
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 1-19-2015 By: Patricia Hancock

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development

SMPCArchitects

PRINCIPLES OF DESIGN.

January 19, 2015

Ms. Racquel Michel, P.E.
Transportation Development Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout Engineer's Certification – ACE Leadership High School 1225
Sawmill Road NW (J13)

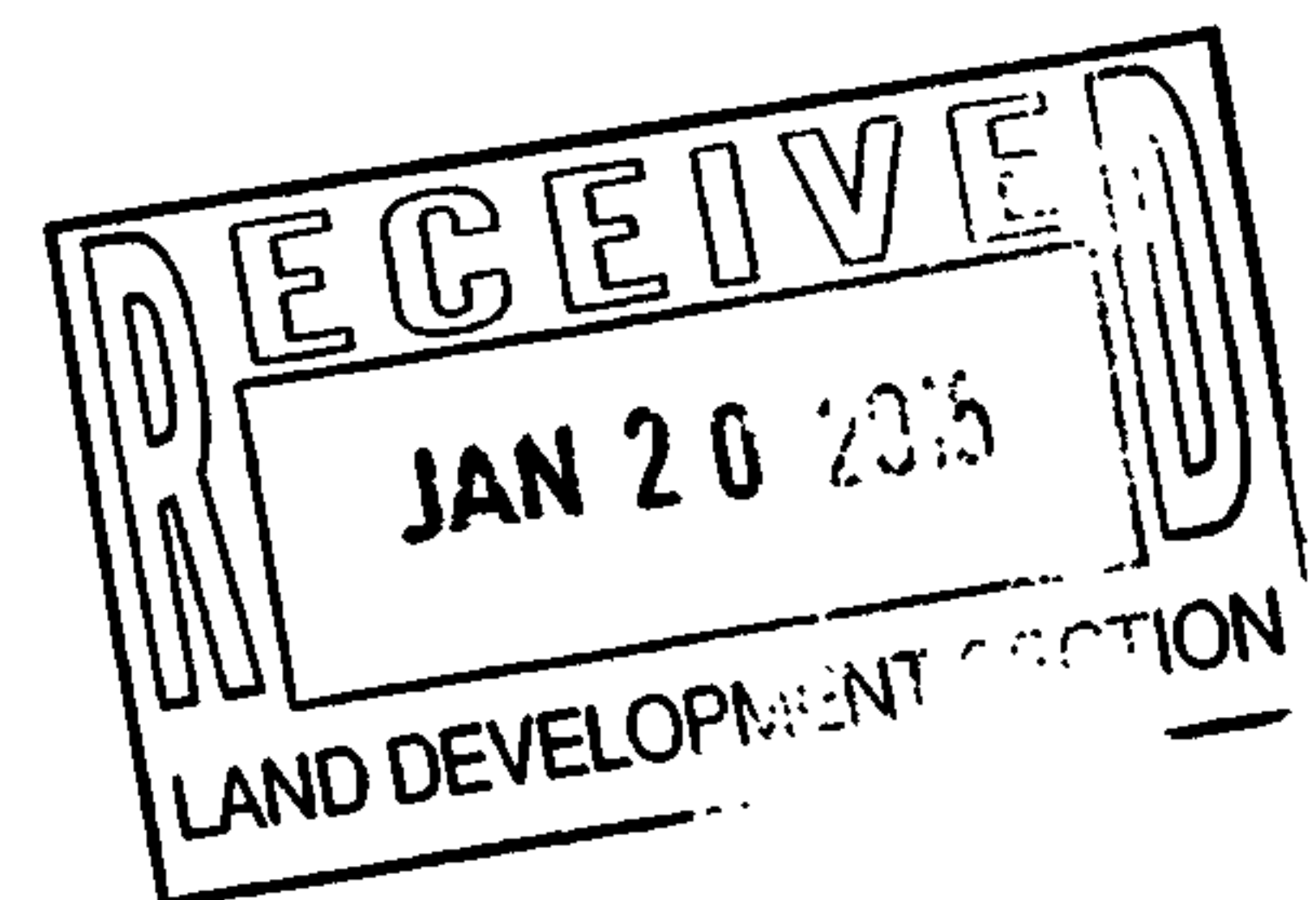
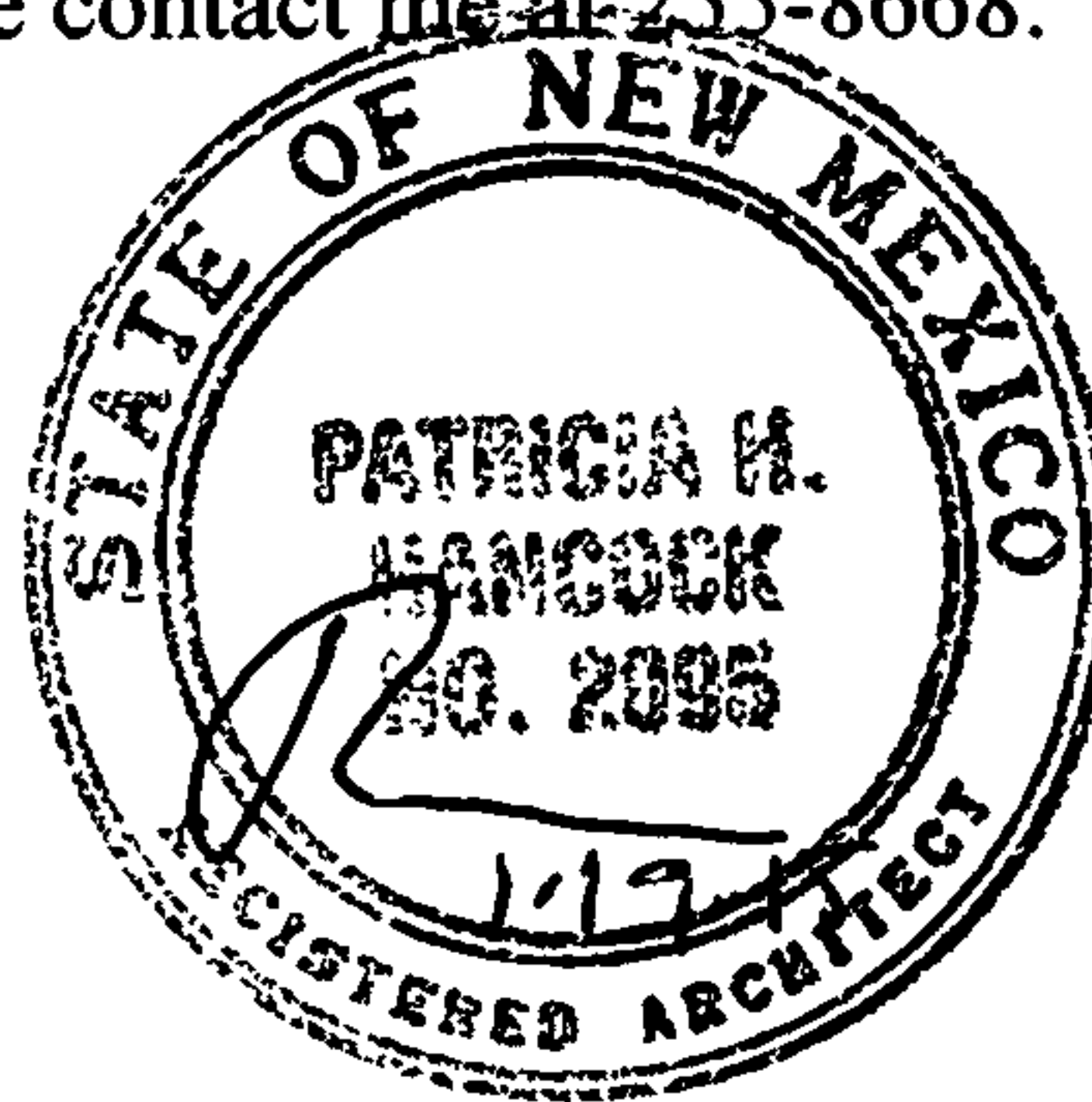
Dear Racquel:

Enclosed for your review is the Building Permit Approved Site Plan dated August 20, 2014. I visited the site on January 19, 2015 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan.

Your review and approval is requested for a **Permanent Certificate of Occupancy** for the project noted above. I appreciate your time and consideration. If you have any questions or require additional information please contact me at 255-8668.

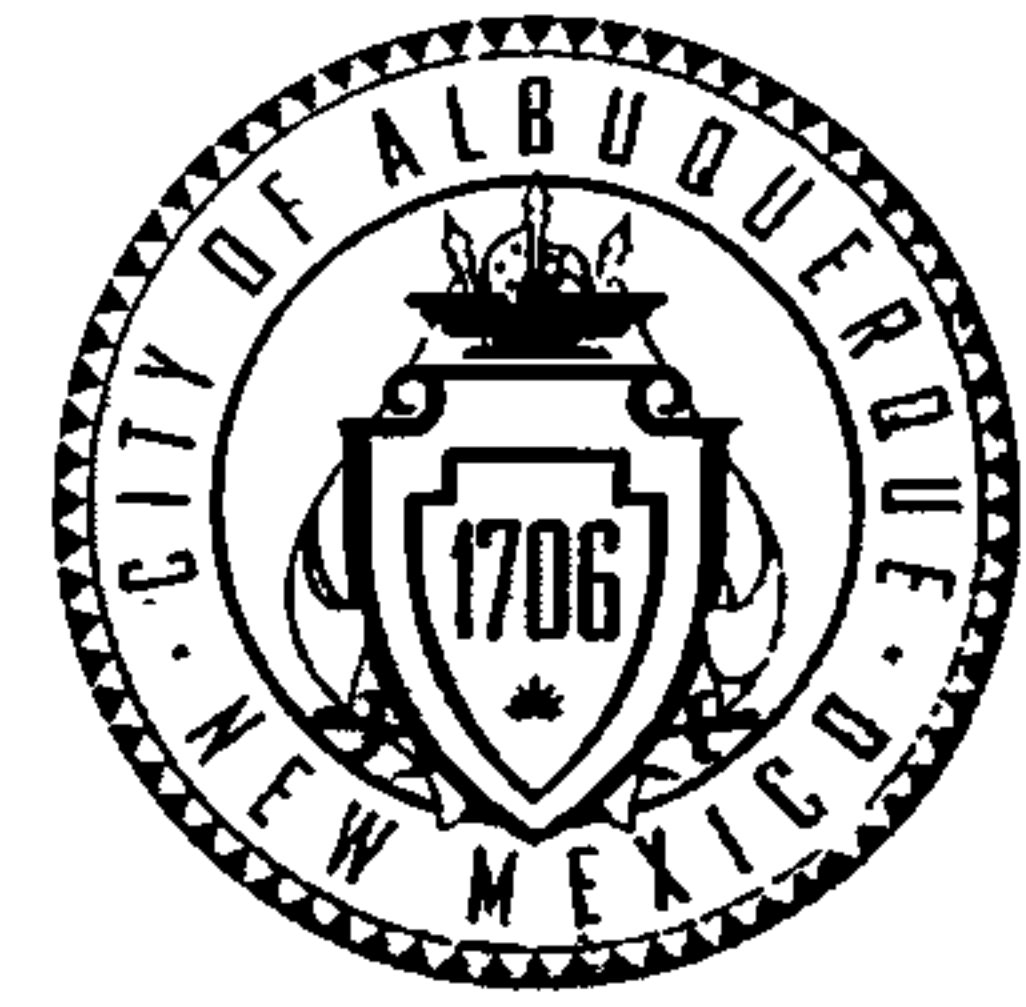
Sincerely,

Patricia Hancock, Principal



115 Amherst Drive SE
Albuquerque, NM 87106
T 505 255 8668 F 505 268 6665
www.SMPCarchitects.com

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

July 24, 2014

Patricia Hancock, R.A.
SPMC Architects
115 Amherst Dr SE
Albuquerque, NM 87104

Re: ACE Leadership High School, 1225 Sawmill Rd SW
Traffic Circulation Layout
Architect's Stamp dated 07-17-14 (J13-D099)

Dear Ms. Hancock,

The TCL submittal received 07-22-14 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC or other appropriate permit is required to construct these items.**

PO Box 1293

Albuquerque

New Mexico 87103

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

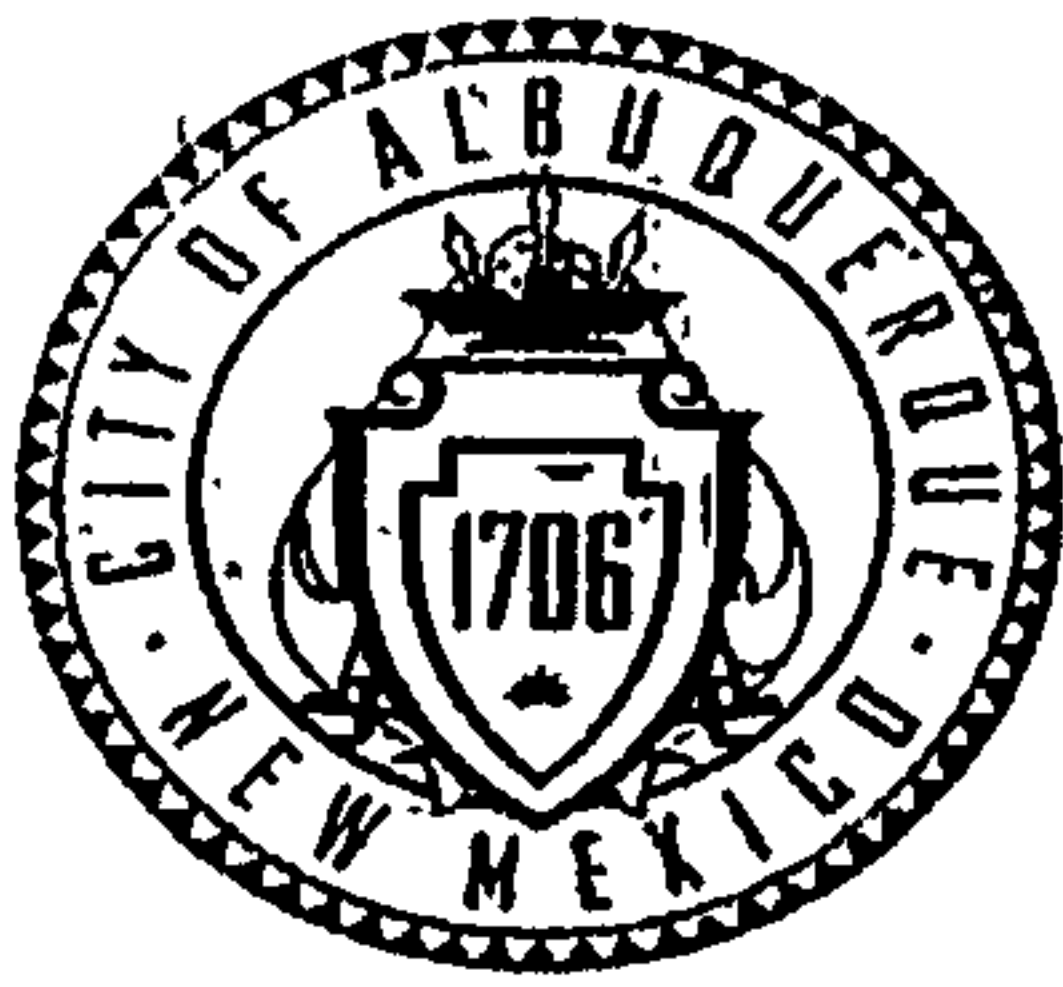
www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ACE LEADERSHIP HIGH SCHOOL Building Permit #: _____ City Drainage #: 1132099
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT # BIAZA, DUKE CITY LUMBER CO. 3 UPC # 101305317646812070
City Address: 1240 Bellematt Ave. ABQ NM 87104

Engineering Firm: BHI Contact: Glenn Broughton
Address: 7500 JEFFERSON ST NE
Phone#: 798-7872 Fax#: _____ E-mail: _____

Owner: ACE LEADERSHIP HIGH SCHOOL FOUNDATION Contact: _____
Address: 800-B 20th St. NW ABQ NM 87104
Phone#: _____ Fax#: _____ E-mail: _____

Architect: SMPC ARCHITECTS + D/P/S Contact: Patricia Hancock
Address: 115 AMHERST DR SE ABQ NM 87104
Phone#: 505-255-8668 Fax#: _____ E-mail: Phancock@smpcarchitects.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: STAR Construction Contact: Jason Revels
Address: 8912 ADAMS ST NE
Phone#: 823-1100 Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
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- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
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- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes _____ No _____ Copy Provided _____

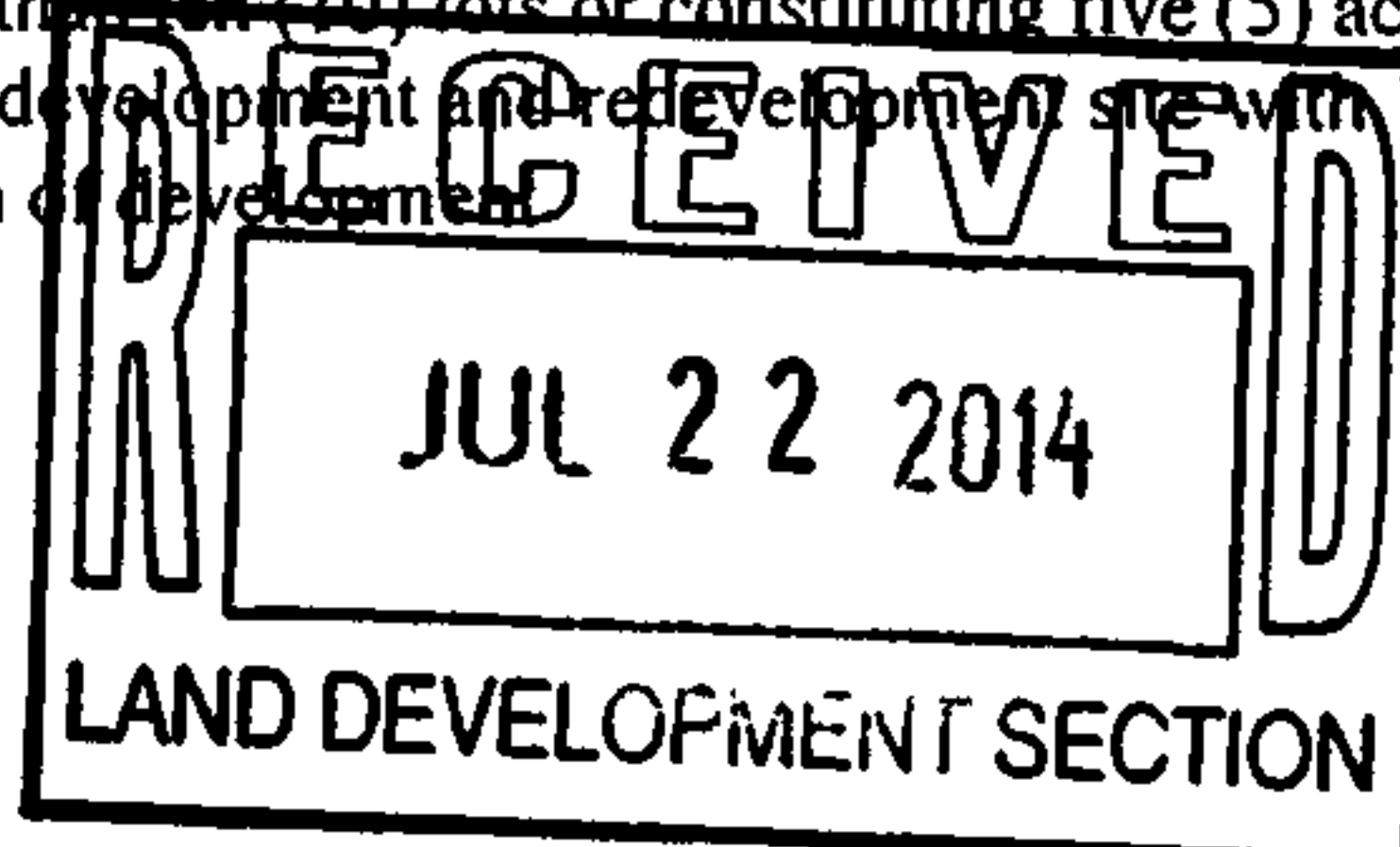
DATE SUBMITTED: July 2, 2014

By: JENNIFER FACIO

J. facio @ smpc
Jennifer.Facio@

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- 4 **Erosion and Sediment Control Plan** Required for any new development and redevelopment site with 1 acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

July 8, 2014

Patricia Hancock, R.A.
SPMC Architects
115 Amherst Dr SE
Albuquerque, NM 87104

**Re: Ace Leadership High School, 1225 Sawmill Rd SW
Traffic Circulation Layout
Architect's Stamp dated 07-01-14 (J13-D099)**

Dear Mrs. Hancock,

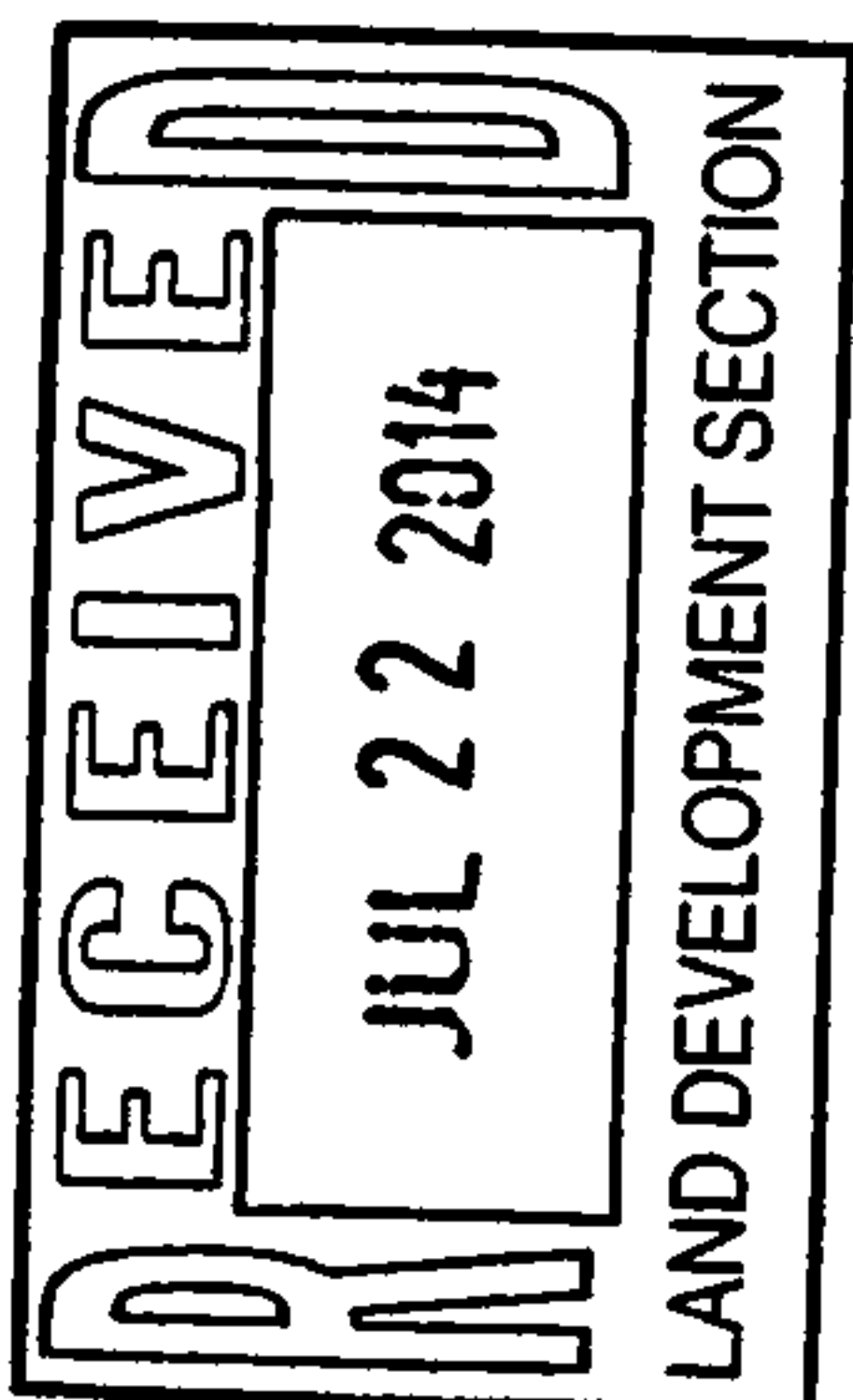
Based upon the information provided in your submittal received 07-03-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

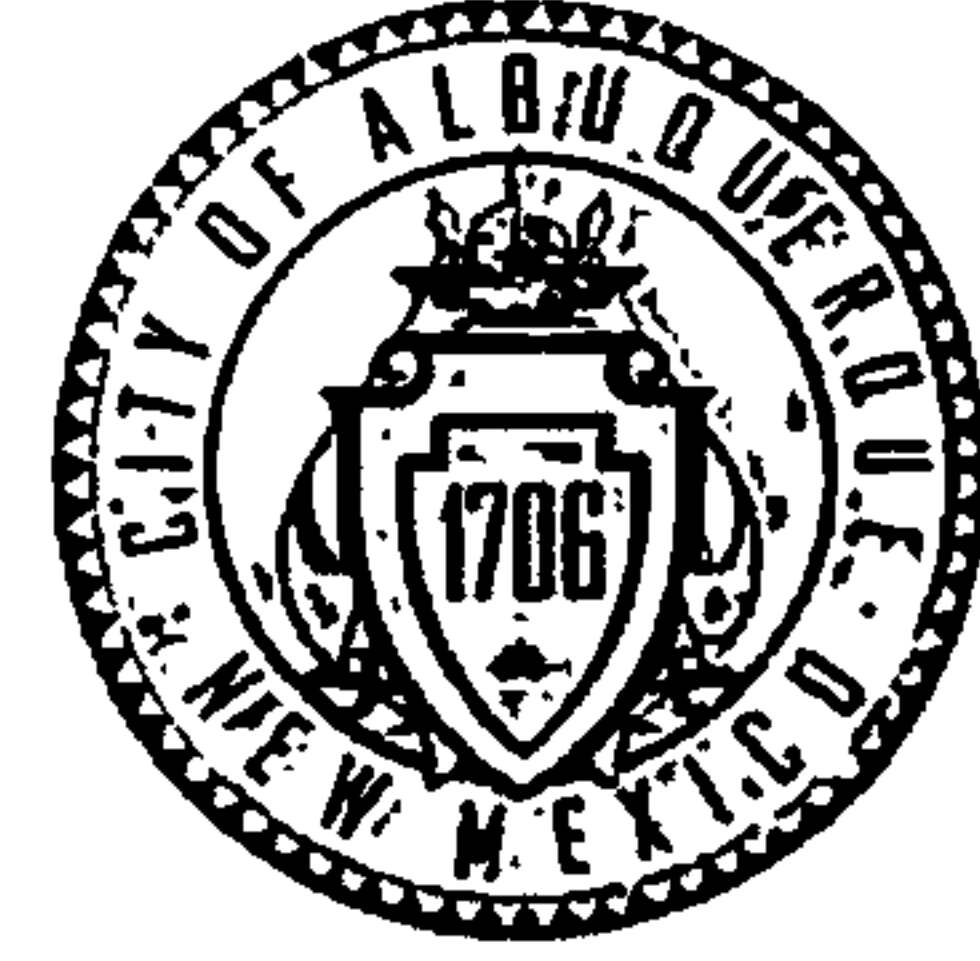
New Mexico 87103

www.cabq.gov



1. A Neighborhood Impact Assessment (NIA) is required per the City of Albuquerque Ordinance number 0-2014-002. Please schedule a scoping meeting for the NIA by calling Krystal Metro at 924-3991. Provide Description Project does not require curb cut-Perike Benton, Diane Dolan
2. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet, 2 additional radii required. Radius indicated in revision2 - no end island conditions.
3. Please show a vicinity map. Vicinity Map located on cover sheet. Included vicinity map on site plan
4. The handicapped spaces must be a minimum of 8.5 feet in width. Handicap spaces are 9'0"
5. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width. Van access aisle indicated in revision2
6. Add "No Parking" to all handicapped striping per current ADA regulations. "No Parking" is included in striping keynote. Rev.2
7. Please clarify on plan if the handicapped parking, west of the building, is at the same level at the sidewalk. Show all ADA accessible ramps. All ramps and signs are indicated AS-201, AS-501
8. Parking bumpers are required for all handicapped parking spaces, and also all parking stalls adjacent to the chain-link fence north of the building. Parking bumpers have been added -Rev 2 Bumpers at north side of site
9. Provide sheets AS100, AS201 and AS501 as they are referenced on the TCL. sheets provided- see set.
10. Show a detail of the wheelchair ramps located at the proposed driveways and pedestrian paths, or refer to the appropriate city standard. Supplementary sheets included ramps and signs indicated on AS-201, AS-501
11. List the width of the existing drive pads. There are no existing drive pads Overall Site Plan indicates connection
12. Will the emergency access gate on the east end of the property have a knox box? Clarify if this gate is a rolling gate or swinging gate. Emergency access gate on east end will have knox box-see set, gate is rolling per keynote.

CITY OF ALBUQUERQUE



13. Clarify all curbing with in the property.
all new curbs are indicated on site plan and detailed C-300, AS-501
14. Provide all traffic signage and striping required on property.
signage and striping see site plan revision 2 and AS-501
15. Clarify the right-of-way limitations of 15th St and Sawmill Rd as well as the residential road north of the property.
16. Call out where school bus pick-ups and drop offs will occur.
ACE does not have school bus pick up or drop off
17. Provide Solid Waste and Fire Marshall Approval prior to TCL approval.
See Set Approval from all other departments
18. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

c: File
CO Clerk
MAO

New Mexico 87103

www.cabq.gov

SMPCArchitects

PRINCIPLES OF DESIGN.

July 22, 2014

Shahab Biazar, PE, Acting City Engineer
Planning Department
Development Review Services
City of Albuquerque
600 2nd Street NW, Suite 201
Albuquerque, NM 87102

RE: ACE Leadership High School -1240 Bellamah Ave. NW
Neighborhood Impact Analysis (NIA)

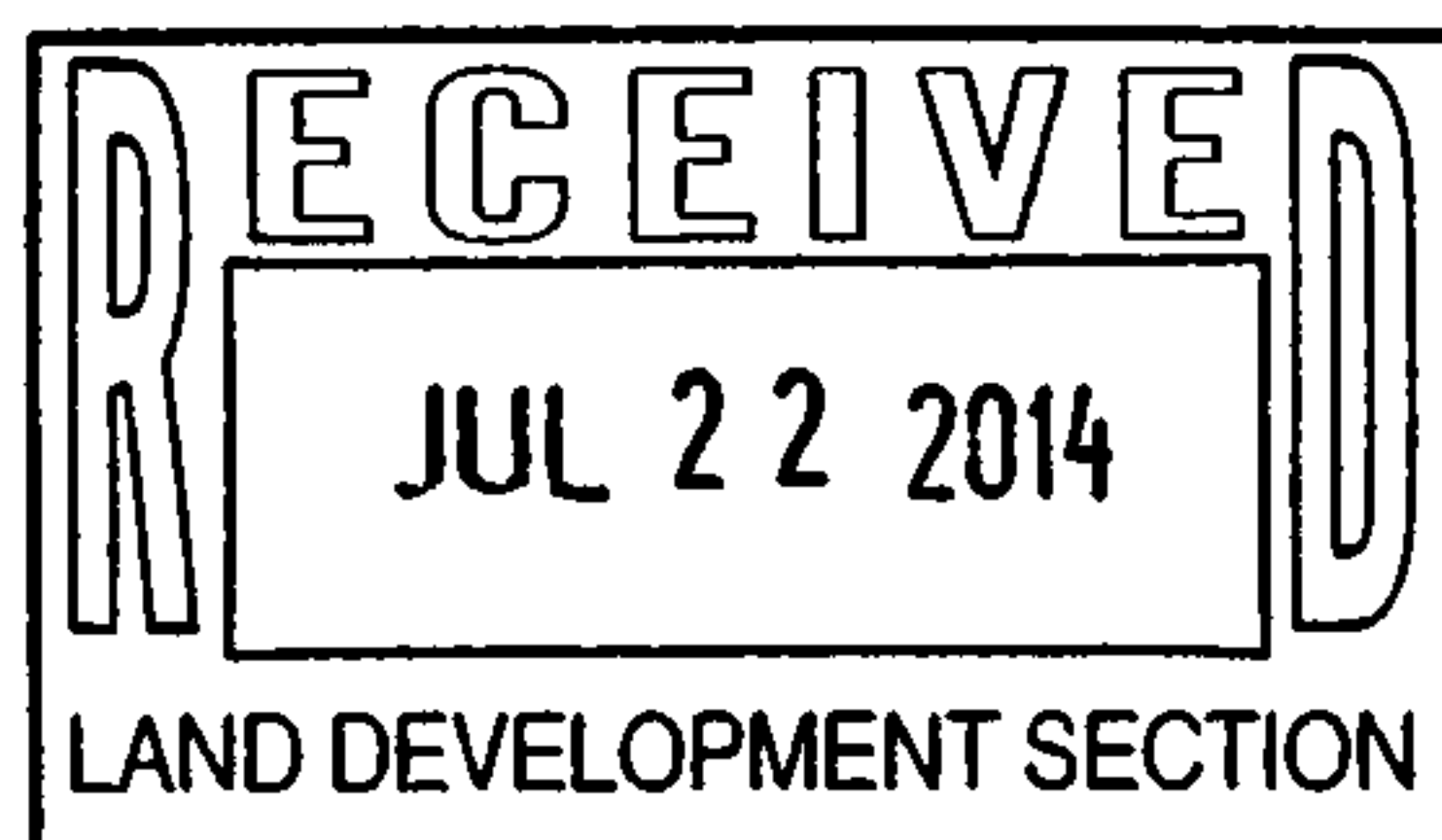
Dear Mr. Biazar:

Please consider this letter as justification for not requiring a NIA for the referenced project, in particular:

1. The City ordinance was amended earlier this year to and added the following language *(E) Curb-cut applications requesting access to a City right-of-way from a Public, Private, or Charter Schools, will not be approved until the Planning Director or designee, has approved a Neighborhood Impact Assessment ("NIA")*.
2. Our project, referenced project above, is not requesting a curb cut. The property will be accessed through an existing gate from Bellamah Avenue. This access has been in place for many years judging by the condition of the gate and adjacent fencing.
3. We understand from the ordinance that the application for a curb cut is the pre-requisite for the NIA, and as we are not applying for a curb cut, we should not be required to prepare a NIA.

ACE LHS arranged and conducted numerous public meetings with the Sawmill Neighborhood Association during the fall and winter 2013-14. The issues of pedestrian and vehicular access, egress and traffic were at the center of these meetings. Through mutual agreement with the neighborhood and adjacent property owners, ACE purchased additional property (Tract C) at great expense, and changed the proposed site access to Bellamah, with an emergency access point at the existing driveway on Sawmill Road. Subsequently, the adjacent property owners and neighborhood association representatives supported the replat at the DRB meeting in January of this year.

As additional background to our request, we include the following regarding the history and mission of ACE LHS.



115 Amherst Drive SE
Albuquerque, NM 87106
T 505 255 8668 F 505 268 6665
www.smpcarchitects.com

Description

ACE Leadership High School is a Public Charter High School. The Mission of ACE is to equip young people who love to design and build things to become leaders in the construction profession. ACE (Architecture, Construction and Engineering) serves young people who have limited means to have successful careers by caring for their intellectual, physical and well-being as students. ACE was established in 2009 has been housed in leased a facility in the Sawmill district. Sawmill is a historic neighborhood and the district has developed with a mixture of uses, including industrial. The new location is within close proximity to the existing location, near public and community services, and connected to public bus and bike routes. The design and development of ACE Leadership High School is a collaborative effort between SMPC Architects and Dekker/Perich/Sabatini.

The school replatted Tract A, B, C, and D of Lot B-1- A-3-A, Block 00, Duke City Lumber Company Subdivision, and purchased Tract B, C and D. Tracts B and C carry an SU-1 zone classification. The project scope includes development of Tract B with 23,000 square feet of classroom space, indoor, outdoor shops pace and student based health center on approximately 4.07 acres of property. 48 Parking Spaces are required, 3 Handicap, 3 Motorcycle spaces are required and provided. 8 Bicycle spaces are required and provided. Plans have Fire Marshal and Solid Waste approval. Tract B is accessed from Bellamah Avenue through Tract C. ACE will maintain Tract C with minimal improvement until further development of the site is warranted, at which time plans will be submitted to the City for review. Tract D has been replatted as a residential lot, accessed solely from 15th Street.

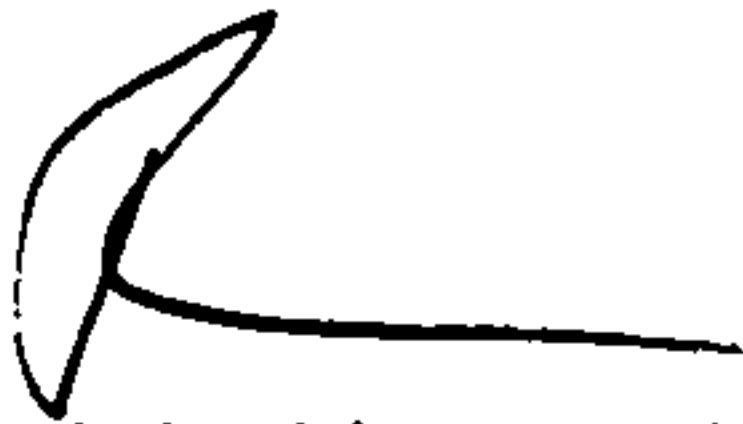
Community Data

The school and design team have participated in numerous community /neighborhood meetings in an effort to identify and understand the impacts the school may have on the existing neighborhood; including but not limited to, pedestrian and vehicular traffic, noise, lights, safety and security, overall enhancement and improvement to the site and the community. The original design had the main entrance off of Sawmill road and the emergency vehicular access off of 15th. It was determined, after many conversations with the neighborhood that this was not acceptable. The school then purchased an additional tract of land to the north, at a considerable cost, in an effort to gain access from Bellamah. There will be no access to 15th street. Access to Sawmill is in case of emergency only. There will be a locked rolling gate at Sawmill, with Knox Box for Fire Department. The public and other meetings are well documented as part of the replat process.

Neighborhood Impact

Pedestrian /bicycle access is being provided along the entry route from Bellamah to the school. Existing Public transportation is located along Sawmill and 12 Street. Any impact to the neighborhood has been discussed at great length with the community in an open forum and changes were made to the site layout based on those conversations. The school has positioned parking spaces and any through traffic away from houses and agreed to build an 8' high masonry wall as a privacy screen between the school and houses (in lieu of the required 6' high wall). A transportation survey of students taken over the last several years has determined that the majority of ACE students take the city bus, walk, ride bikes or skateboard to school. A large number of ACE students live close to the new site, allowing these alternative modes of transportation to become a viable option. There is no school bus available, therefore, no bus lane and drop off pick up is required. Per the Sawmill comprehensive sector development plan we understand the vision of a well thought out transportation plan. ACE is striving to not only provide a positive impact on the neighborhood but also contribute to a more walkable, multi- modal Albuquerque that reduces environmental impact of the single-occupancy automobile dependence.

Thank you for your consideration of our request.

A handwritten signature in black ink, appearing to be 'Patricia Hancock', written in a cursive style.

Patricia Hancock, AIA
Principal

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

July 8, 2014

Patricia Hancock, R.A.
SPMC Architects
115 Amherst Dr SE
Albuquerque, NM 87104

Re: Ace Leadership High School, 1225 Sawmill Rd SW
Traffic Circulation Layout
Architect's Stamp dated 07-01-14 (J13-D099)

Dear Mrs. Hancock,

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PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- ~~1. A Neighborhood Impact Assessment (NIA) is required per the City of Albuquerque Ordinance number 0-2014-002. Please schedule a scoping meeting for the NIA by calling Kristal Metro at 924-3991.~~ Existing Access (see 07-22-14 SMC letter)
2. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
3. ✓ Please show a vicinity map.
4. ✓ The handicapped spaces must be a minimum of 8.5 feet in width.
5. ✓ The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
6. Add "No Parking" to all handicapped striping per current ADA regulations.
7. Please clarify on plan if the handicapped parking, west of the building, is at the same level at the sidewalk. Show all ADA accessible ramps.
8. ✓ Parking bumpers are required for all handicapped parking spaces, and also all parking stalls adjacent to the chain-link fence north of the building.
9. Provide sheets AS100, AS201 and AS501 as they are referenced on the TCL.
10. Show a detail of the wheelchair ramps located at the proposed driveways and pedestrian paths, or refer to the appropriate city standard.
11. List the width of the existing drive pads.
12. Will the emergency access gate on the east end of the property have a knox box? Clarify if this gate is a rolling gate or swinging gate.

Jennifer A. Facio

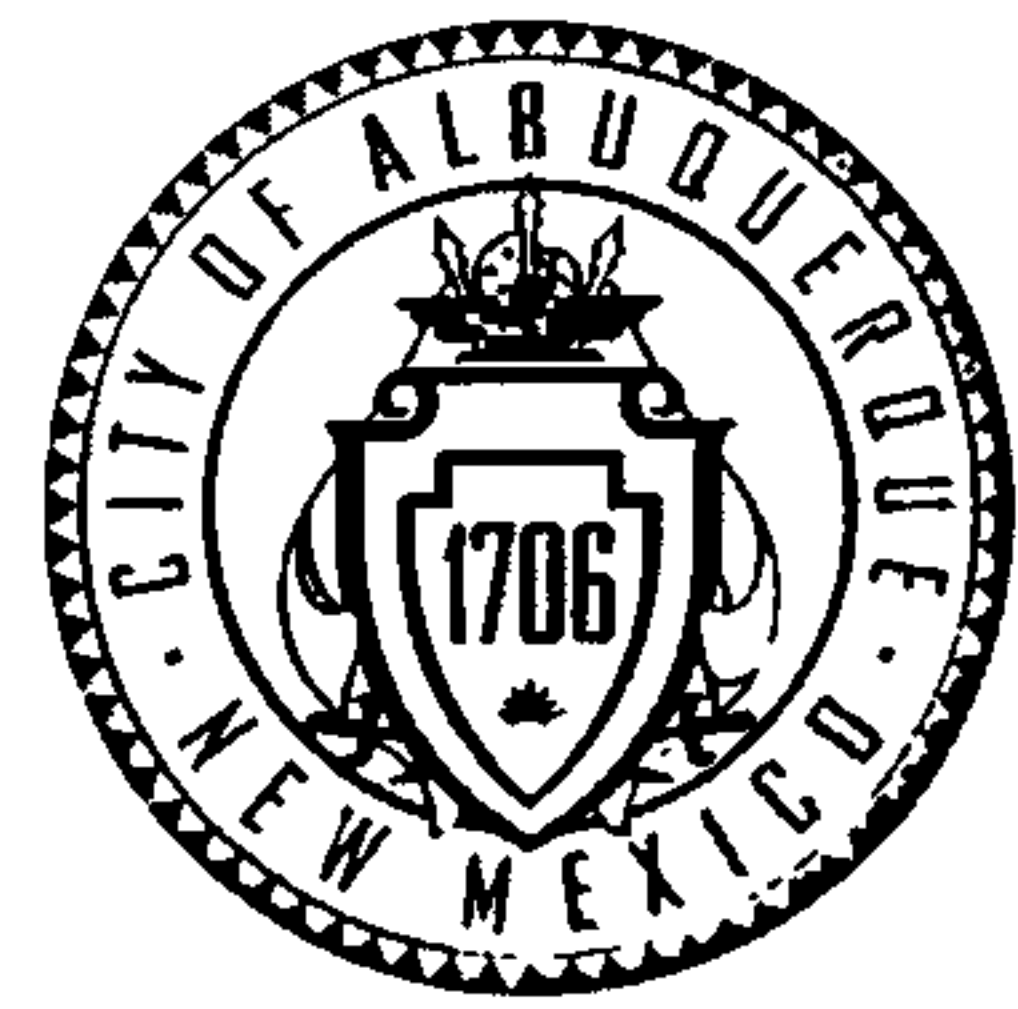
AIA

Associate / Architect

115 Amherst Drive SE
Albuquerque, NM 87106
T 505 255 8668 F 505 268 6665
E j.facio@smpcarchitects.com

www.smpcarchitects.com

CITY OF ALBUQUERQUE



13. Clarify all curbing with in the property.
14. Provide all traffic signage and striping required on property.
15. Clarify the right-of-way limitations of 15th St and Sawmill Rd as well as the residential road north of the property.
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Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

c: File
CO Clerk
MAO

www.cabq.gov