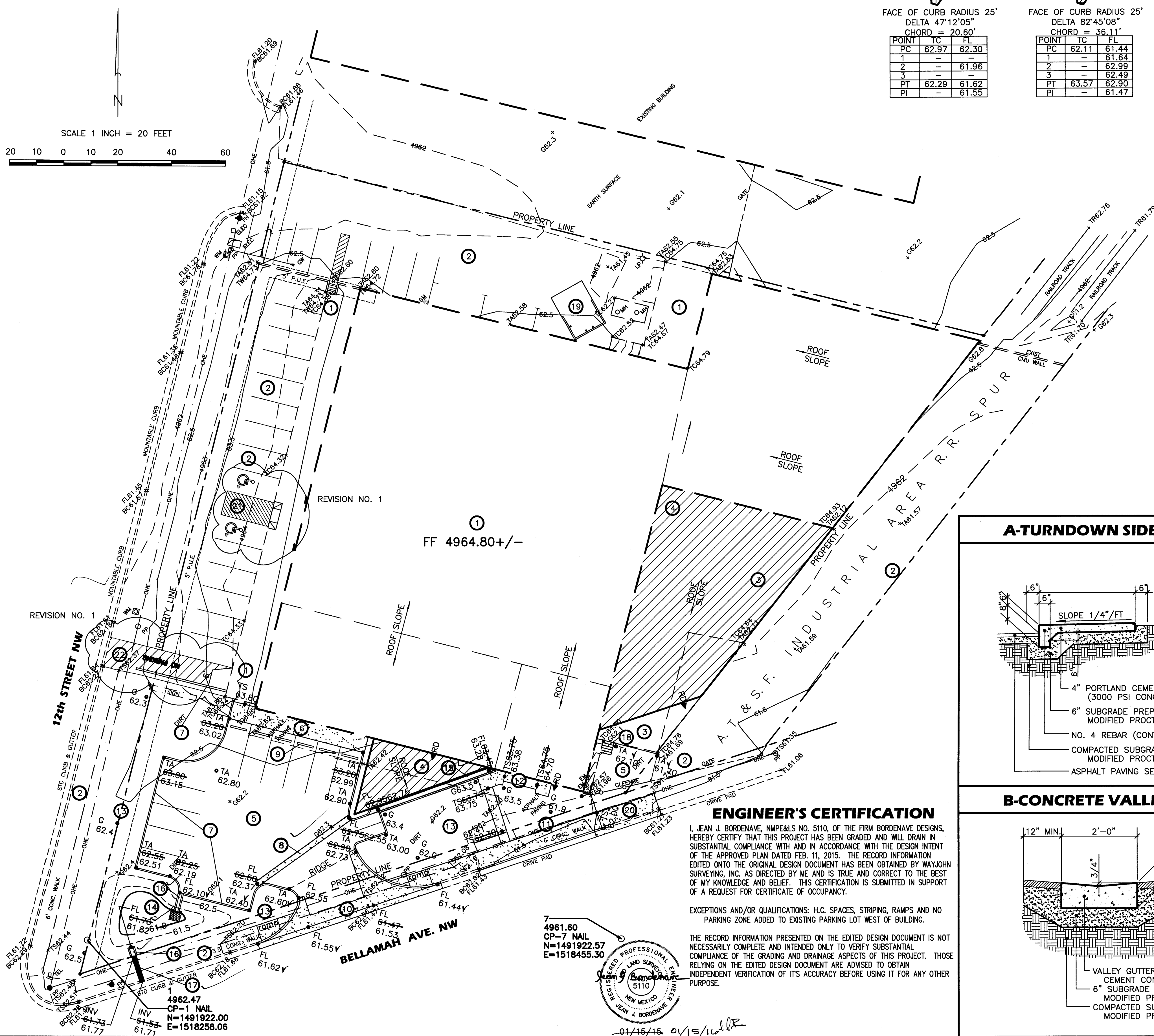


GRADING PLAN



DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	in.	cfs/acre	cu. ft.	cfs
EXISTING	10	A	0	0.13	0.38	0	0.00
		B	0	0.28	0.95	0	0.00
		C	8925	0.52	1.71	387	0.35
		D	44756	1.34	3.14	4998	3.23
		TOTAL	53681			5385	3.58
DEVELOPED SITE	100	A	0	0.53	1.56	0	0.00
		B	0	0.78	2.28	0	0.00
		C	8925	1.13	3.14	840	0.64
		D	44756	2.12	4.7	7907	4.83
		TOTAL	53681			8747	5.47
POND	100	A	0	0.13	0.38	0	0.00
		B	4111	0.28	0.95	96	0.09
		C	87	0.52	1.71	4	0.00
		D	49479	1.34	3.14	5525	3.57
		TOTAL	53677			5625	3.66
CHANNEL	100	A	0	0.53	1.56	0	0.00
		B	4111	0.78	2.28	267	0.22
		C	87	1.13	3.14	8	0.01
		D	49479	2.12	4.7	8741	5.34
		TOTAL	53677			9017	5.56

POND FOR INITIAL RUNOFF RETENTION

INLET (BROAD CRESTED WEIR) See pond flow data at left
 $Q = CL(H^{1.5})$, where $C=1.00$ cfs, $L=2.8$ & $H=0.40$ ft.
 therefore $L = 1.41$ ft. USE 18" WIDE ENTRANCE CHANNEL

POND REQUIRED
 NEW IMPERVIOUS AREA CREATED = 6214 sf
 VOLUME = $(6214)(0.44-0.10)/12 = 176$ cf

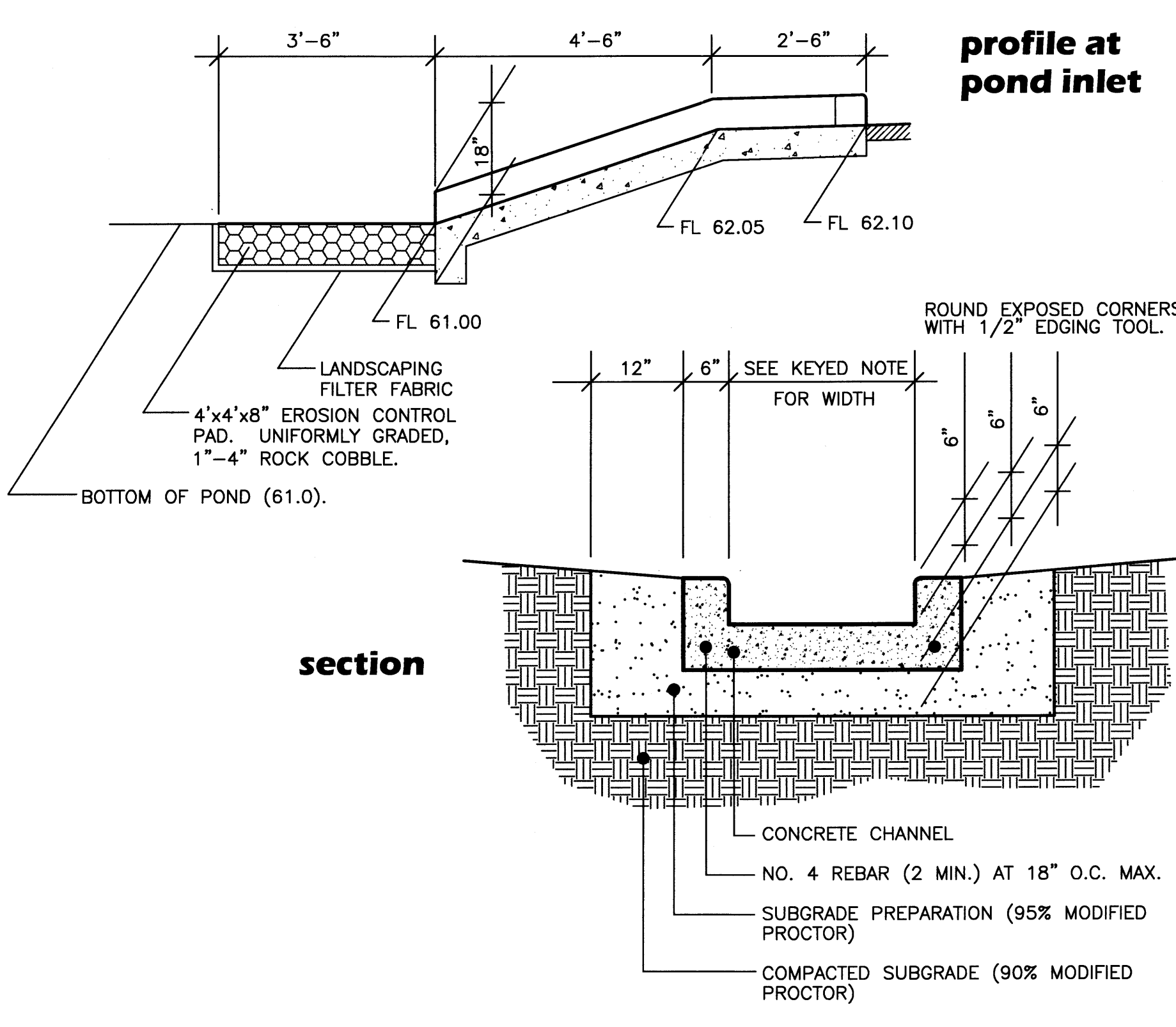
PROVIDED
 ELEVATION AREA VOLUME
 61.0 249 179 cf
 61.5 468 179 cf

BALANCE OF RUNOFF TO POND (DURING A 100 YEAR STORM) IS ROUTED, VIA SIDEWALK CULVERT, TO STREET.

CHANNEL FLOW FROM ROOF

RECTANGULAR CHANNEL ALONG BUILDING
 $Q = 1.49A(R^{0.67})(S^{0.50})/n$, where $Q=0.46$ cfs,
 $S=0.0130'$, $n=0.013$
 USE $B=1.0$ ft, therefore $D=0.19$ ft & $V=2.4$ fps

D-CONCRETE CHANNEL



KEYED NOTES

- EXISTING BUILDING, SIDEWALK AND DOCK TO REMAIN.
- EXISTING ASPHALT SURFACE OR SIDEWALK TO REMAIN.
- REMOVE EXISTING CONCRETE DOCK AND CONSTRUCT NEW DOCK.
- NEW BUILDING (HATCHED AREA). MATCH EXISTING BUILDING FLOOR ELEV.
- NEW ASPHALT PARKING AREA. SEE PAVING DETAIL 'E' THIS SHEET. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW CONCRETE TURNDOWN SIDEWALK. SEE DETAIL 'A' THIS SHEET. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW CONCRETE HEADER CURB. SEE DETAIL 'C' THIS SHEET. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW VALLEY GUTTER. SEE DETAIL 'B' THIS SHEET.
- NEW CONCRETE PARKING BUMPERS.
- NEW PRIVATE ENTRANCE DETAIL w/ 25' OPENING. SEE COA STD. DET. 2426.
- REMOVE EXISTING DRIVE PAD AND ON SITE ASPHALT PAVING. BUILD NEW STANDARD CURB & GUTTER PER COA STD. DET. 2415A AND 6' SIDEWALK PER COA STD. DET.
- NEW CONCRETE RAMP AND LANDINGS. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW LANDSCAPING. SEE LANDSCAPING PLAN. NOTE: FINISHED GRADE OF LANDSCAPED AREAS (WITHIN 5' OF THE ADJUTING CURB OR WALK) SHALL BE DEPRESSED AT LEAST 1" BELOW THE ADJUTING CURB OR WALK.
- NEW INITIAL RUNOFF RETENTION POND.
- NEW 12" CONCRETE CHANNEL. SEE DETAIL 'D' THIS SHEET.
- NEW 18" CONCRETE CHANNEL. SEE DETAIL 'D' THIS SHEET.
- NEW 18" SIDEWALK CULVERT PER COA STD. DET. 2236. INLET INV. 61.73, OUTLET INV. 61.53.
- NEW CONCRETE STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW REFUSE ENCLOSURE. SEE TRAFFIC CIRCULATION LAYOUT FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING SIDEWALK AND C&G. EXTEND EXISTING DRIVEPAD 22.2' WEST. MATCH SLOPE AND WIDTH OF EXISTING DRIVEPAD.
- REVISE STRIPING, INSTALL WALL MOUNTED H.C. SIGNS AND CONSTRUCT H.C. RAMP.
- REVISE STRIPING, PAINT 'NO PARKING' AND ADD H.C. RAMP.

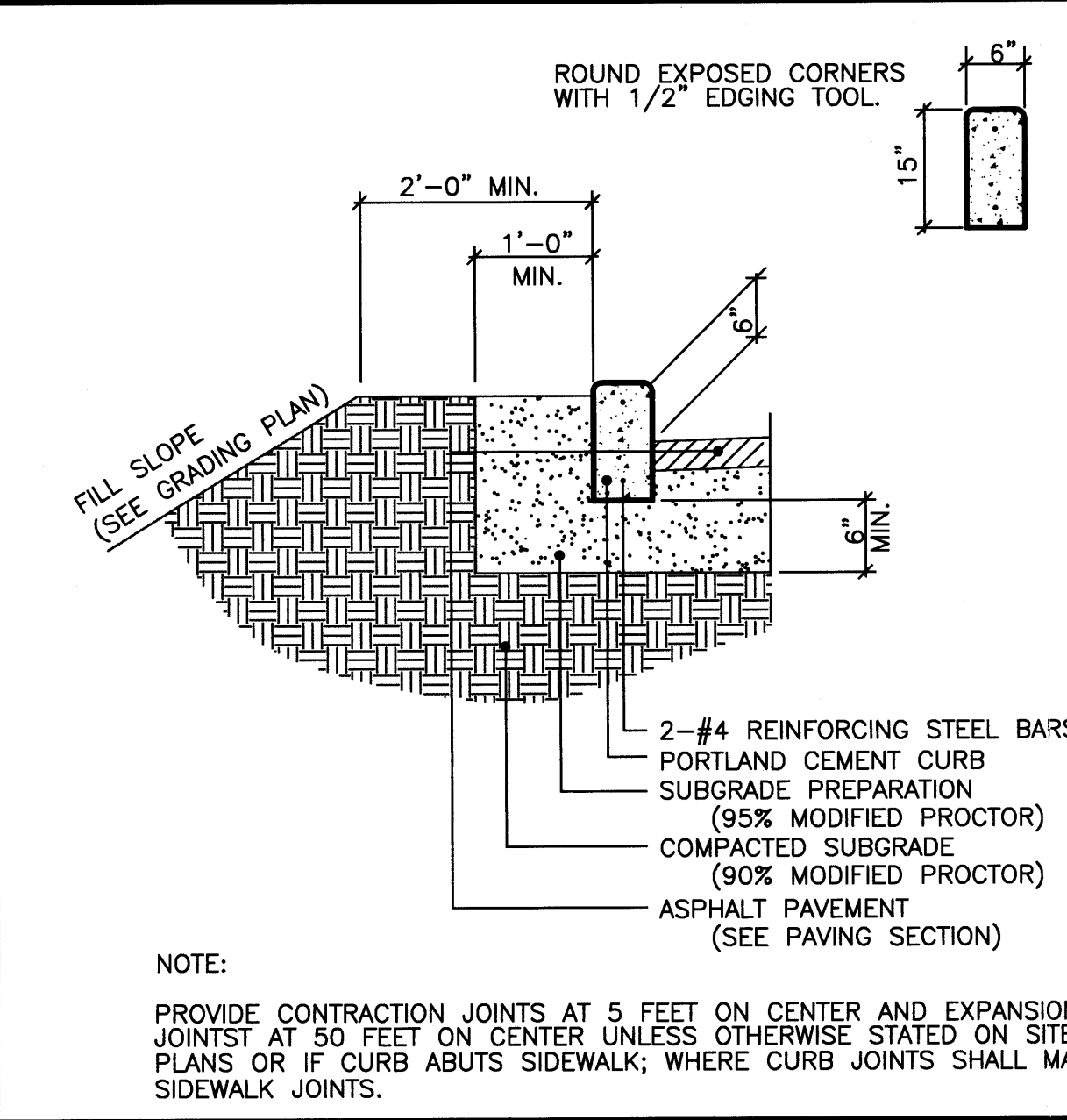
GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 280-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

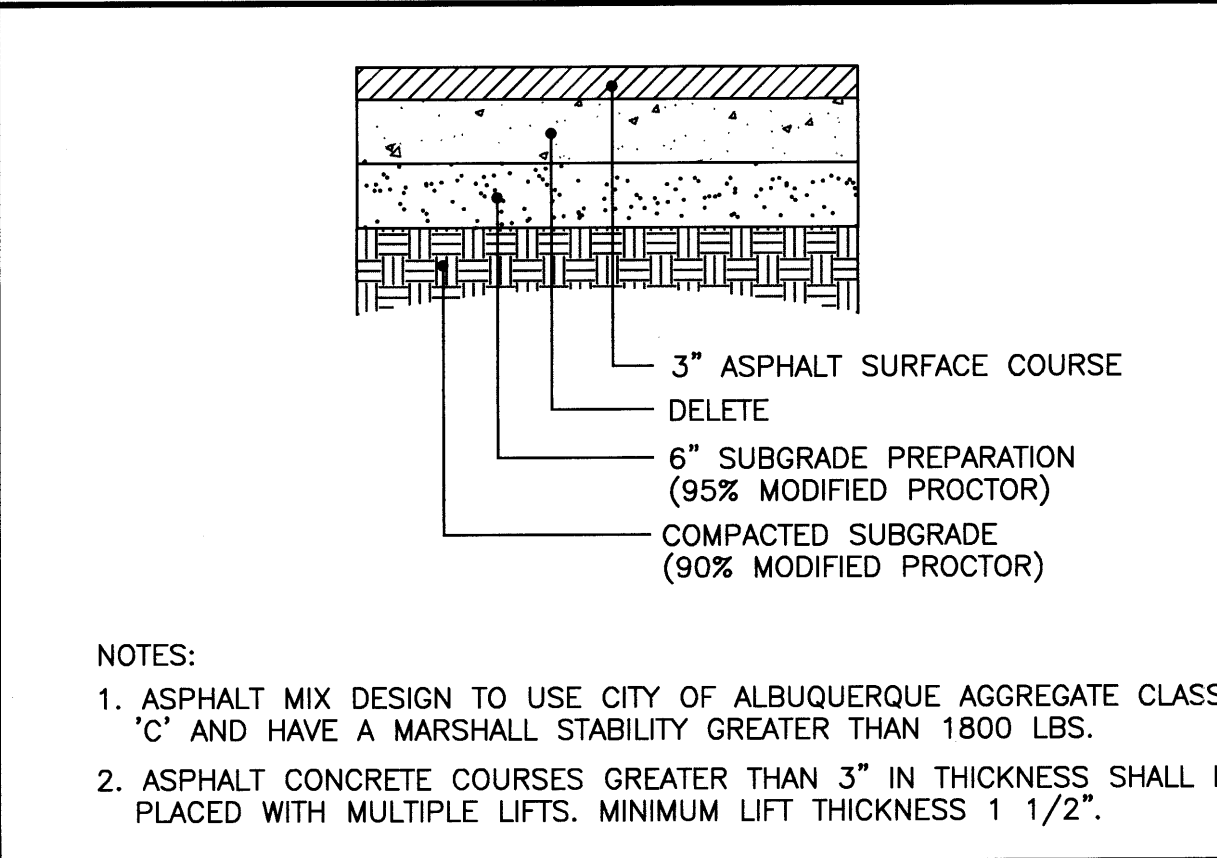
EROSION CONTROL NOTES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERM OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL, DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

C-HEADER CURB



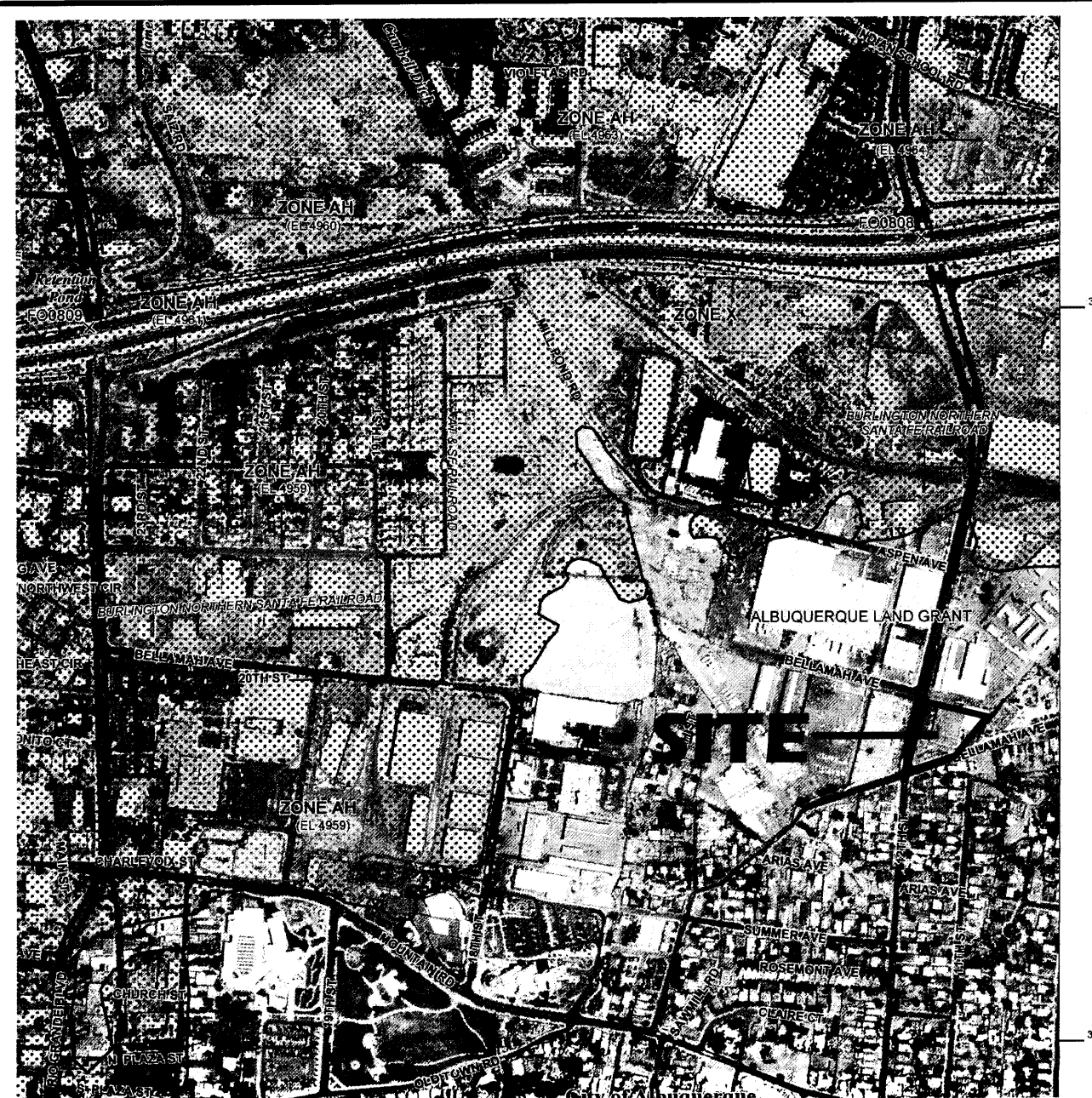
E-ASPHALT PAVEMENT (LIGHT DUTY)



VICINITY MAP J-13



FEMA FIRM PANEL NO. 331H



LEGAL DESCRIPTION

LOT 2, LANDS OF CLARE W. DREYER & GORMAN ENGINEERING COMPANY

PERMANENT BENCHMARK

ACS 17-J14 ELEVATION 4957.484 (NAVD 1988)

LEGEND

TBM	TEMPORARY BENCHMARK	GM	GAS MATER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD	SCUPPER OR CANALE
TP	TOP OF EARTH PAD		EXISTING TOPO OBJECT
TS	TOP OF SIDEWALK		PROPOSED TOPO OBJECT
TW	TOP OF WALL		EXISTING 1' CONTOUR
FH	FIRE HYDRANT		EXISTING 0.5' CONTOUR
WM	WATER METER		EXISTING SPOT ELEVATION
WV	WATER VALVE		PROPOSED SPOT ELEVATION
MH	MANHOLE		RECORD SPOT ELEVATION
CB	CATCH BASIN GRATE		INDICATES RECORD WITHIN CONSTRUCTION TOLERANCE

DRAINAGE NOTES

- THE SITE IS PRESENTLY DEVELOPED AS A COMMERCIAL ESTABLISHMENT. THE EXISTING BUILDING IS TO REMAIN AND THE REAR DOCK WILL BE RAZED. THE BUILDING WILL BE EXPANDED AND A NEW DOCK WILL BE CONSTRUCTED IN THE AREA OF THE RAZED DOCK. IN ADDITION THE BUILDING WILL BE EXPANDED, ADDITIONAL PARKING WILL BE PROVIDED AND AN ACCESSIBLE FIRE EXIT WILL BE CONSTRUCTED IN THE PRESENTLY VACANT PORTION OF THE LOT ON THE SOUTH SIDE OF THE EXISTING BUILDING.
- A POND WILL BE CONSTRUCTED TO RETAIN FIRST FLUSH RUNOFF FROM THE IMPERVIOUS PORTION OF THE NEW DEVELOPMENT. A PORTION OF THE EXISTING BUILDING ROOF RUNOFF WILL BE ROUTED THROUGH THE POND AS WELL. FLOWS IN EXCESS OF THE RETENTION REQUIREMENT WILL BE ROUTED TO BELLAMAH AVE. VIA A SIDEWALK CULVERT.
- THE SITE IS LOCATED IN RAINFALL ZONE 2. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF VOLUMES AND FLOW RATES DUE TO ADDITIONAL DEVELOPMENT. THE INCREASE IN THE 6 HOUR RUNOFF VOLUMES FOR THE 10 YEAR AND 100 YEAR STORMS ARE 240 AND 270 CUBIC FEET AND FLOW RATES OF 0.08 AND 0.09 CFS RESPECTIVELY. SEE TABLE AT BELOW LEFT FOR CALCULATIONS.
- THE SITE IS LOCATED IN AN AREA DESIGNATED 'ZONE X' PER FEMA FIRM MAP NO. 331H, DATED AUGUST, 2012.
- EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY WAYJOHN SURVEYING, INC. IN SEPTEMBER, 2014.

REVISIONS

NO.	DATE	BY
1	01/04/16	JUB

BORDENAVE DESIGNS

1330 12TH STREET NW
ALBUQUERQUE, NM 87104
TEL: 505-261-8812
J.bordenave@bordenavedesigns.com

02/11/15

PERMIT/BID SET
01/15/2015

RECEIVED
JAN 20 2015
LAND DEVELOPMENT SECTION

GORMAN WAREHOUSE AND WORKSHOP

1330 12TH STREET NW
ALBUQUERQUE, NM 87104

DRW: JUB

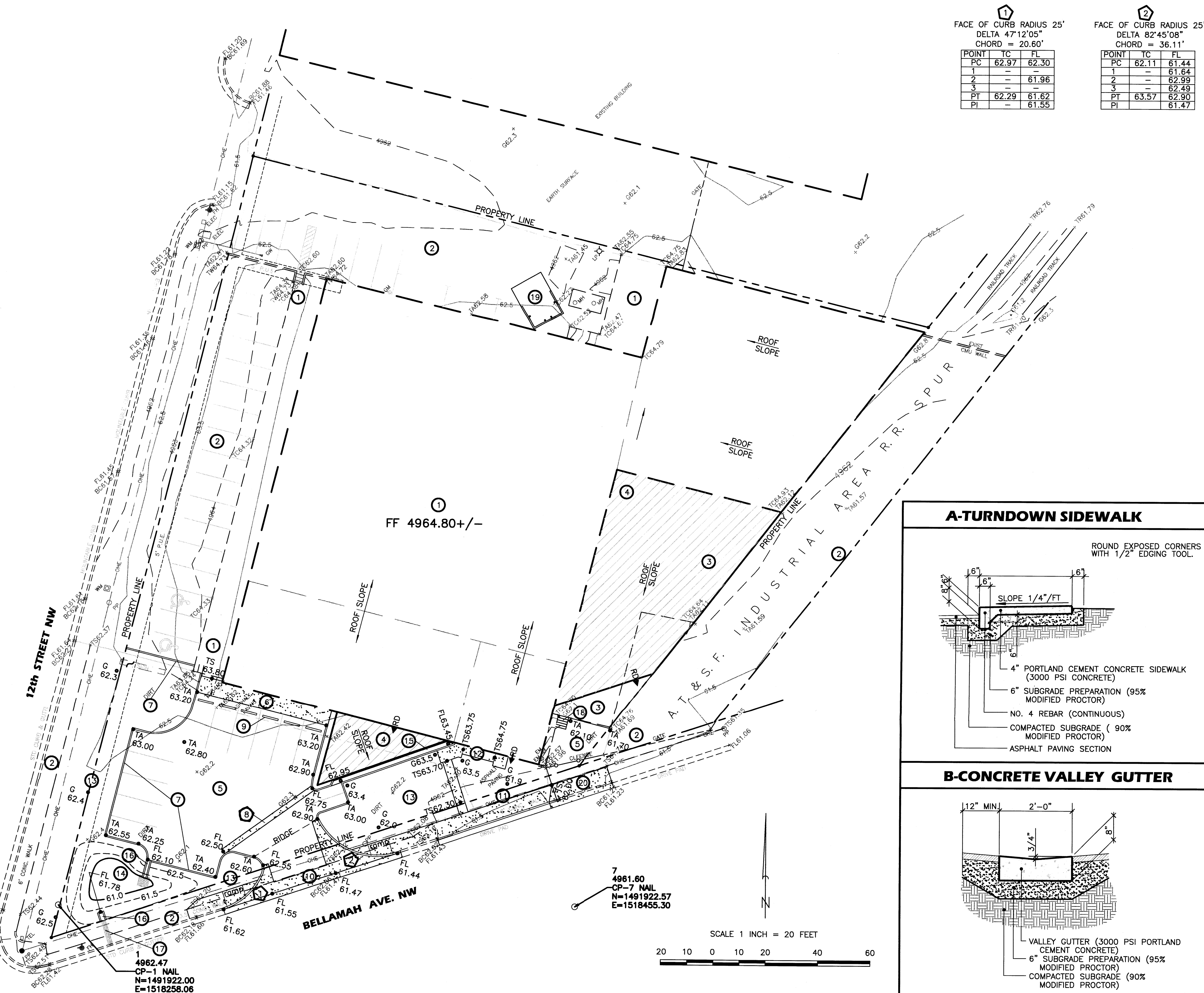
CHECKED: JUB

DATE: 02/11/15

SCALE: 14-15

SHEET: 57

GRADING PLAN



DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	(table 8)	(table 9)	cu. ft.	cfs
EXISTING	10	A	0	0.13	0.38	0	0.00
		B	0	0.28	0.95	0	0.00
		C	8925	0.52	1.71	387	0.35
		D	44756	1.34	3.14	4998	3.23
		TOTAL	53681			5385	3.58
	100	A	0	0.53	1.56	0	0.00
		B	0	0.78	2.28	0	0.00
		C	8925	1.13	3.14	840	0.64
		D	44756	2.12	4.7	7907	4.83
		TOTAL	53681			8747	5.47
DEVELOPED	10	A	0	0.13	0.38	0	0.00
		B	4111	0.28	0.95	96	0.09
		C	87	0.52	1.71	4	0.00
		D	49479	1.34	3.14	5525	3.57
		TOTAL	53677			5625	3.66
	100	A	0	0.53	1.56	0	0.00
		B	4111	0.78	2.28	267	0.22
		C	87	1.13	3.14	8	0.01
		D	49479	2.12	4.7	8741	5.34
		TOTAL	53677			9017	5.56
POND	100	A	0	0.53	1.56	0	0.00
		B	1231	0.78	2.28	80	0.06
		C	0	1.13	3.14	0	0.00
		D	9215	2.12	4.7	1628	0.99
		TOTAL	10446			1708	1.06
CHANNEL	100	D	4280	2.12	4.7	756	0.46

POND FOR INITIAL RUNOFF RETENTION

INLET (BROAD CRESTED WEIR) See pond flow data at left.
 $Q = C_L(H^{1.5})$, where $Q=1.06$ cfs, $C=2.8$ & $H=0.40$ ft.
 therefore $L = 1.41$ ft. USE 18" WIDE ENTRANCE CHANNEL.

POND
 REQUIRED
 NEW IMPERVIOUS AREA CREATED = 6214 sf
 VOLUME = $(6214)(0.44-0.10)/12 = 176$ cf

PROVIDED
 ELEVATION AREA VOLUME
 61.0 249 179 cf
 61.5 468

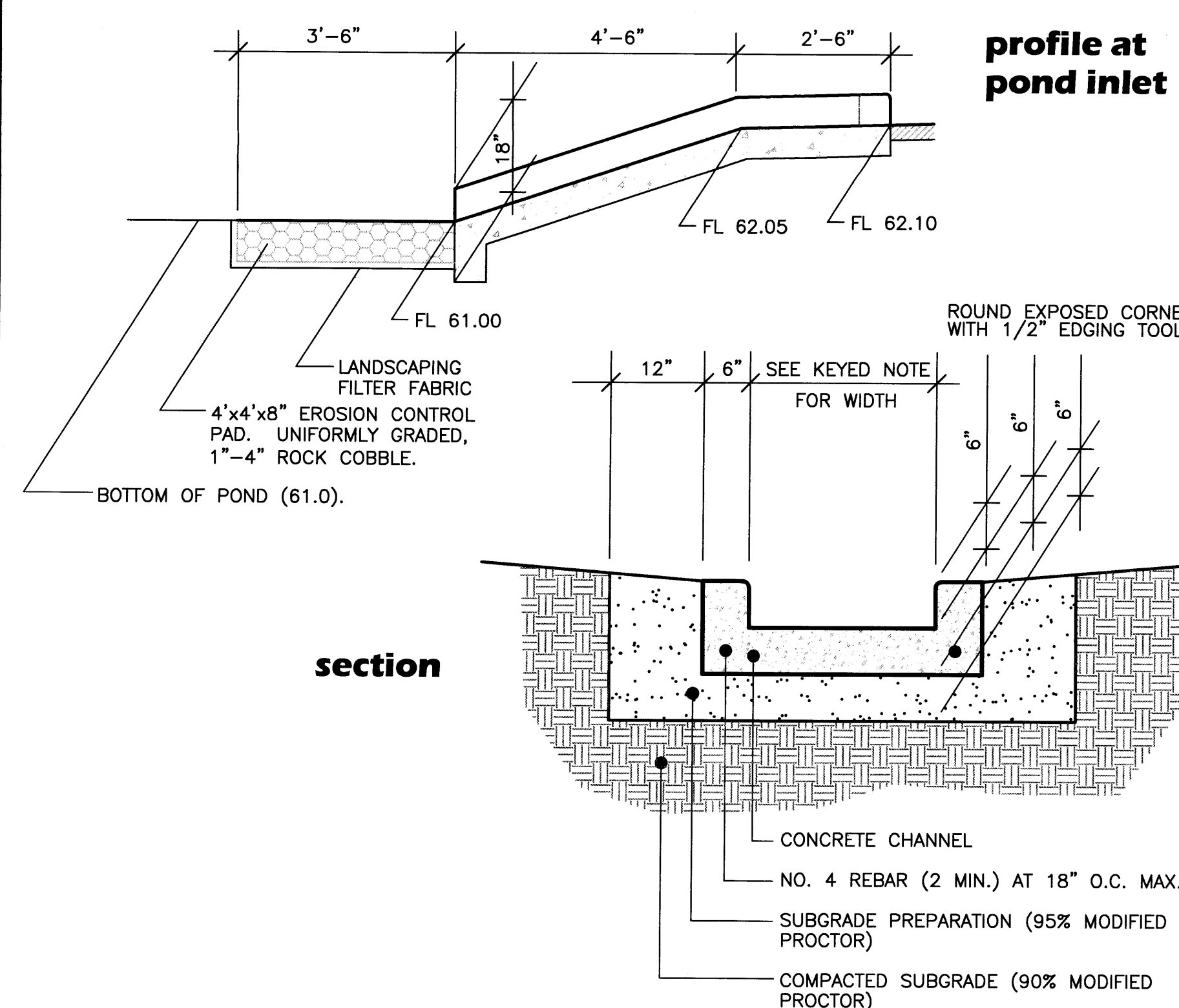
BALANCE OF RUNOFF TO POND (DURING A 100 YEAR STORM) IS ROUTED, VIA SIDEWALK CULVERT, TO STREET.

OUTLET (BROAD CRESTED WEIR) See pond flow data at left.
 $Q = C_L(H^{1.5})$, where $Q=1.06$ cfs, $C=2.8$ & $H=0.40$ ft.
 therefore $L = 1.49$ ft. USE 18" WIDE CHANNEL & SIDEWALK CULVERT.

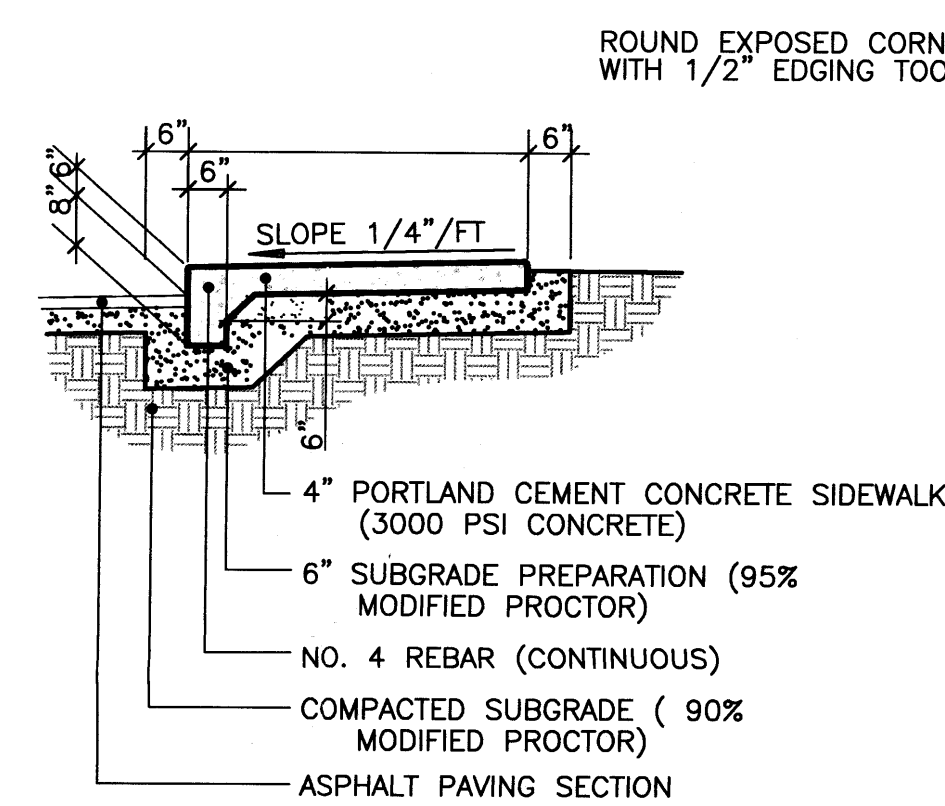
CHANNEL FLOW FROM ROOF

RECTANGULAR CHANNEL ALONG BUILDING
 $Q = 1.49A(R^{0.67})(S^{0.050})/n$, where $Q=0.46$ cfs,
 $S=0.0130'$, $n=0.013$
 USE $B=1.0$ ft, therefore $D=0.19$ ft & $V=2.4$ fps

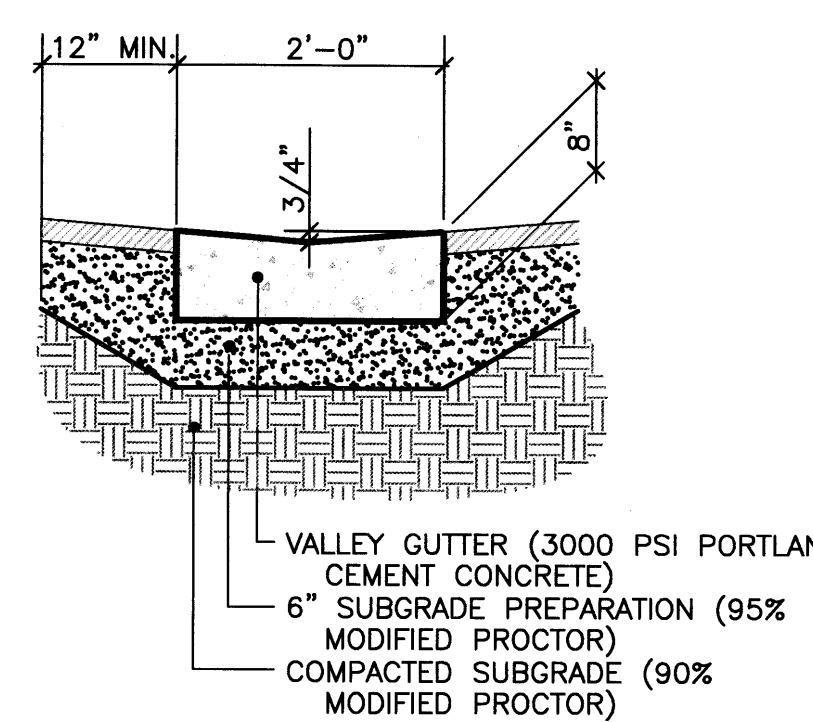
D-CONCRETE CHANNEL



A-TURNDOWN SIDEWALK



B-CONCRETE VALLEY GUTTER



KEYED NOTES

- EXISTING BUILDING, SIDEWALK AND DOCK TO REMAIN.
- EXISTING ASPHALT SURFACE OR SIDEWALK TO REMAIN.
- REMOVE EXISTING CONCRETE DOCK AND CONSTRUCT NEW DOCK.
- NEW BUILDING (HATCHED AREA). MATCH EXISTING BUILDING FLOOR ELEV.
- NEW ASPHALT PARKING AREA. SEE PAVING DETAIL 'E' THIS SHEET. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW CONCRETE TURNDOWN SIDEWALK. SEE DETAIL 'A' THIS SHEET. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
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- NEW VALLEY GUTTER. SEE DETAIL 'B' THIS SHEET.
- NEW CONCRETE PARKING BUMPERS.
- NEW PRIVATE ENTRANCE DETAIL w/ 25' OPENING. SEE COA STD. DET. 2426.
- REMOVE EXISTING DRIVE PAD AND ONSITE ASPHALT PAVING. BUILD NEW STANDARD CURB & GUTTER PER COA STD. DET. 2415A AND 6' SIDEWALK PER COA STD. DET.
- NEW CONCRETE RAMP AND LANDINGS. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW LANDSCAPING. SEE LANDSCAPING PLAN. NOTE: FINISHED GRADE OF LANDSCAPED AREAS (WITHIN 5' OF THE ADJUTING CURB OR WALK) SHALL BE DEPRESSED AT LEAST 1" BELOW THE ADJUTING CURB OR WALK.
- NEW INITIAL RUNOFF RETENTION POND.
- NEW 12" CONCRETE CHANNEL. SEE DETAIL 'D' THIS SHEET.
- NEW 18" CONCRETE CHANNEL. SEE DETAIL 'D' THIS SHEET.
- NEW 18" SIDEWALK CULVERT PER COA STD. DET. 2236. INLET INV. 61.73, OUTLET INV. 61.53.
- NEW CONCRETE STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW REFUSE ENCLOSURE. SEE TRAFFIC CIRCULATION LAYOUT FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING SIDEWALK AND C&G. EXTEND EXISTING DRIVEPAD 22.2' WEST. MATCH SLOPE AND WIDTH OF EXISTING DRIVEPAD.

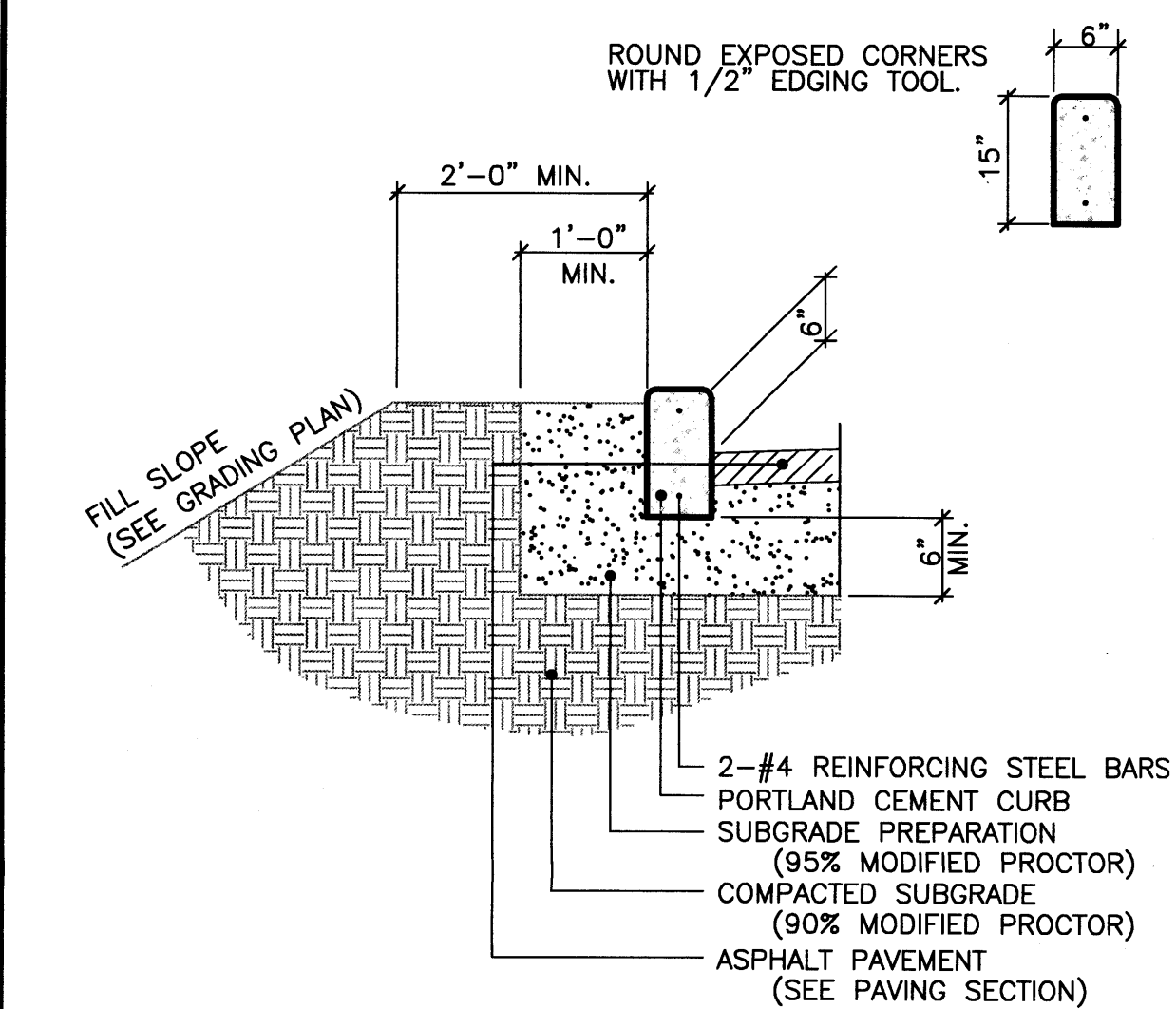
GRADING NOTES

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- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
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- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

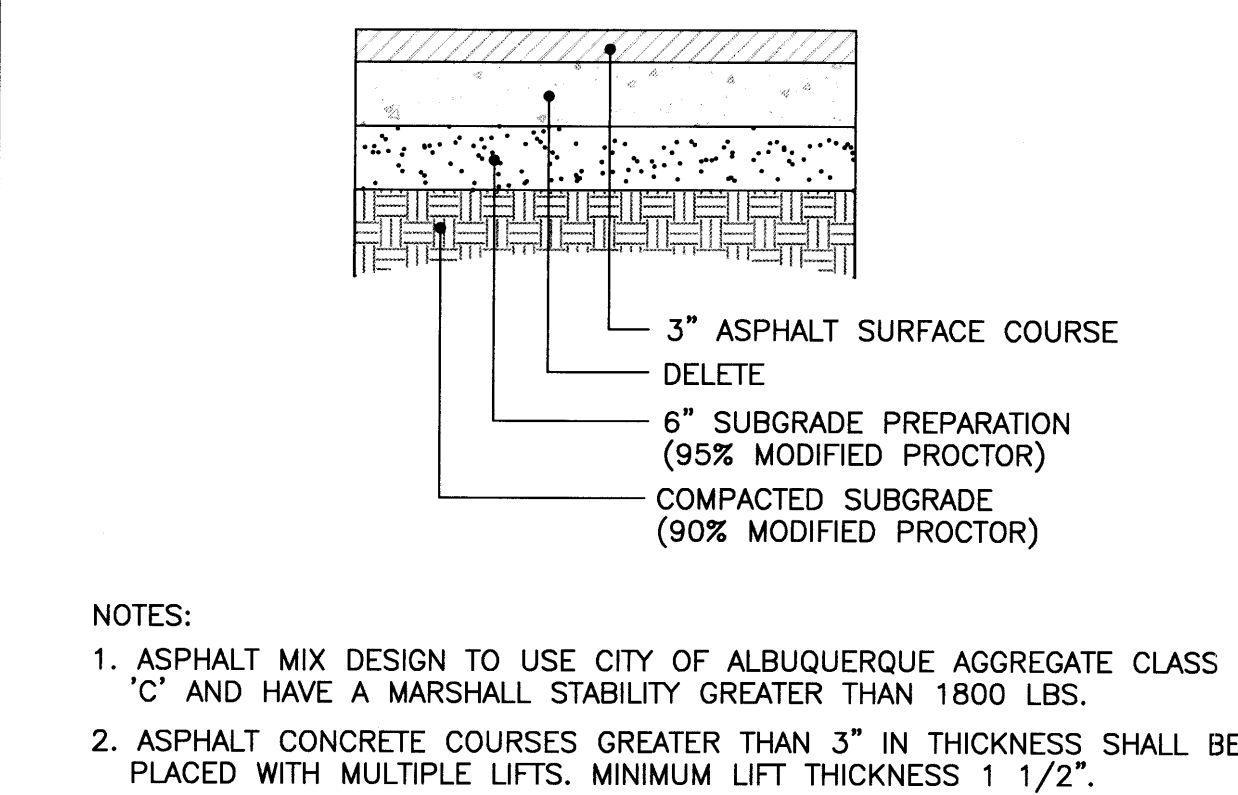
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

C-HEADER CURB



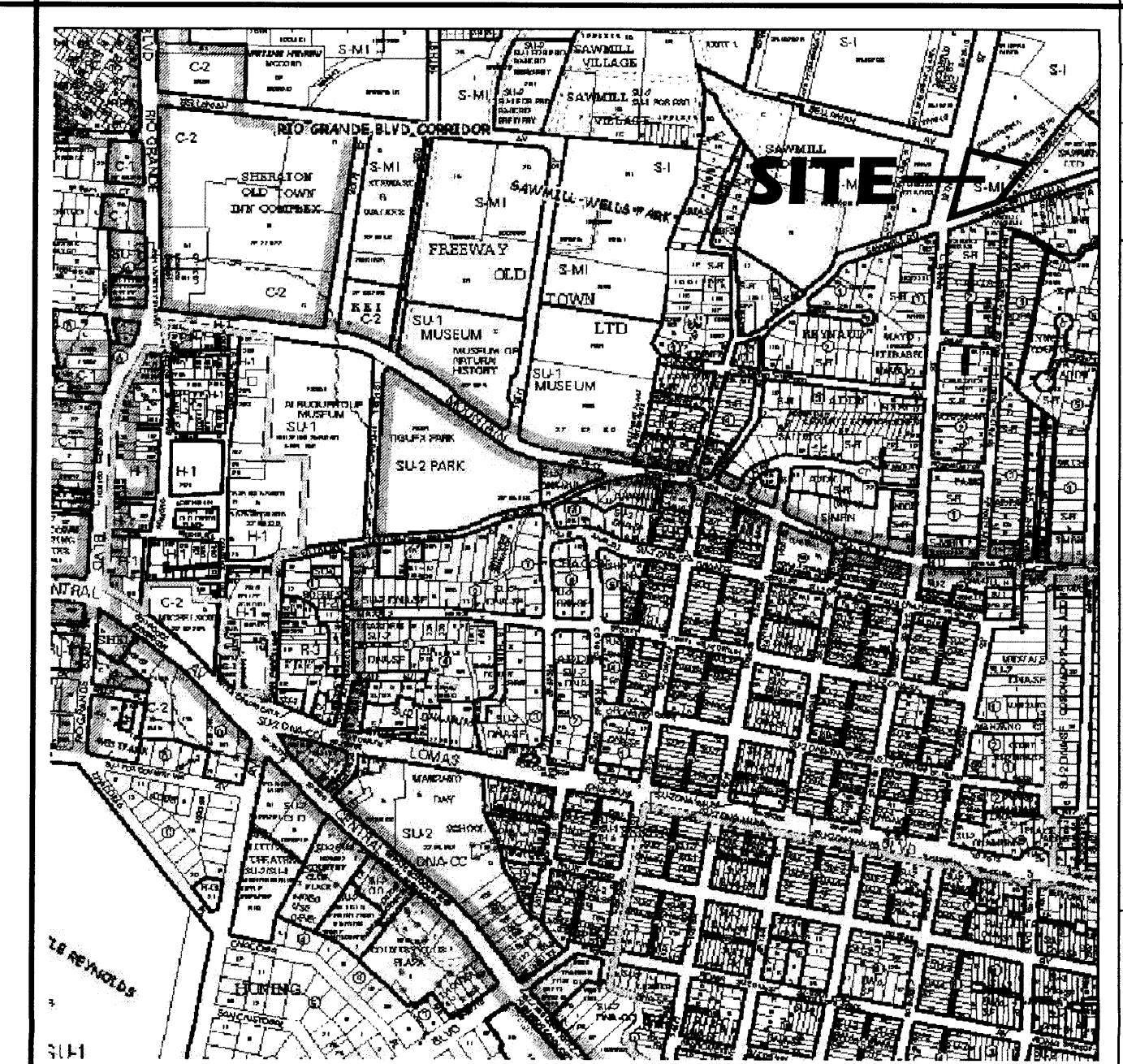
NOTE:
 PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK; WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.

E-ASPHALT PAVEMENT (LIGHT DUTY)

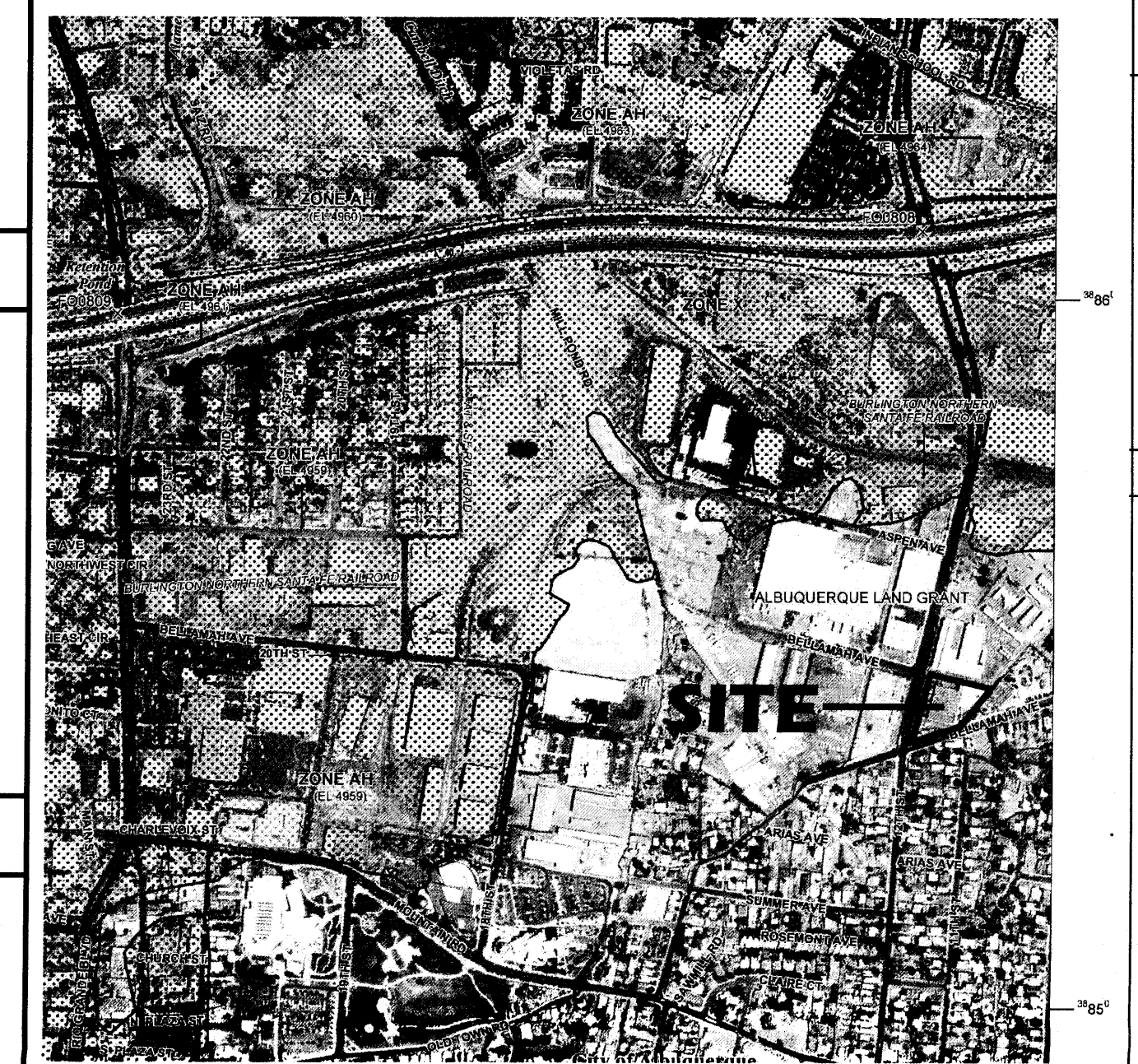


- NOTES:
- ASPHALT MIX DESIGN TO USE CITY OF ALBUQUERQUE AGGREGATE CLASS 'C' AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.
 - ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

VICINITY MAP J-13



FEMA FIRM PANEL NO. 331H



LEGAL DESCRIPTION

LOT 2, LANDS OF CLARE W. DREYER & GORMAN ENGINEERING COMPANY

PERMANENT BENCHMARK

ACS 17-J14 ELEVATION 4957.484 (NAVD 1988)

LEGEND

TBM	TEMPORARY BENCHMARK	LP	LIGHT POLE
G	GROUND	PP	POWER POLE
FF	FINISH FLOOR	GW	GUY WIRE
FG	FINISH GRADE	PED	ELEC. OR TEL. PEDESTAL
FL	FLOWLINE	RD	SCUPPER OR CANALE
TA	TOP OF ASPHALT	---	EXISTING TOPO OBJECT
TC	TOP OF CONCRETE	---	PROPOSED TOPO OBJECT
BC	TOP OF CURB		
TP	TOP OF EARTH PAD	---	EXISTING 1' CONTOUR
TS	TOP OF SIDEWALK	---	EXISTING 0.5' CONTOUR
TW	TOP OF WALL	---	EXISTING SPOT ELEVATION
FH	FIRE HYDRANT	XX.XX	PROPOSED SPOT ELEVATION
WM	WATER METER	XX.XX	RECORD SPOT ELEVATION
WV	WATER VALVE		
MH	MANHOLE		
CB	CATCH BASIN GRATE		
GM	GAS METER		
GV	GAS VALVE		

DRAINAGE NOTES

- THE SITE IS PRESENTLY DEVELOPED AS A COMMERCIAL ESTABLISHMENT. THE EXISTING BUILDING IS TO REMAIN AND THE REAR DOCK WILL BE RAZED. THE BUILDING WILL BE EXPANDED AND A NEW DOCK WILL BE CONSTRUCTED IN THE AREA OF THE RAZED DOCK. IN ADDITION THE BUILDING WILL BE EXPANDED. ADDITIONAL PARKING WILL BE PROVIDED AND AN ACCESSIBLE FIRE EXIT WILL BE CONSTRUCTED IN THE PRESENTLY VACANT PORTION OF THE LOT ON THE SOUTH SIDE OF THE EXISTING BUILDING.
- A POND WILL BE CONSTRUCTED TO RETAIN FIRST FLUSH RUNOFF FROM THE IMPERVIOUS PORTION OF THE NEW DEVELOPMENT. A PORTION OF THE EXISTING BUILDING ROOF RUNOFF WILL BE ROUTED THROUGH THE POND AS WELL. FLOWS IN EXCESS OF THE RETENTION REQUIREMENT WILL BE ROUTED TO BELLAMAH AVE. VIA A SIDEWALK CULVERT.
- THE SITE IS LOCATED IN RAINFALL ZONE 2. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF VOLUMES AND FLOW RATES DUE TO ADDITIONAL DEVELOPMENT. THE INCREASE IN THE 6 HOUR RUNOFF VOLUMES FOR THE 10 YEAR AND 100 YEAR STORMS ARE 240 AND 270 CUBIC FEET AND FLOW RATES OF 0.08 AND 0.09 CFS RESPECTIVELY. SEE TABLE AT BELOW LEFT FOR CALCULATIONS.
- THE SITE IS LOCATED IN AN AREA DESIGNATED 'ZONE X' PER FEMA FIRM MAP NO. 331H, DATED AUGUST, 2012.
- EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY WAYJOHN SURVEYING, INC. IN SEPTEMBER, 2014.

BORDENA VE DESIGNS
 1000 1/2 N. 1st St. N.E.
 Albuquerque, NM 87106
 TEL: 505-241-1111
 FAX: 505-241-1112
 www.bordenaavedesigns.com



02/11/15
 PERMIT / BID SET
 01/31/2015

GORMAN WAREHOUSE ADDITION
 1330 12th STREET NW
 ALBUQUERQUE, NM 87104

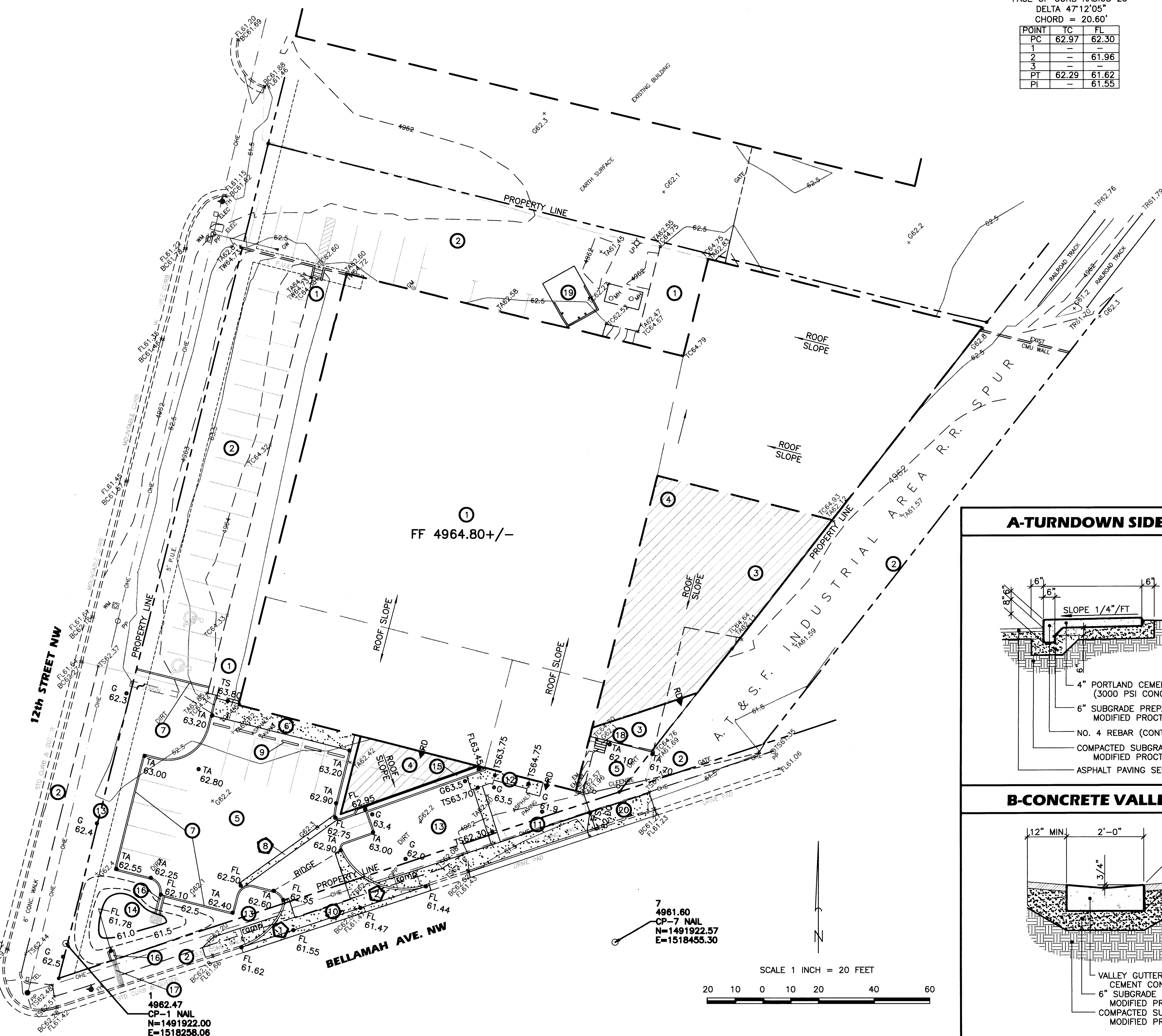
st. price design studio
 Joseph B. Burmelle Jr., ARCHITECT
 3700 Corral Blvd. NW Suite E
 Albuquerque, New Mexico 87122 505-245-2800

DRAWN
 METO
 CHECKED
 JWB
 DATE
 02/11/15
 SCALE
 AS SHOWN
 SHEET
 14-15

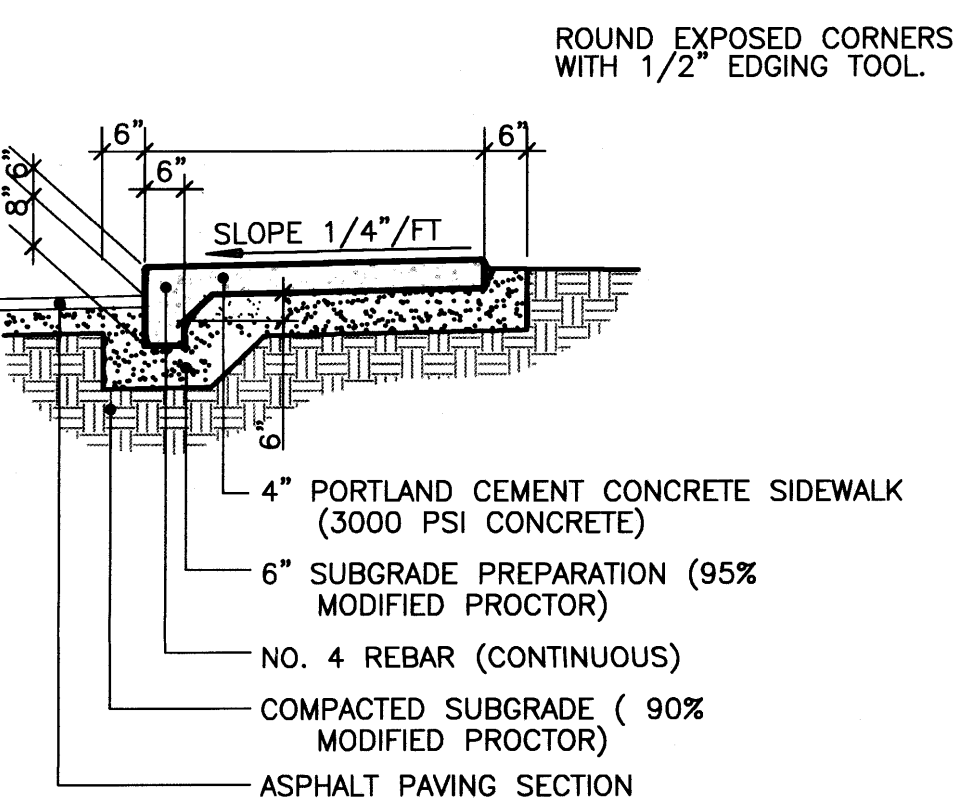
C1

GRADING PLAN

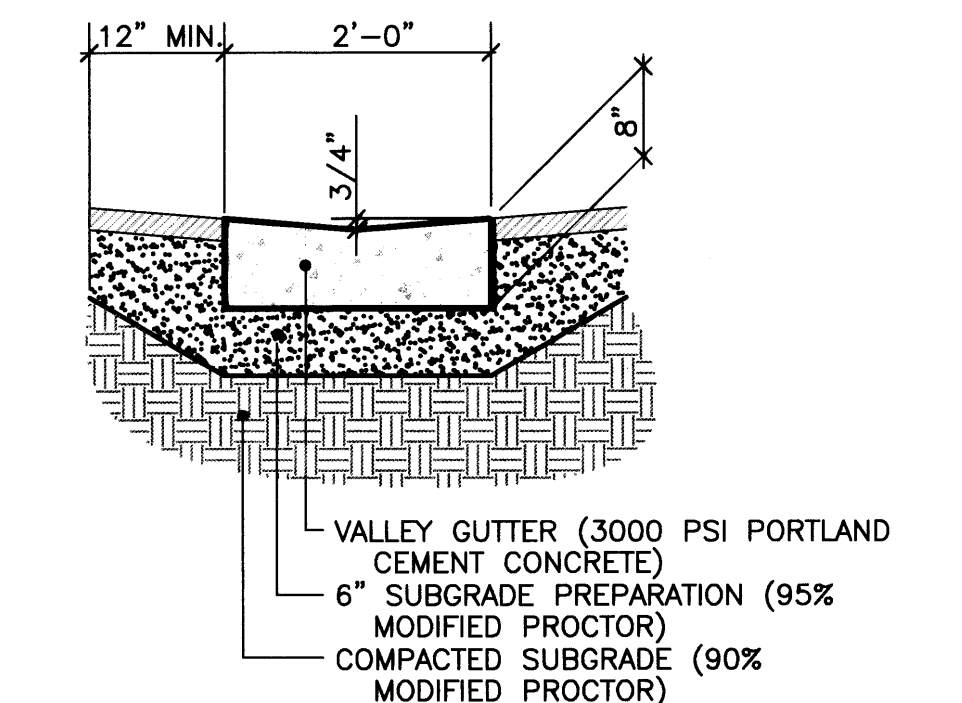
① FACE OF CURB RADIUS 25'				② FACE OF CURB RADIUS 25'			
DELTA 47°12'05"				DELTA 82°43'08"			
CHORD = 20.60'				CHORD = 36.11'			
POINT	TC	FL		POINT	TC	FL	
PC	62.97	62.30		PC	62.11	61.44	
1				1		61.64	
2		61.96		2		62.99	
3		62.49		3		62.49	
PT	62.29	61.62		PT	63.57	62.30	
PI		61.55		PI		61.47	



A-TURNDOWN SIDEWALK



B-CONCRETE VALLEY GUTTER



KEYED NOTES

- EXISTING BUILDING, SIDEWALK AND DOCK TO REMAIN.
- EXISTING ASPHALT SURFACE OR SIDEWALK TO REMAIN.
- REMOVE EXISTING CONCRETE DOCK AND CONSTRUCT NEW DOCK.
- NEW BUILDING (HATCHED AREA). MATCH EXISTING BUILDING FLOOR ELEV.
- NEW ASPHALT PARKING AREA. SEE PAVING DETAIL 'E' THIS SHEET. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW CONCRETE TURNDOWN SIDEWALK. SEE DETAIL 'A' THIS SHEET. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW CONCRETE HEADER CURB. SEE DETAIL 'C' THIS SHEET. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW VALLEY GUTTER. SEE DETAIL 'B' THIS SHEET.
- NEW CONCRETE PARKING BUMPERS.
- NEW PRIVATE ENTRANCE DETAIL w/ 25' OPENING. SEE COA STD. DET. 2426.
- REMOVE EXISTING DRIVE PAD AND ONSITE ASPHALT PAVING. BUILD NEW STANDARD CURB & GUTTER PER COA STD. DET. 2415A AND 6' SIDEWALK PER COA STD. DET.
- NEW CONCRETE RAMP AND LANDINGS. SEE TRAFFIC CIRCULATION LAYOUT FOR DIMENSIONS.
- NEW LANDSCAPING. SEE LANDSCAPING PLAN. NOTE: FINISHED GRADE OF LANDSCAPED AREAS (WITHIN 5' OF THE ADJUTING CURB OR WALK) SHALL BE DEPRESSED AT LEAST 1" BELOW THE ADJUTING CURB OR WALK.
- NEW INITIAL RUNOFF RETENTION POND.
- NEW 12" CONCRETE CHANNEL. SEE DETAIL 'D' THIS SHEET.
- NEW 18" CONCRETE CHANNEL. SEE DETAIL 'D' THIS SHEET.
- NEW 18" SIDEWALK CULVERT PER COA STD. DET. 2236. INLET INV. 61.73, OUTLET INV. 61.53.
- NEW CONCRETE STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW REFUSE ENCLOSURE. SEE TRAFFIC CIRCULATION LAYOUT FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING SIDEWALK AND C&G. EXTEND EXISTING DRIVEPAD 22.2' WEST. MATCH SLOPE AND WIDTH OF EXISTING DRIVEPAD.

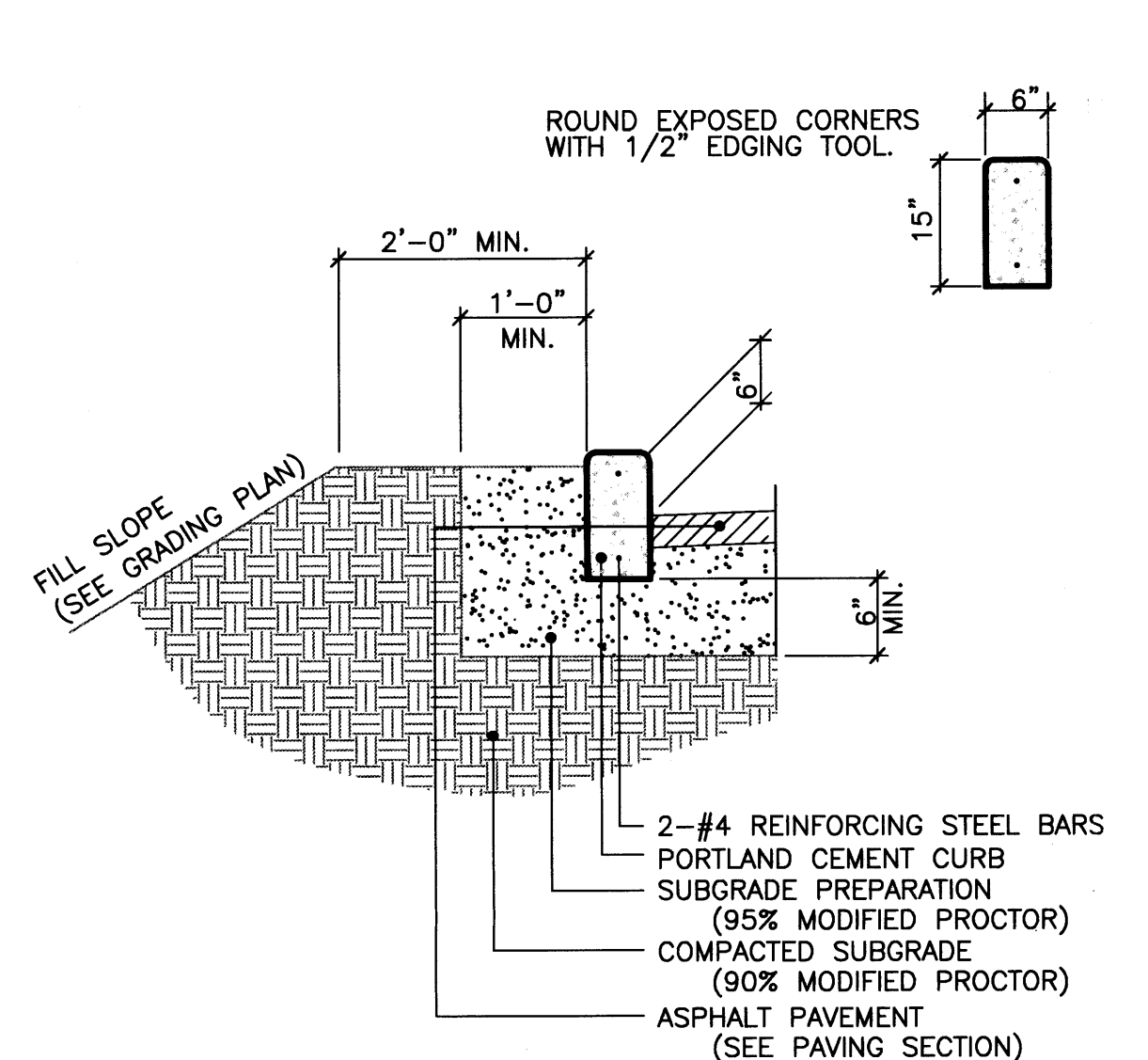
GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

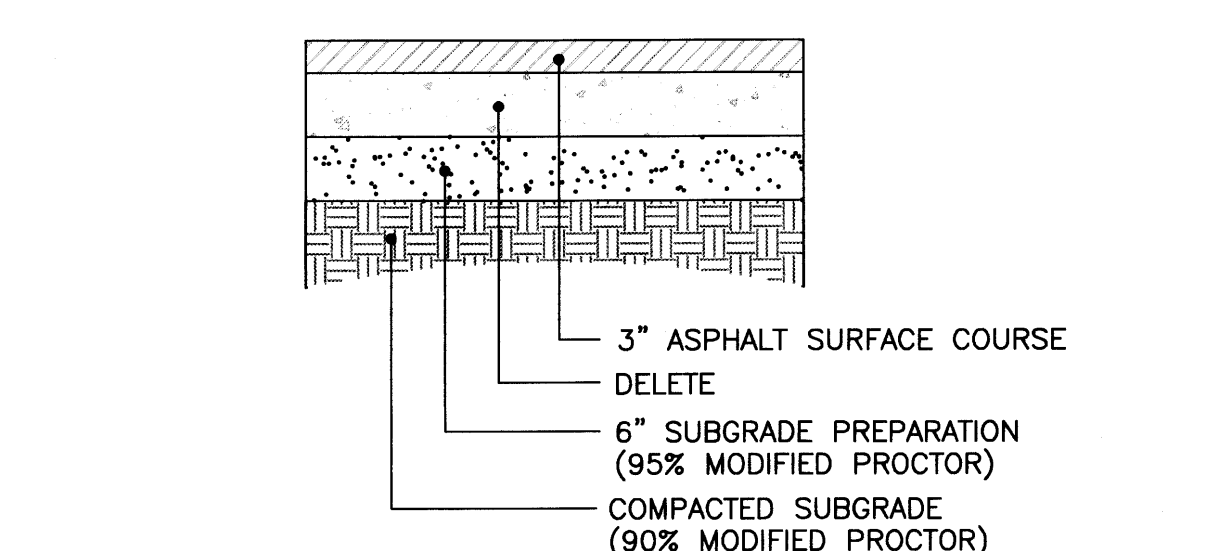
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERM OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

C-HEADER CURB



NOTE:
PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ADJUTS SIDEWALK; WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.

E-ASPALT PAVEMENT (LIGHT DUTY)

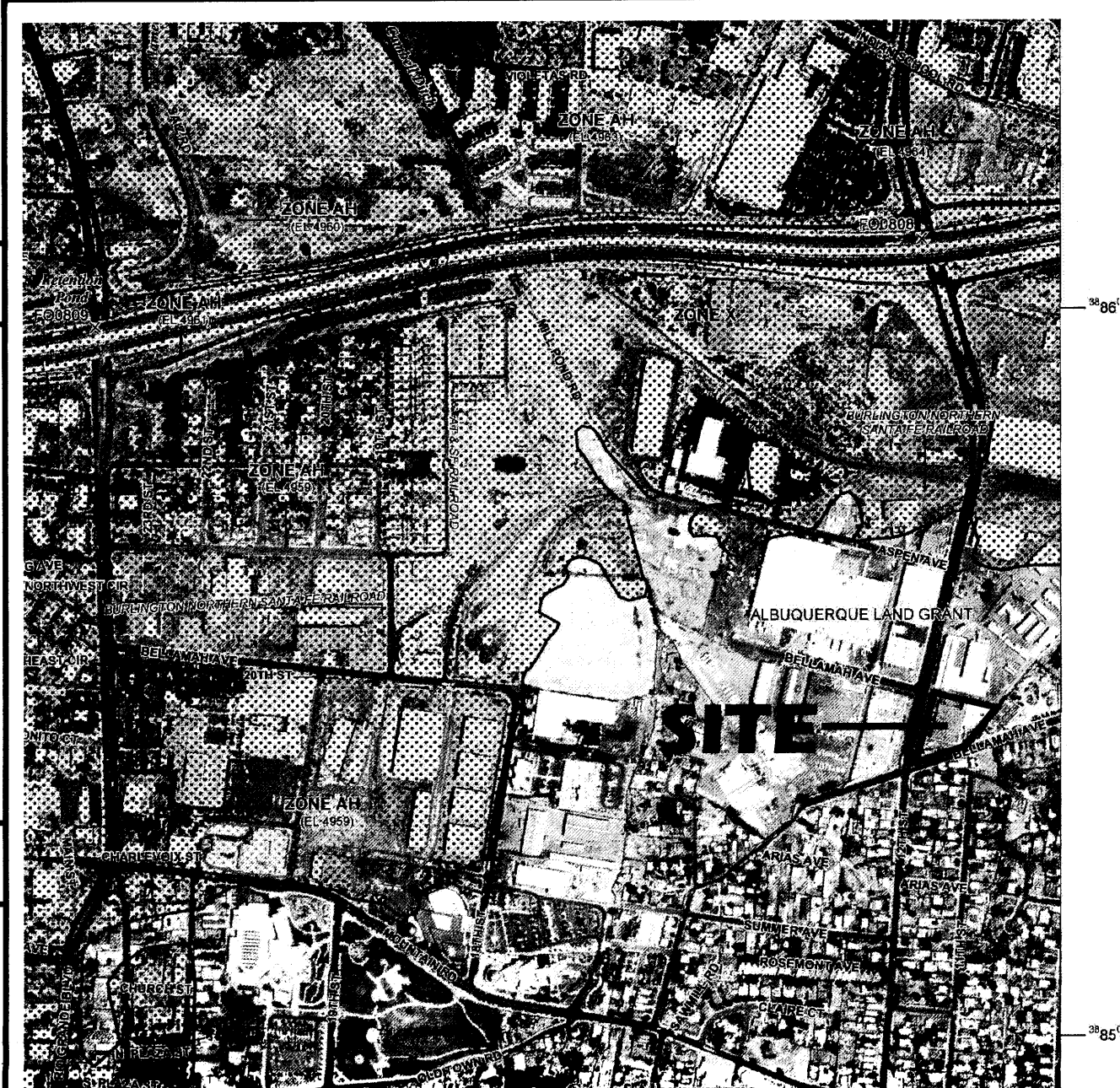


- NOTES:
- ASPALT MIX DESIGN TO USE CITY OF ALBUQUERQUE AGGREGATE CLASS 'C' AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.
 - ASPALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

VICINITY MAP J-13



FEMA FIRM PANEL NO. 331H



LEGAL DESCRIPTION

LOT 2, LANDS OF CLARE W. DREYER & GORMAN ENGINEERING COMPANY

PERMANENT BENCHMARK

ACS 17-J14 ELEVATION 4957.484 (NAVD 1988)

LEGEND

TBM	TEMPORARY BENCHMARK	LP	LIGHT POLE
G	GROUND	PP	POWER POLE
FF	FINISH FLOOR	GW	GUY WIRE
FG	FINISH GRADE	PED	ELEC. OR TEL. PEDESTAL
FL	FLOWLINE	RD	SCUPPER OR CANALE
TA	TOP OF ASPHALT	---	EXISTING TOPO OBJECT
TC	TOP OF CONCRETE	---	PROPOSED TOPO OBJECT
BC	TOP OF CURB	---	EXISTING 1' CONTOUR
TP	TOP OF EARTH PAD	---	EXISTING 0.5' CONTOUR
TS	TOP OF SIDEWALK	---	EXISTING SPOT ELEVATION
TW	TOP OF WALL	XX.XX	PROPOSED SPOT ELEVATION
FH	FIRE HYDRANT	XX.XX	RECORD SPOT ELEVATION
WM	WATER METER		
WW	WATER VALVE		
MH	MANHOLE		
CB	CATCH BASIN GRATE		
GM	GAS METER		
GV	GAS VALVE		

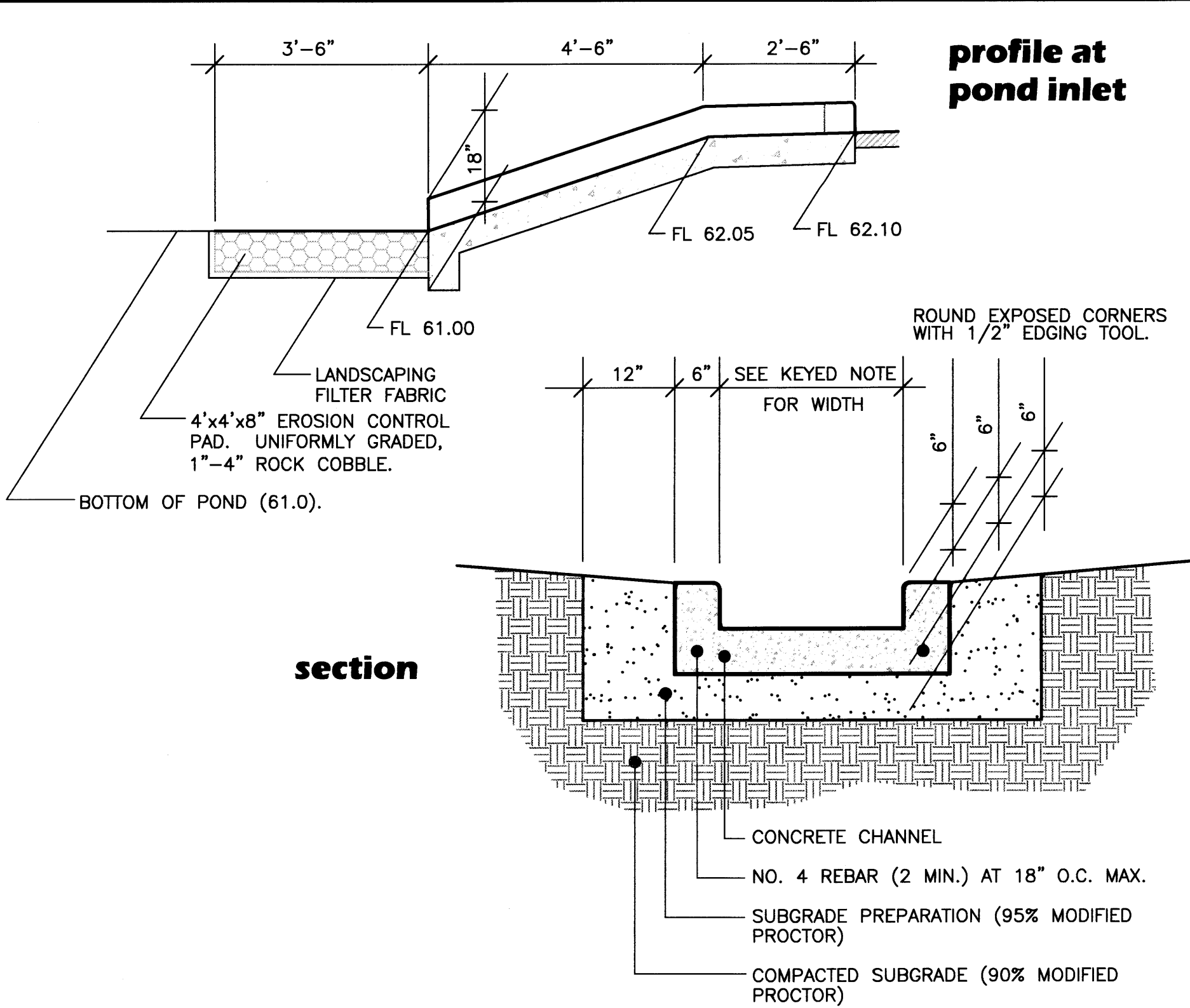
DRAINAGE NOTES

- THE SITE IS PRESENTLY DEVELOPED AS A COMMERCIAL ESTABLISHMENT. THE EXISTING BUILDING IS TO REMAIN AND THE REAR DOCK WILL BE RAZED. THE BUILDING WILL BE EXPANDED AND A NEW DOCK WILL BE CONSTRUCTED IN THE AREA OF THE RAZED DOCK. IN ADDITION THE BUILDING WILL BE EXPANDED, ADDITIONAL PARKING WILL BE PROVIDED AND AN ACCESSIBLE FIRE EXIT WILL BE CONSTRUCTED IN THE PRESENTLY VACANT PORTION OF THE LOT ON THE SOUTH SIDE OF THE EXISTING BUILDING.
- A POND WILL BE CONSTRUCTED TO RETAIN FIRST FLUSH RUNOFF FROM THE IMPERVIOUS PORTION OF THE NEW DEVELOPMENT. A PORTION OF THE EXISTING BUILDING ROOF RUNOFF WILL BE ROUTED THROUGH THE POND AS WELL. FLOWS IN EXCESS OF THE RETENTION REQUIREMENT WILL BE ROUTED TO BELLAMAH AVE. VIA A SIDEWALK CULVERT.
- THE SITE IS LOCATED IN RAINFALL ZONE 2. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF VOLUMES AND FLOW RATES DUE TO ADDITIONAL DEVELOPMENT. THE INCREASE IN THE 6 HOUR RUNOFF VOLUMES FOR THE 10 YEAR AND 100 YEAR STORMS ARE 240 AND 270 CUBIC FEET AND FLOW RATES OF 0.08 AND 0.09 CFS RESPECTIVELY. SEE TABLE AT BELOW LEFT FOR CALCULATIONS.
- THE SITE IS LOCATED IN AN AREA DESIGNATED 'ZONE X' PER FEMA FIRM MAP NO. 331H, DATED AUGUST, 2012.
- EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY WAYJOHN SURVEYING, INC. IN SEPTEMBER, 2014.

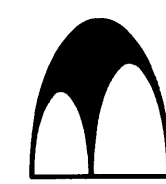
DRAINAGE DATA

CONDITION	B	STORM	TREATMENT	TREATMENT	EXCESS	PEAK	RUNOFF	RUNOFF
		PERIOD	TYPE	AREA	PRECIPITATION	RUNOFF	VOLUME	RATE
		year	(table 4)	sq. ft.	in.	(table 9)	cu. ft.	cfs
EXISTING	S	10	A	0	0.13	0.38	0	0.00
	I		B	0	0.28	0.95	0	0.00
	T		C	8925	0.52	1.71	387	0.35
	E		D	44756	1.34	3.14	4998	3.23
			TOTAL	53681			5385	3.58
		100	A	0	0.53	1.56	0	0.00
			B	0	0.78	2.28	0	0.00
			C	8925	1.13	3.14	840	0.64
			D	44756	2.12	4.7	7907	4.83
			TOTAL	53681			8747	5.47
DEVELOPED	S	10	A	0	0.13	0.38	0	0.00
	I		B	4111	0.28	0.95	96	0.09
	T		C	87	0.52	1.71	4	0.00
	E		D	49479	1.34	3.14	5525	3.57
			TOTAL	53677			5625	3.66
		100	A	0	0.53	1.56	0	0.00
			B	4111	0.78	2.28	267	0.22
			C	87	1.13	3.14	8	0.01
			D	49479	2.12	4.7	8741	5.34
			TOTAL	53677			9017	5.56
POND		100	A	0	0.53	1.56	0	0.00
			B	1231	0.78	2.28	80	0.06
			C	0	1.13	3.14	0	0.00
			D	9215	2.12	4.7	1628	0.99
			TOTAL	10446			1708	1.06
CHANNEL		100	D	4280	2.12	4.7	756	0.46

D-CONCRETE CHANNEL



BORDENAVE DESIGNS
P.O. BOX 8114, ALBUQUERQUE, NM 87108
TEL: 505-261-1812
www.bordenavedesigns.com



02/11/15

PERMIT / BID SET
01/31/2015

GORMAN WAREHOUSE ADDITION
1330 12th STREET NW
ALBUQUERQUE, NM 87104

St. Peter
st. price design studio
Joseph B. Bordenave, Jr. ARCHITECT
3700 Coors Blvd NW Suite E
Albuquerque, New Mexico 87120 505.345.3503

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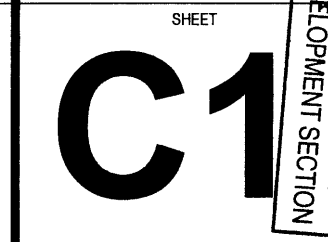
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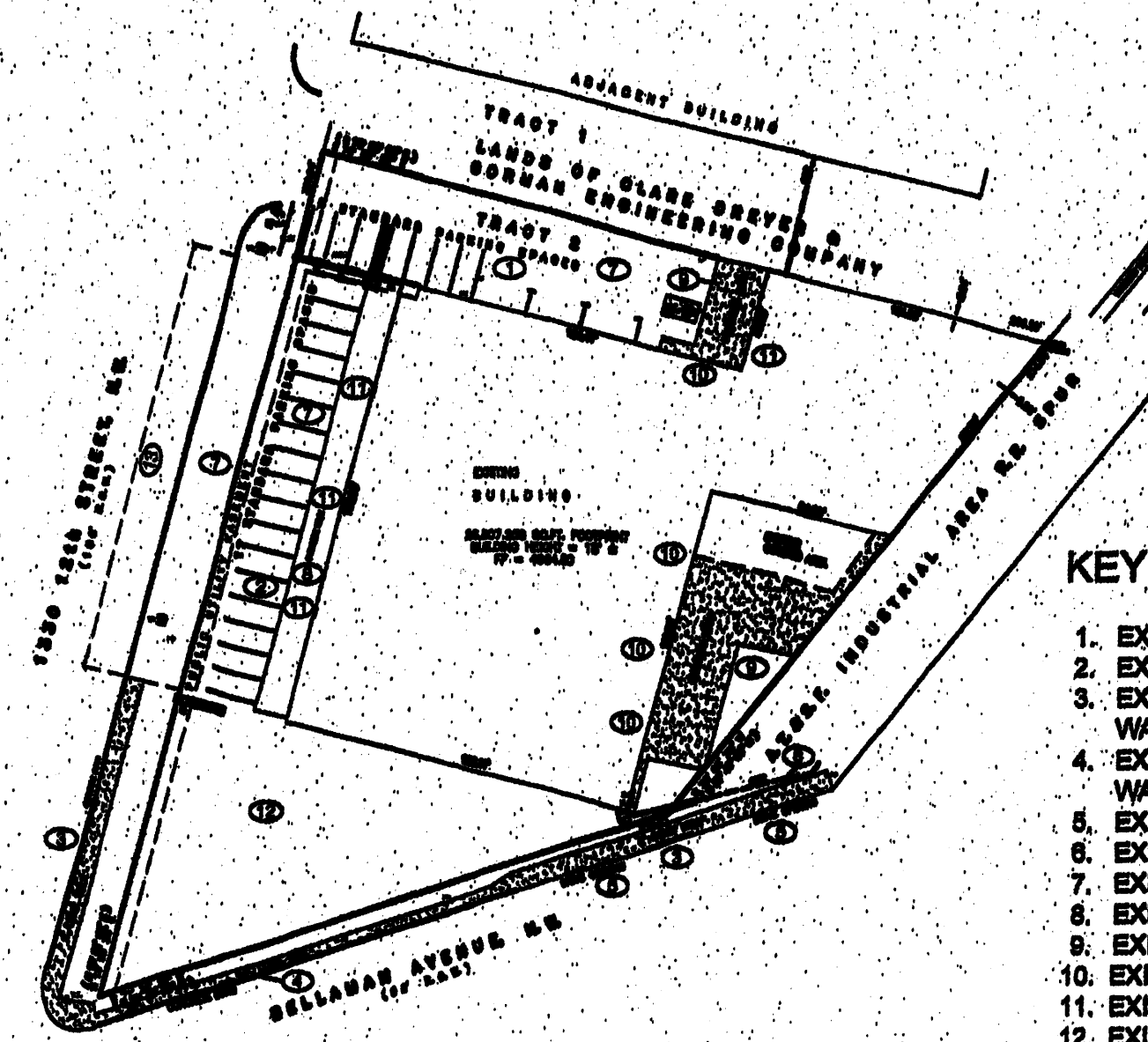
SCALE

DATE
14-15

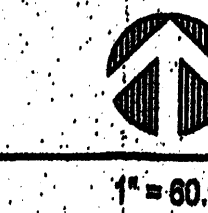
SHEET

17





EXISTING SITE PLAN



KEYED NOTES

- EXISTING 11 CARS.
- EXISTING 17 CARS.
- EXISTING 8' WIDE CONCRETE WALK.
- EXISTING 42' WIDE CONCRETE WALK.
- EXISTING DRIVE OPENINGS.
- EXISTING FENCE AND GATES.
- EXISTING ASPHALT.
- EXISTING CONCRETE WALK.
- EXISTING LOADING DOCK.
- EXISTING 8'x8' DOOR.
- EXISTING 3'x7'.
- EXISTING DIRT PARKING LOT.
- EXISTING LAYDOWN CURB.

PROPERTY NOTES

- ADJACENT PROPERTY (TO NORTH): TRACT 1, LANDS OF CLARE DREYER AND GORMAN ENGINEERING
- THIS PROPERTY: TRACT 2, LANDS OF CLARE DREYER AND GORMAN ENGINEERING

EXISTING BUILDING ON TRACT 2 WAS CONSTRUCTED AROUND 1983. THERE HAVE BEEN TWO ADDITIONS SINCE THEN. THE LASTEST WAS IN 1992.

THE DELIVERY DOCK HAS ALWAYS BEEN LOCATED AT THE NE CORNER OF THE FIRST BUILDING. THE EXISTING FUNCTIONS OF THIS BUILDING HAS NOT CHANGED OVER THE PAST 60+ YEARS. BOTH TRACTS SHARE A COMMON ACCESS TO 12TH STREET.

GENERAL NOTES

1 - EXISTING PARKING

THE WEST (MAIN) PARKING OF 17 CARS HAS NOT CHANGED IN 60 YEARS. THE EXISTING NORTH PARKING OF 11 CARS WILL BE REDUCED BY ONE TO ALLOW RELOCATION OF THE DUMPSTER FROM THE SOUTH NEW CONSTRUCTION AREA.

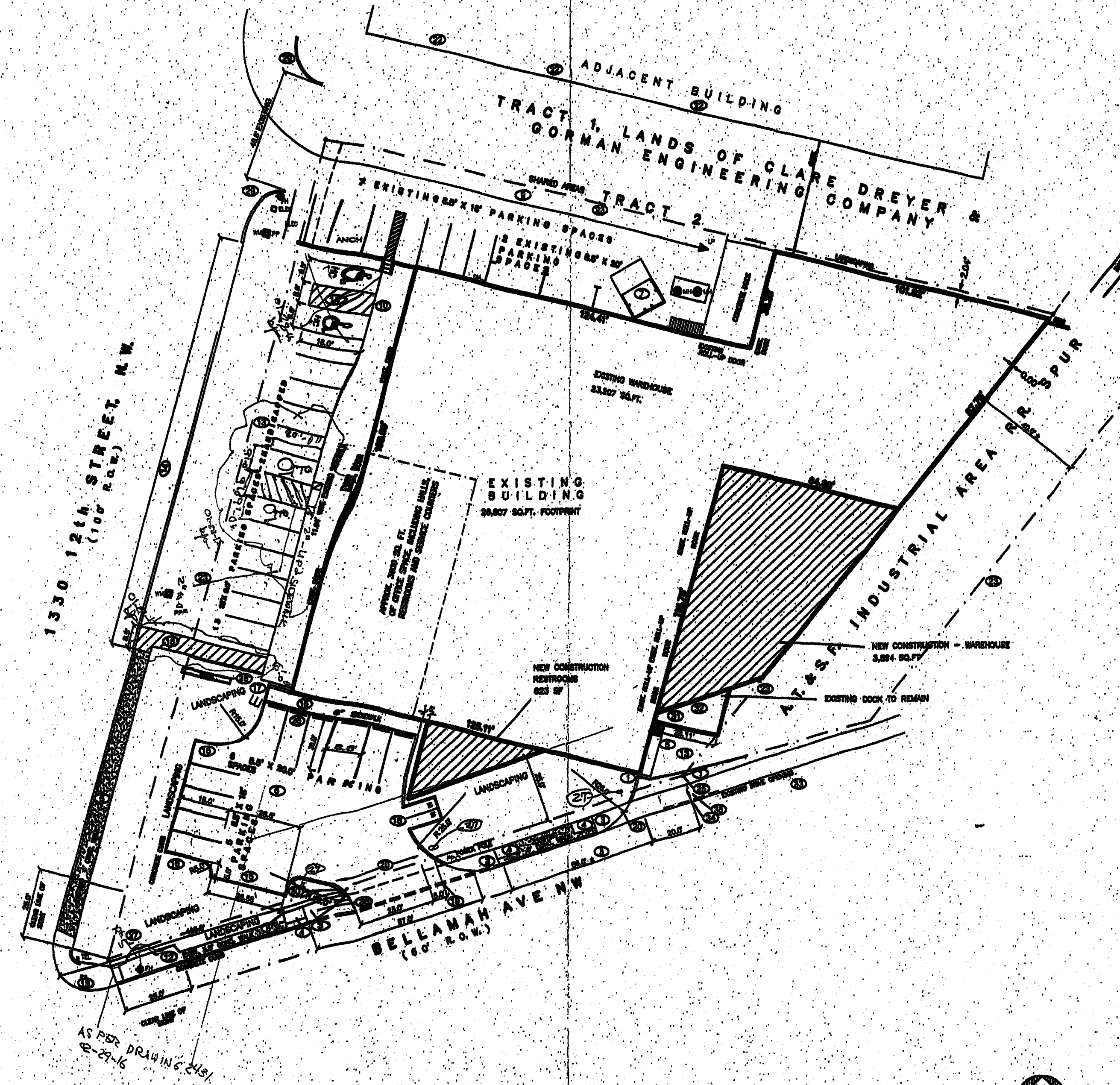
2 - NEW CONSTRUCTION

THIS WILL ADD ADDITIONAL WAREHOUSING (3,894 SF) ON THE EAST AND A TOILET / JANITORIAL STORAGE AREA (823 SF) ON THE SOUTH SIDE FOR A TOTAL OF 11 ADDITIONAL NEW PARKING SPACES.

THE PARKING ON THE WEST WILL BE MODIFIED BY DESIGNATING 2 - 8'x20' ADA PARKING SPACES WITH AN 8' WIDE CROSSBOW. A NEW 6' WIDE PEDESTRIAN ACCESS WILL BE LOCATED AT THE SOUTH END OF THE WEST PARKING LOT. HATCHED AREA FOR ADA ACCESS AT THE EXISTING PARKING SPACES. THIS RESULTS IN PARKING SPACES FOR: 13 CARS + 2 ADA SPACES.

THE LANDSCAPING REQUIREMENT IS 10 FEET ALONG 12TH STREET AND 11 FEET ALONG BELLAMAH AVENUE.

PARKING AND LANDSCAPING ARE ADDED TO COMPLY WITH THE CODES.



PROPOSED SITE PLAN



KEYED NOTES

- EXISTING GATES.
- REMOVE CURB AND GUTTER.
- NEW CONCRETE WALK, PER CABQ DRAWING 2426.
- NEW ADA 8' LONG RAMP, PER CABQ DRAWING 2426.
- EXISTING CONCRETE WALK AND CURB.
- NEW ASPHALT.
- RELOCATED REFUSE SITE.
- EXISTING DRIVE PAD.
- DELIVERY VEHICLE ROUTE.
- ADA PARKING SIGNAGE PER 88-7-382.4C NIMSA PAGE 2.
- "NO PARKING" IN CAPITAL LETTERS 12" HIGH AND 2" WIDE MINIMUM ON AISLE, NEAR WEST END PER 88-1-4.9 NIMSA.
- EXTEND 6' WIDE SIDEWALK 4' WEST OF FIRE HYDRANT.
- EXISTING ASPHALT.
- EXISTING LAYDOWN CURB.
- NEW 6-FOOT WIDE ADA PEDESTRIAN PATH-WAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE, PER DPM, REVISE STRIPING, POINT NO PARKING! AND ADDED H.C. RAMP.
- NEW 6' HIGH CURBING.
- BIKE RACK.
- BIKE RACK.
- REMOVE EXISTING 3'-6" CONCRETE SIDEWALK AND CURB.
- NEW CURB CUT AND DRIVE PAD, PER CABQ DRAWING 2426.
- EXISTING DRIVE PAD.
- EXISTING 8'x8' DOORS.
- PROPERTY LINE.
- PROPOSED 4' WIDE 8' LONG ADA RAMP.
- CORNER OF PROPERTY.
- 8' LONG CONCRETE BUMPER BLOCKS.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT.
- EXISTING SIGN.
- EXISTING CURB.
- RADIUS = 52'
- NEW 3'x7' DOOR.
- NEW 6'x8' ROLL-UP DOOR.
- EXISTING DRIVE PAD TO AT & 8' PROPERTY.
- REMOVE EXISTING 6' WIDE SIDEWALK AND CURB.
- NEW DRIVE PAD, ACCESS TO DOCK.
- NEW 6' WIDE CONCRETE WALK.
- MOVED H.C. PARKING TO CENTER OF PARKING AREA WITH HALL HOURS H.C. RAMP AND H.C. 8241P.

- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING WALK

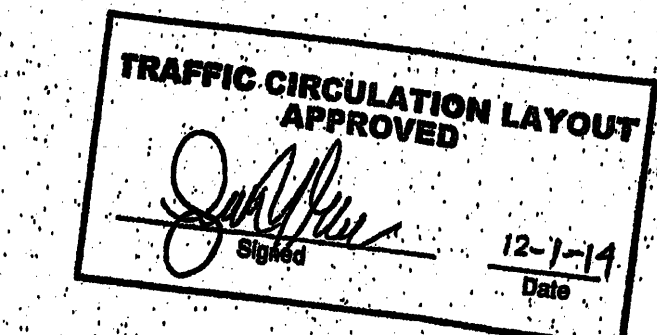
ZONE ATLAS MAP J-13

DOWN TOWN SECTOR PLAN

NTS

PARKING REQUIREMENTS

EXISTING	SQ. FT.	REQ'D.	PROVIDED
OFFICE	3,800 / 2,000	18	NORTH 11 WEST 17
WAREHOUSING	23,207 / 2,000	12	
		SUBTOTAL	30
TRANSIT CREDIT 10 % REDUCTION PARKING REQUIRED		3	
		TOTAL	27
EXISTING TOTAL CARS			28 PROVIDED
NEW CONSTRUCTION			
EXISTING OFFICE: 3,800 SF + NEW TOILETS 823 SF	4,223 / 200	21	NORTH 10: WEST 13: ADA 2: SOUTH 11
EXISTING WAREHOUSE NEW WAREHOUSING	23,207 3,894		
	27,101 / 2,000	14	
		SUBTOTAL	36
TRANSIT CREDIT 10 % REDUCTION		3	
PARKING REQUIRED		TOTAL	32
			36 PROVIDED
BIKE SPACES MOTORCYCLE SPACES		2 2	2 2



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ALL WHEEL CHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

GORMAN WAREHOUSE

1330 12th STREET NW
ALBUQUERQUE, NEW MEXICO 87104

st. price design studio
Joseph B. Barwick Jr. ARCHITECT
3700 Coors Blvd. NW Suite E
Albuquerque, New Mexico 87120 505.346.3550

DATE
EIP
JBS
11/11/14
DATE VARIES
14-16
SHEET
1

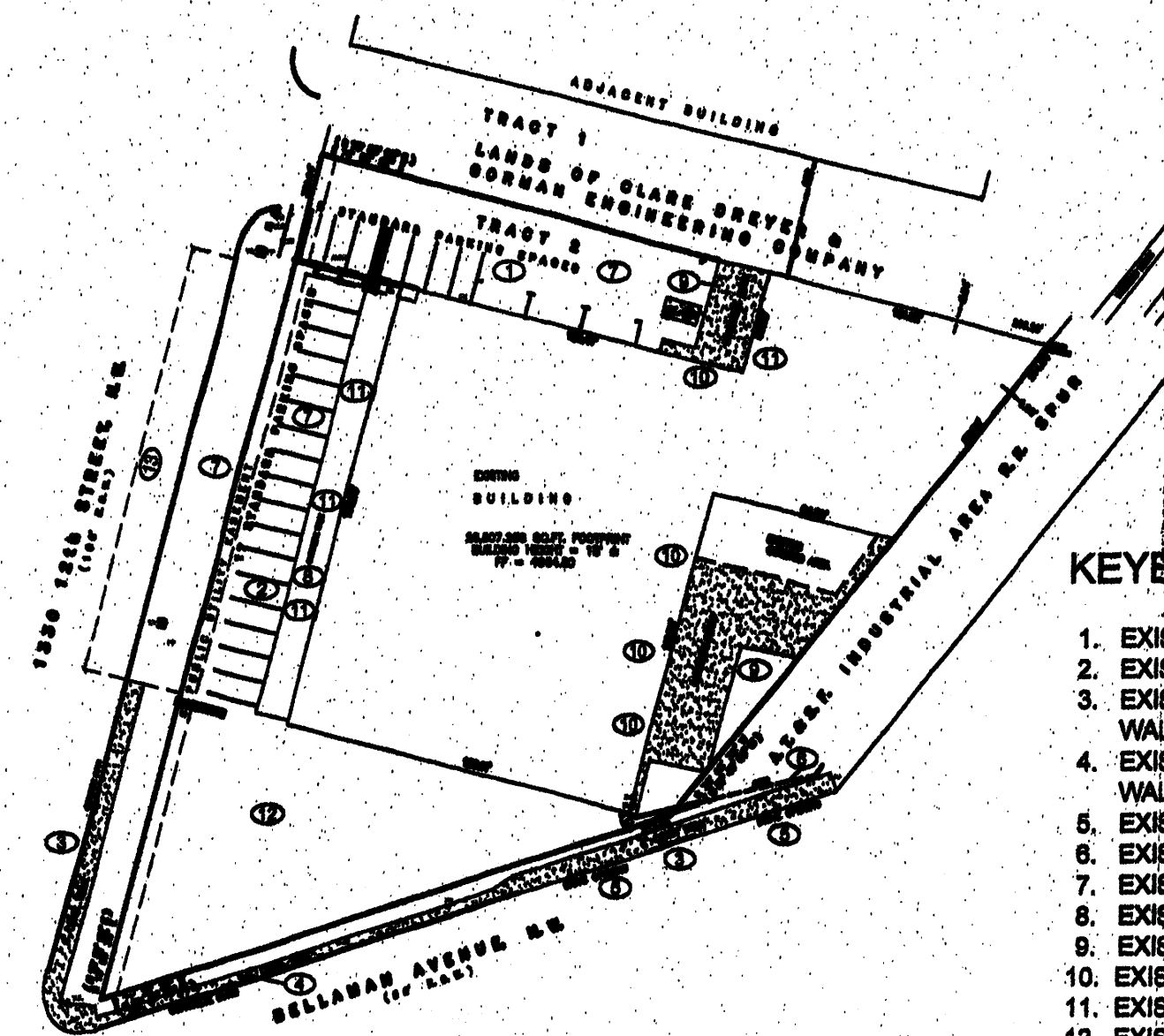
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3700 Coors Blvd. NW Suite E
Albuquerque, New Mexico 87120 505.346.3550

DATE
BJP
JBS/STP
10/21/15
DATE VARIES
14-16
SHEET
1

TCL1



EXISTING SITE PLAN

KEYED NOTES

1. EXISTING 11 CARS.
2. EXISTING 17 CARS.
3. EXISTING 6" WIDE CONCRETE WALK.
4. EXISTING 42" WIDE CONCRETE WALK.
5. EXISTING DRIVE OPENINGS.
6. EXISTING FENCE AND GATES.
7. EXISTING ASPHALT.
8. EXISTING CONCRETE WALK.
9. EXISTING LOADING DOCK.
10. EXISTING 8'X8' DOOR.
11. EXISTING 3"7".
12. EXISTING DIRT PARKING LOT.
13. EXISTING LAYDOWN CURB.



1" = 80.0'

PROPERTY NOTES

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GENERAL NOTES

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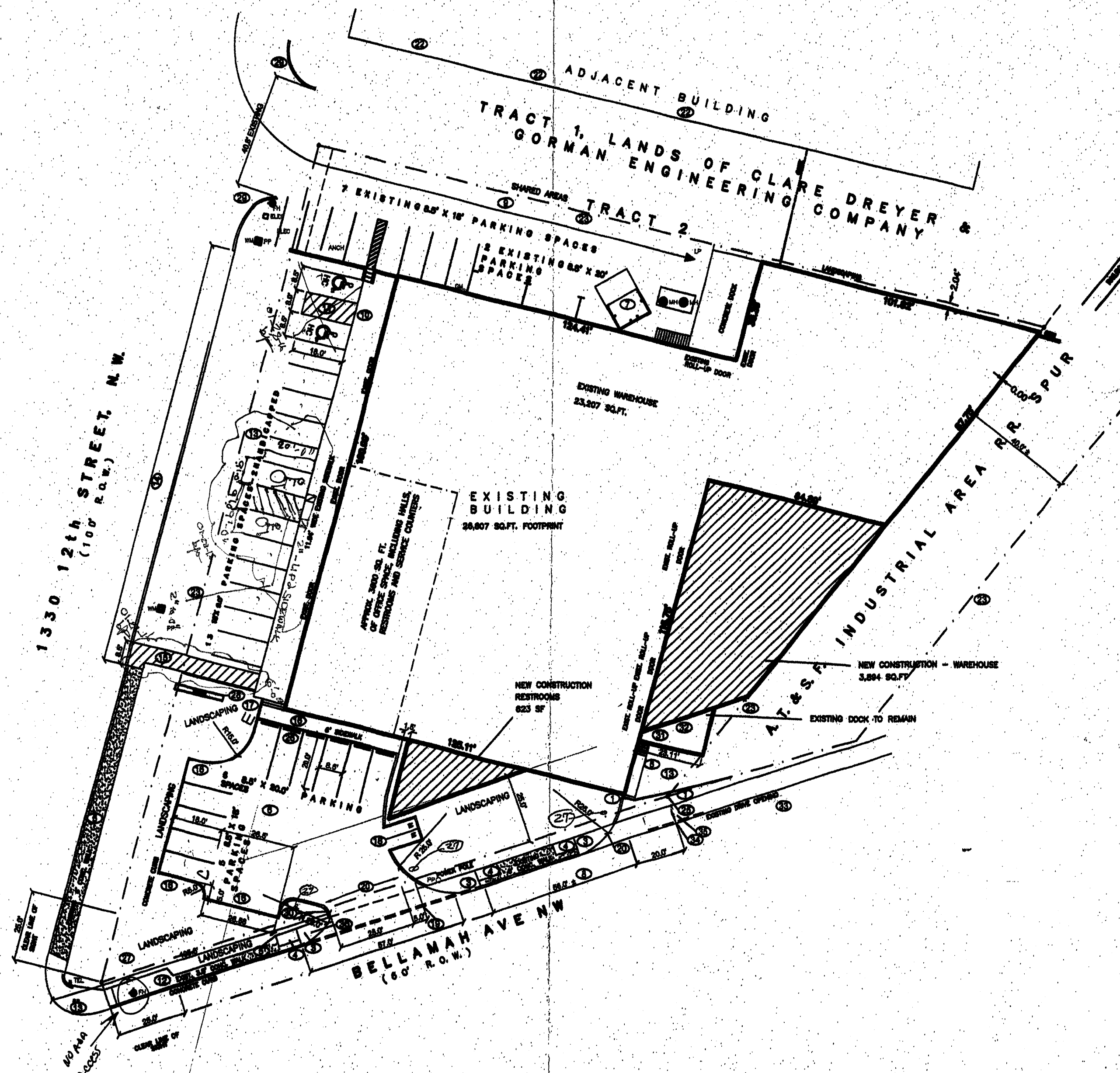
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THE PARKING ON THE WEST WILL BE MODIFIED BY DESIGNATING 2 - 8'-0" X 20'-0" ADA PARKING SPACES WITH AN 8' WIDE CROSSED. A NEW 8'-WIDE PEDESTRIAN ACCESS WILL BE LOCATED AT THE SOUTH END OF THE WEST PARKING LOT. HATCHED AREA FOR ADA ACCESS AT THE EXISTING PARKING SPACES. THIS RESULTS IN PARKING SPACES FOR: 13 CARS + 2 ADA SPACES.

THE LANDSCAPING REQUIREMENT IS 10 FEET ALONG 12 TH STREET AND 11 FEET ALONG BELLAMAH AVENUE.

PARKING AND LANDSCAPING ARE ADDED TO COMPLY WITH THE CODES.



PROPOSED SITE PLAN

KEYED NOTES

1. EXISTING GATES.
2. REMOVE CURB AND GUTTER.
3. NEW CONCRETE WALK, PER CABQ DRAWING 2428.
4. NEW ADA 8'-LONG RAMP, PER CABQ DRAWING 2428.
5. EXISTING CONCRETE WALK AND CURB.
6. NEW ASPHALT.
7. RELOCATED REFUSE SITE.
8. EXISTING DRIVE PAD.
9. DELIVERY VEHICLE ROUTE.
10. ADA PARKING SIGNAGE PER 88-7-382.4C NMBSA PAGE 2.
11. "NO PARKING" IN CAPITAL LETTERS 12" HIGH AND 2" WIDE MINIMUM ON AISLE, NEAR WEST END PER 88-14.8 NMBSA.
12. EXTEND 8'-WIDE SIDEWALK 4' WEST OF FIRE HYDRANT.
13. EXISTING ASPHALT.
14. EXISTING LAYDOWN CURB.
15. NEW 8'-FOOT WIDE ADA PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE, PER DPM. REVISE STRIPING, POINT "NO PARKING" AND ADDED H.C. RAMP.
16. NEW 6" HIGH CURBING.
17. BICYCLE RACK.
18. MOTORCYCLE SPACES.
19. REMOVE EXISTING 3'-6" CONCRETE SIDEWALK AND CURB.
20. NEW CURB CUT AND DRIVE PAD, PER CABQ DRAWING 2428.
21. EXISTING DRIVE PAD.
22. EXISTING 8'X8' DOORS.
23. PROPERTY LINE.
24. PROPOSED 4'-WIDE 8'-LONG ADA RAMP.
25. CORNER OF PROPERTY.
26. 8'-LONG CONCRETE BUMPER BLOCKS.
27. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT.
28. EXISTING SIGN.
29. EXISTING CURB.
30. RADIUS = 5.0'.
31. NEW 3'X7' DOOR.
32. NEW 8'X8' ROLL-UP DOOR.
33. EXISTING DRIVE PAD TO AT & 8F PROPERTY.
34. REMOVE EXISTING 8'-WIDE SIDEWALK AND CURB.
35. NEW DRIVE PAD, ACCESS TO DOCK.
36. NEW 8'-WIDE CONCRETE WALK.
37. MOVED H.C. PARKING TO CENTER OF PARKING AREA WITH WALL MOUNTED H.C. DOGS AND H.C. SIGN.

- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING WALK

1" = 30.0'

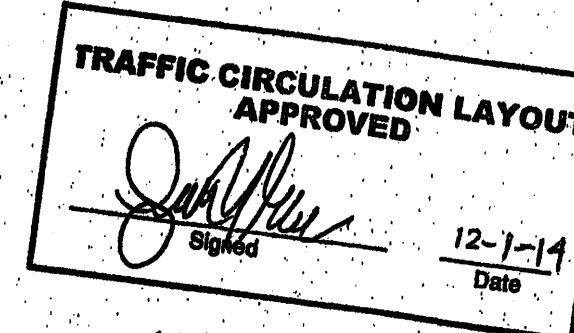
ZONE ATLAS MAP J-13

DOWN TOWN SECTOR PLAN

NTS

PARKING REQUIREMENTS

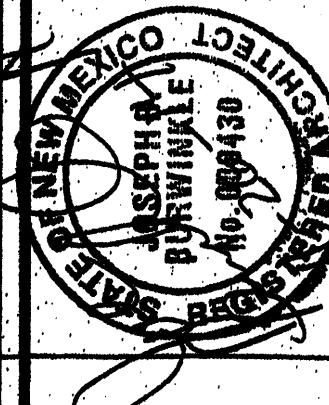
EXISTING	SQ. FT.	REQ'D.	PROVIDED
OFFICE	3,800 / 2,000	18	NORTH 11 WEST 17
WAREHOUSING	23,207 / 2,000	12	
		SUBTOTAL	30
TRANSIT CREDIT 10 % REDUCTION PARKING REQUIRED		3	
		TOTAL	27
EXISTING TOTAL CARS			28 PROVIDED
NEW CONSTRUCTION			
EXISTING OFFICE: 3,800 SF + NEW TOILETS 823 SF	4,223 / 200	21	NORTH 10 WEST 13 ADA 2 SOUTH 11
EXISTING WAREHOUSE NEW WAREHOUSING	23,207 3,894		
	27,101 / 2,000	14	
		SUBTOTAL	35
TRANSIT CREDIT 10 % REDUCTION		-3	
PARKING REQUIRED		TOTAL	32
BICYCLE SPACES MOTORCYCLE SPACES		2 2	2 2



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11.11.2014

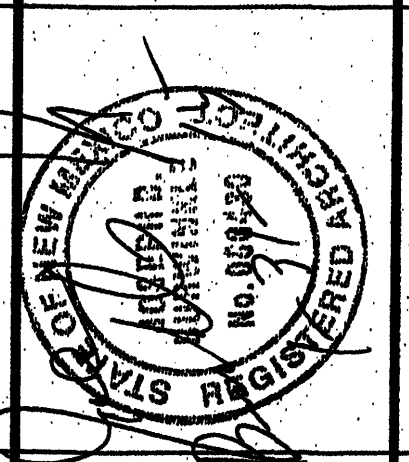
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st price design studio
Joseph B. Barwick Jr., ARCHITECT
3700 Coors Blvd. NW Suite E
Albuquerque, New Mexico 87120 505.345.3850

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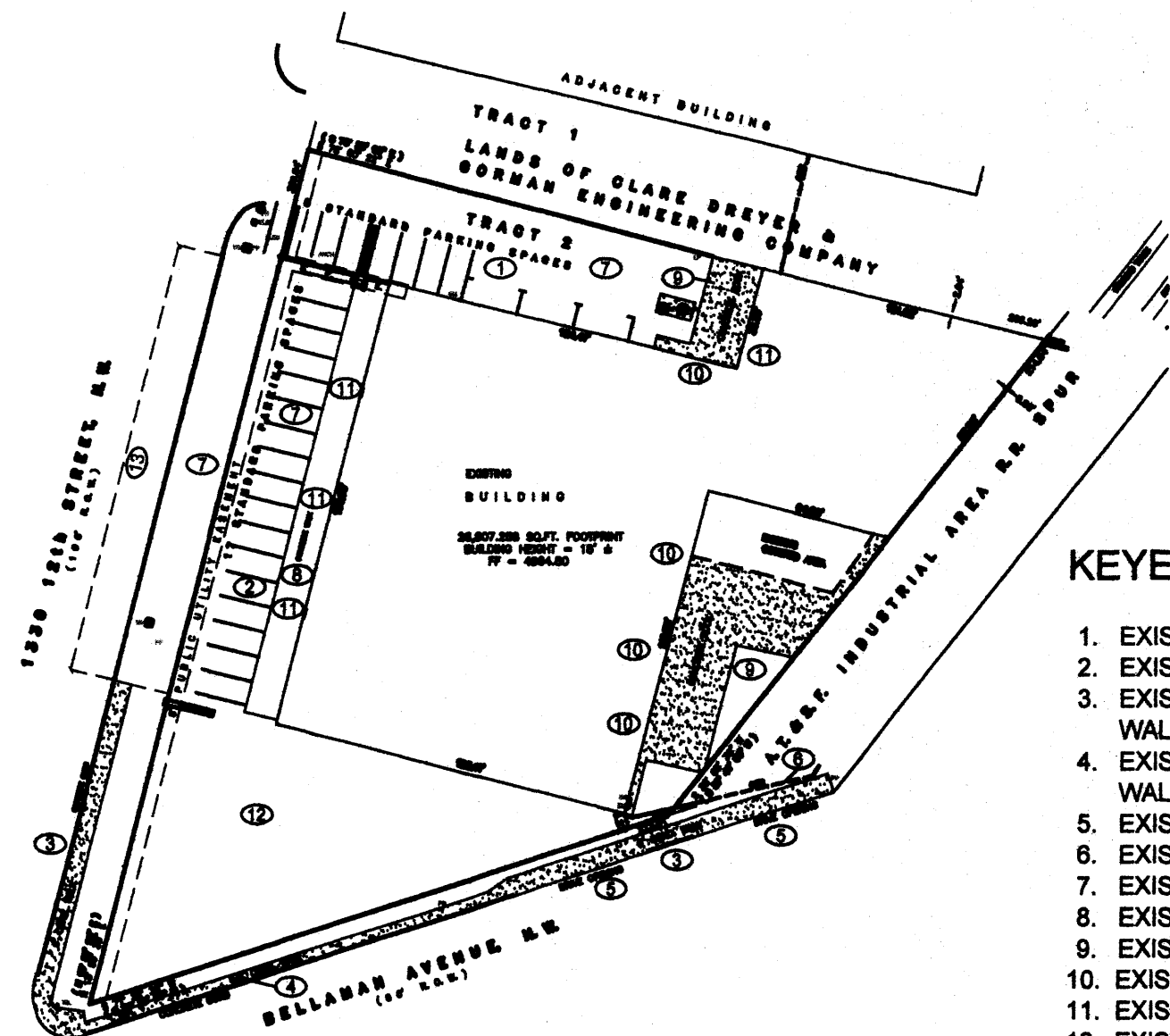
GORMAN WAREHOUSE ADDITION

1330 12th Street NW
ALBUQUERQUE, NM 87104

st price design studio
Joseph B. Barwick Jr., ARCHITECT
3700 Coors Blvd. NW Suite E
Albuquerque, New Mexico 87120 505.345.3850

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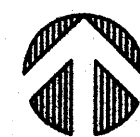
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KEYED NOTES

- EXISTING 11 CARS.
- EXISTING 17 CARS.
- EXISTING 6' WIDE CONCRETE WALK.
- EXISTING 42" WIDE CONCRETE WALK.
- EXISTING DRIVE OPENINGS.
- EXISTING FENCE AND GATES.
- EXISTING ASPHALT.
- EXISTING CONCRETE WALK.
- EXISTING LOADING DOCK.
- EXISTING 8X8 DOOR.
- EXISTING 3"7".
- EXISTING DIRT PARKING LOT.
- EXISTING LAYDOWN CURB.

EXISTING SITE PLAN



1" = 60.0'

PROPERTY NOTES

- ADJACENT PROPERTY (TO NORTH): TRACT 1; LANDS OF CLARE DREYER AND GORMAN ENGINEERING
- THIS PROPERTY: TRACT 2 LANDS OF CLARE DREYER AND GORMAN ENGINEERING

EXISTING BUILDING ON TRACT 2 WAS CONSTRUCTED AROUND 1953. THERE HAVE BEEN TWO ADDITIONS SINCE THEN. THE LASTEST WAS IN 1962.

THE DELIVERY DOCK HAS ALWAYS BEEN LOCATED AT THE NE CORNER OF THE FIRST BUILDING. THE EXISTING FUNCTIONS OF THIS BUILDING HAS NOT CHANGED OVER THE PAST 60 + YEARS. BOTH TRACTS SHARE A COMMON ACCESS TO 12 TH STREET.

GENERAL NOTES

1 - EXISTING PARKING

THE WEST (MAIN) PARKING OF 17 CARS HAS NOT CHANGED IN 60 YEARS. THE EXISTING NORTH PARKING OF 11 CARS WILL BE REDUCED BY ONE TO ALLOW RELOCATION OF THE DUMPSTER FROM THE SOUTH NEW CONSTRUCTION AREA.

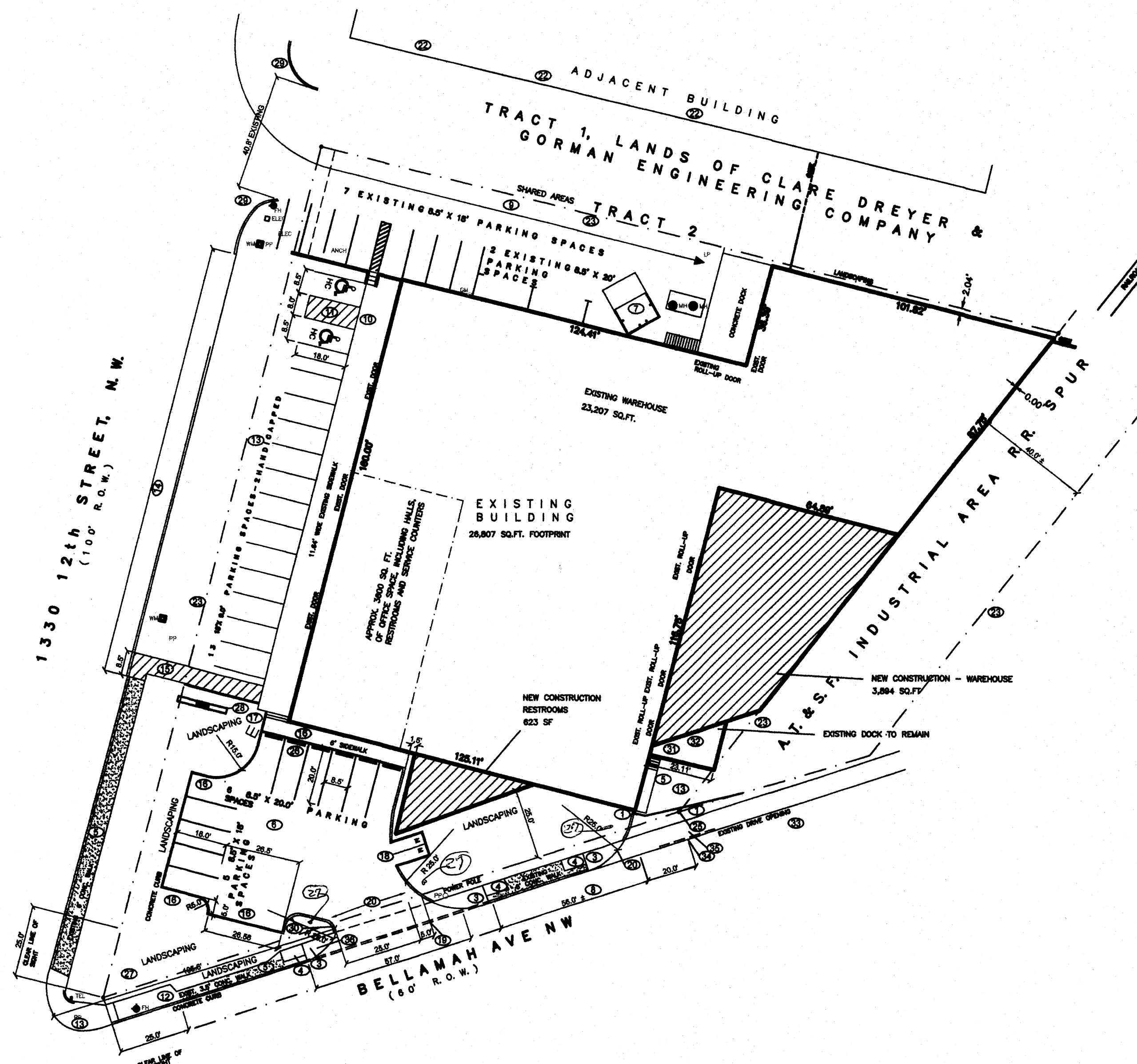
2 - NEW CONSTRUCTION

THIS WILL ADD ADDITIONAL WAREHOUSING (3,894 SF) ON THE EAST AND A TOILET / JANITORIAL STORAGE AREA (623 SF) ON THE SOUTH SIDE FOR A TOTAL OF 11 ADDITIONAL NEW PARKING SPACES.

THE PARKING ON THE WEST WILL BE MODIFIED BY DESIGNATING 2 - 8'-0" X 20'-0" ADA PARKING SPACES WITH AN 8' WIDE CROSSED. A NEW 6'-WIDE PEDESTRIAN ACCESS WILL BE LOCATED AT THE SOUTH END OF THE WEST PARKING LOT. HATCHED AREA FOR ADA ACCESS AT THE EXISTING PARKING SPACES. THIS RESULTS IN PARKING SPACES FOR: 13 CARS + 2 ADA SPACES.

THE LANDSCAPING REQUIREMENT IS 10 FEET ALONG 12 TH STREET AND 11 FEET ALONG BELLAMAH AVENUE.

PARKING AND LANDSCAPING ARE ADDED TO COMPLY WITH THE CODES.

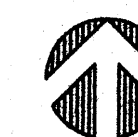


PROPOSED SITE PLAN

KEYED NOTES

- EXISTING GATES.
- REMOVE CURB AND GUTTER.
- NEW CONCRETE WALK, PER CABQ DRAWING 2426.
- NEW ADA 8'-LONG RAMP, PER CABQ DRAWING 2426.
- EXISTING CONCRETE WALK AND CURB.
- NEW ASPHALT.
- RELOCATED REFUSE SITE.
- EXISTING DRIVE PAD.
- DELIVERY VEHICLE ROUTE.
- ADA PARKING SIGNAGE PER 66-7-352.4C NMSA PAGE 2.
- "NO PARKING" IN CAPITAL LETTERS 12" HIGH AND 2" WIDE MINIMUM ON AISLE, NEAR WEST END PER 66-1-4.8 NMSA.
- EXTEND 6'-WIDE SIDEWALK 4' WEST OF FIRE HYDRANT.
- EXISTING ASPHALT.
- EXISTING LAYDOWN CURB.
- NEW 6-FOOT WIDE ADA PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE, PER DPM.
- NEW 6" HIGH CURBING.
- BICYCLE RACK.
- MOTORCYCLE SPACES.
- REMOVE EXISTING 3'-6" CONCRETE SIDEWALK AND CURB.
- NEW CURB CUT AND DRIVE PAD, PER CABQ DRAWING 2426.
- EXISTING DRIVE PAD.
- EXISTING 8'X8' DOORS.
- PROPERTY LINE.
- PROPOSED 4'-WIDE 8'-LONG ADA RAMP.
- CORNER OF PROPERTY.
- 6'-LONG CONCRETE BUMPER BLOCKS.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT.
- EXISTING SIGN.
- EXISTING CURB.
- RADIUS = 5.0'
- NEW 3'X7' DOOR.
- NEW 8'X8' ROLL-UP DOOR.
- EXISTING DRIVE PAD TO AT & SF PROPERTY.
- REMOVE EXISTING 6'-WIDE SIDEWALK AND CURB.
- NEW DRIVE PAD, ACCESS TO DOCK.
- NEW 6'-WIDE CONCRETE WALK.

- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING WALK



1" = 30.0'



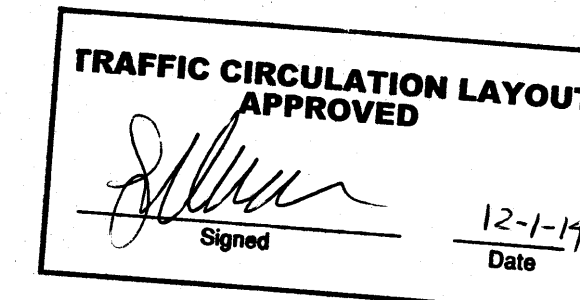
ZONE ATLAS MAP J-13

DOWN TOWN SECTOR PLAN

NTS

PARKING REQUIREMENTS

EXISTING	SQ. FT.	REQ'D.	PROVIDED
OFFICE	3,800 / 2,000	18	NORTH 11 WEST 17
WAREHOUSING	23,207 / 2,000	12	
		SUBTOTAL	30
TRANSIT CREDIT 10 % REDUCTION PARKING REQUIRED		3	
		TOTAL	27
EXISTING TOTAL CARS			28 PROVIDED
NEW CONSTRUCTION			
EXISTING OFFICE: 3,800 SF + NEW TOILETS 623 SF	4,223 / 200	21	NORTH 10 WEST 13 ADA 2 SOUTH 11
EXISTING WAREHOUSE NEW WAREHOUSING	23,207 3,894		
	27,101 / 2,000	14	
		SUBTOTAL	35
TRANSIT CREDIT 10 % REDUCTION		- 3	
PARKING REQUIRED		TOTAL	32
			36 PROVIDED
BICYCLE SPACES MOTORCYCLE SPACES		2 2	2 2



Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MUST HAVE TRUNCATED DOMES.

REVISIONS

DATE

BY

st price design studio 2014

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PROJECT: GORMAN WAREHOUSE

LOCATION: 1330 12th STREET NW, ALBUQUERQUE, NM 87104

DATE: 11.11.2014

TCL

NEW MEXICO

ARCHITECT

10-000430

ALBUQUERQUE, NM

GORMAN WAREHOUSE

1330 12th STREET NW

ALBUQUERQUE, NEW MEXICO 87104

st price design studio

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Joseph B. Runwinkle, Jr., ARCHITECT

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Albuquerque, New Mexico 87120

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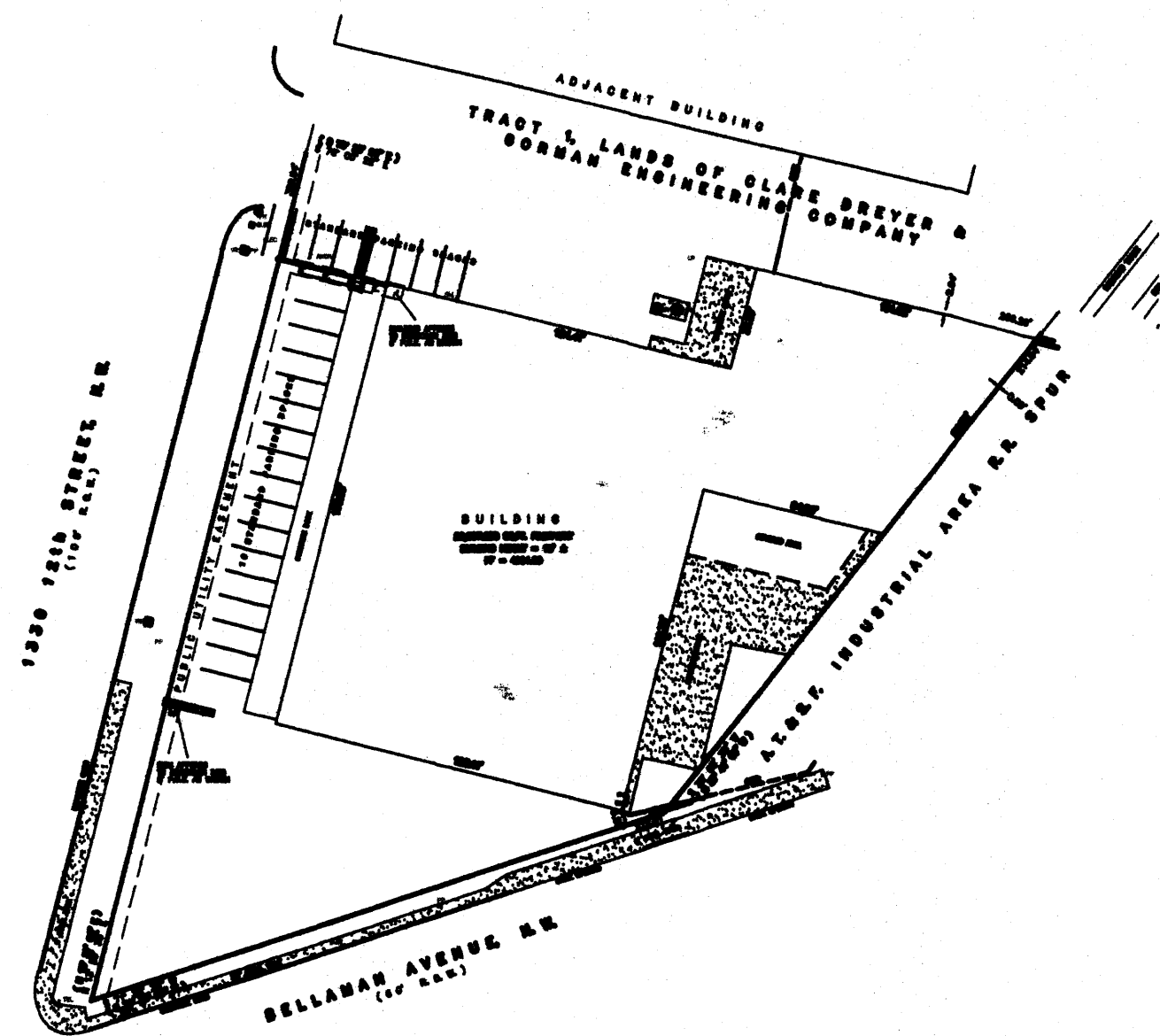
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EXISTING SITE PLAN

1" = 60.0'

PROPERTY NOTES

- ADJACENT PROPERTY (TO NORTH):
TRACT 1; LANDS OF CLARE DREYER AND GORMAN ENGINEERING
- THIS PROPERTY:
TRACT 2 LANDS OF CLARE DREYER AND GORMAN ENGINEERING

EXISTING BUILDING ON TRACT 2 WAS CONSTRUCTED AROUND 1953.
THERE HAVE BEEN TWO ADDITIONS SINCE THEN. THE LASTEST WAS IN 1962.

THE DELIVERY DOCK HAS ALWAYS BEEN LOCATED AT THE NE CORNER OF
THE FIRST BUILDING.
THE EXISTING FUNCTIONS OF THIS BUILDING HAS NOT CHANGED OVER
THE PAST 60+ YEARS.
BOTH TRACTS SHARE A COMMON ACCESS TO 12 TH STREET.

GENERAL NOTES

1 - EXISTING PARKING

THE WEST (MAIN) PARKING OF 17 CARS HAS NOT CHANGED IN 60 YEARS.
THE EXISTING NORTH PARKING OF 11 CARS WILL BE REDUCED BY ONE TO
ALLOW RELOCATION OF THE DUMPSTER FROM THE SOUTH NEW
CONSTRUCTION AREA.

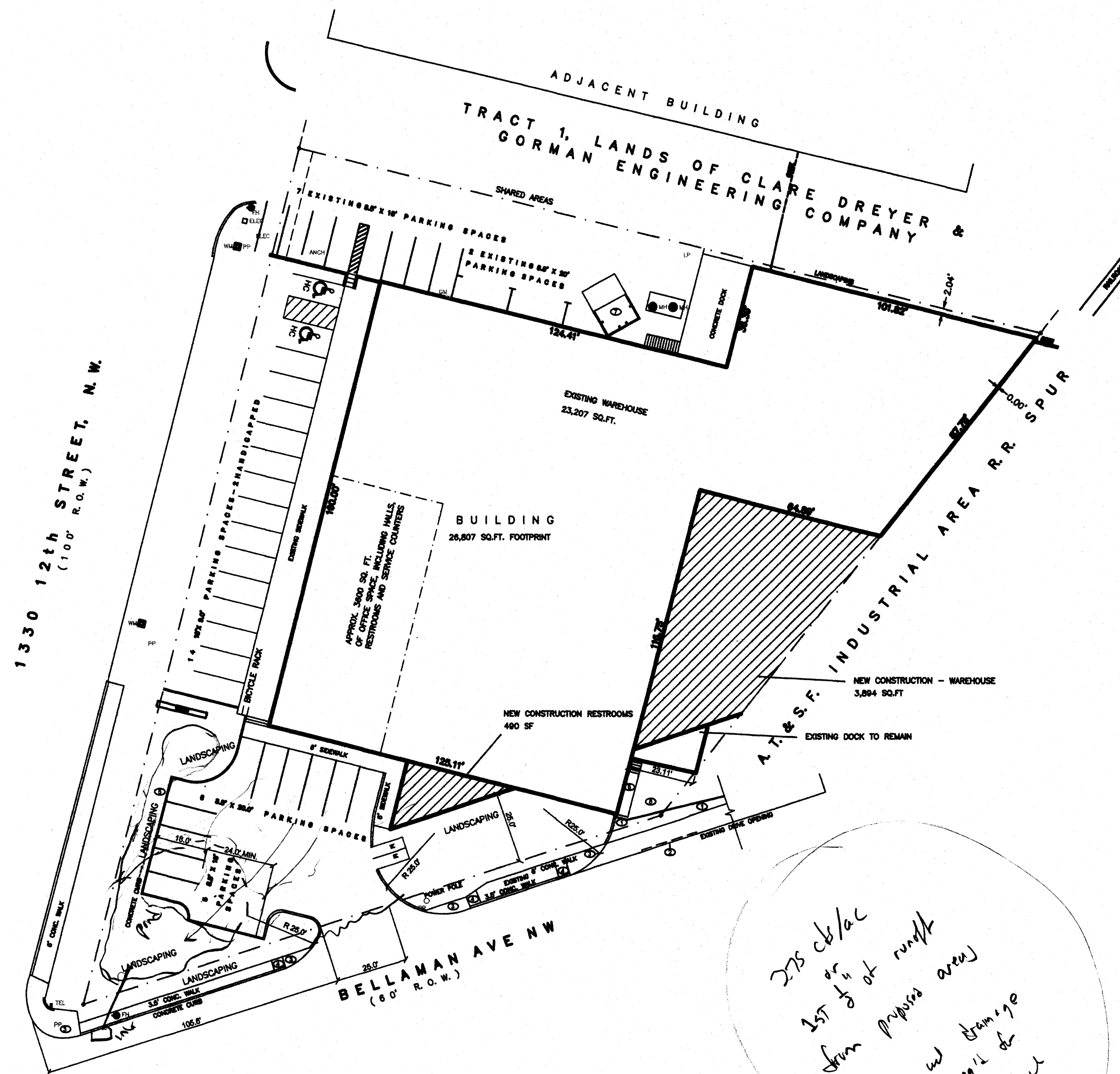
2 - NEW CONSTRUCTION

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THE EAST AND A TOILET / JANITORIAL STORAGE AREA (490 SF) ON THE
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THE PARKING ON THE WEST WILL BE MODIFIED BY DESIGNATING
2 - 8'-0" X 20'-0" ADA PARKING SPACES WITH AN 8' WIDE CROSSED
HATCHED AREA FOR ADA ACCESS AT THE EXISTING PARKING SPACES.
THIS RESULTS IN PARKING SPACES FOR: 14 CARS + 2 ADA SPACES.

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11 FEET ALONG BELLAMAH AVENUE.

PARKING AND LANDSCAPING ARE ADDED TO COMPLY WITH THE CODES.

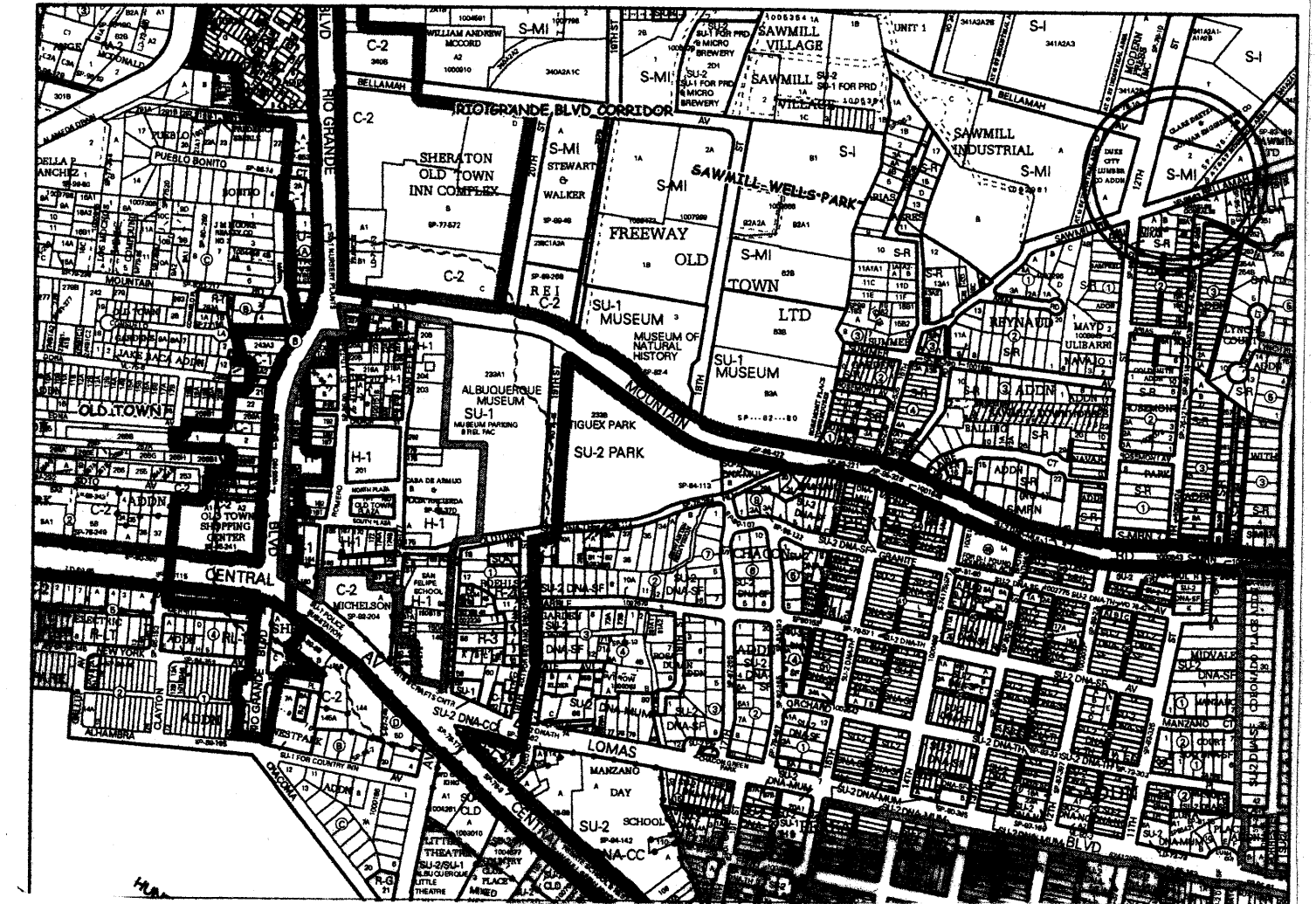


PROPOSED SITE PLAN

1" = 30.0'

KEYED NOTES

1. EXISTING GATES.
2. REMOVE CURB AND SIDEWALK.
3. NEW CONCRETE WALK.
4. NEW RAMP AND CONES.
5. EXISTING CONCRETE WALK.
6. NEW ASPHALT.
7. RELOCATED REFUSE SITE.



ZONE ATLAS MAP J-13

DOWN TOWN SECTOR PLAN

NTS

PARKING REQUIREMENTS

EXISTING	SQ. FT.	REQ'D.	PROVIDED
OFFICE	3,800 / 2,000	18	NORTH 11 WEST 17
WAREHOUSING	23,207 / 2,000	12	
		SUBTOTAL	30
TRANSIT CREDIT 10 % REDUCTION PARKING REQUIRED		3	
		TOTAL	27
EXISTING TOTAL CARS			28 PROVIDED
NEW CONSTRUCTION			
EXISTING OFFICE: 3,800 SF + NEW TOILETS 490 SF	4,090 / 200	20	NORTH 10 WEST 14 ADA 2 SOUTH 11
EXISTING WAREHOUSE NEW WAREHOUSING	23,207 3,894		
	27,101 / 2,000	14	
		SUBTOTAL	34
TRANSIT CREDIT 10 % REDUCTION		-3	
PARKING REQUIRED		TOTAL	31
			37 PROVIDED
BICYCLE SPACES		2	2
MOTORCYCLE SPACES		2	2

REVISIONS

DATE	BY

st price design studio 2014

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11.11.2014

GORMAN WAREHOUSE
1330 12th STREET NW
ALBUQUERQUE, NEW MEXICO 87104

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3700 Coors Blvd. NW Suite E
Albuquerque, New Mexico 87120 505.345.3950

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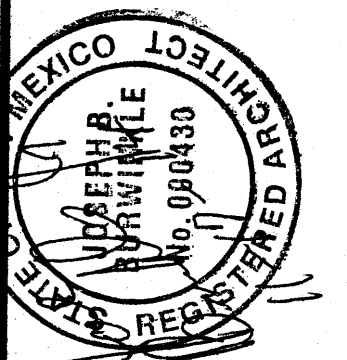
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LAND DEVELOPMENT SECTION

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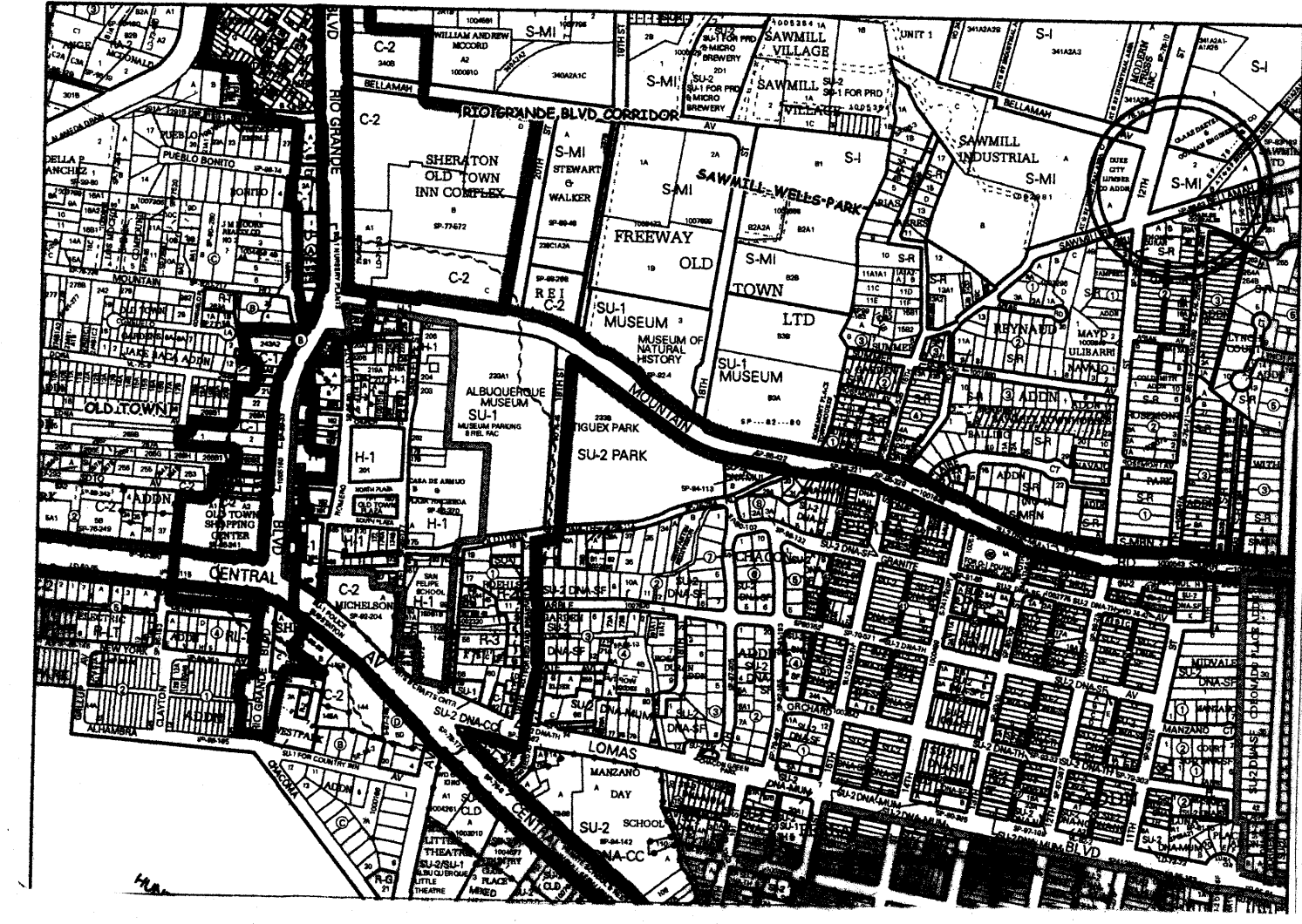
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11.11.2014

GORMAN WAREHOUSE
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ALBUQUERQUE, NEW MEXICO 87104

St Price
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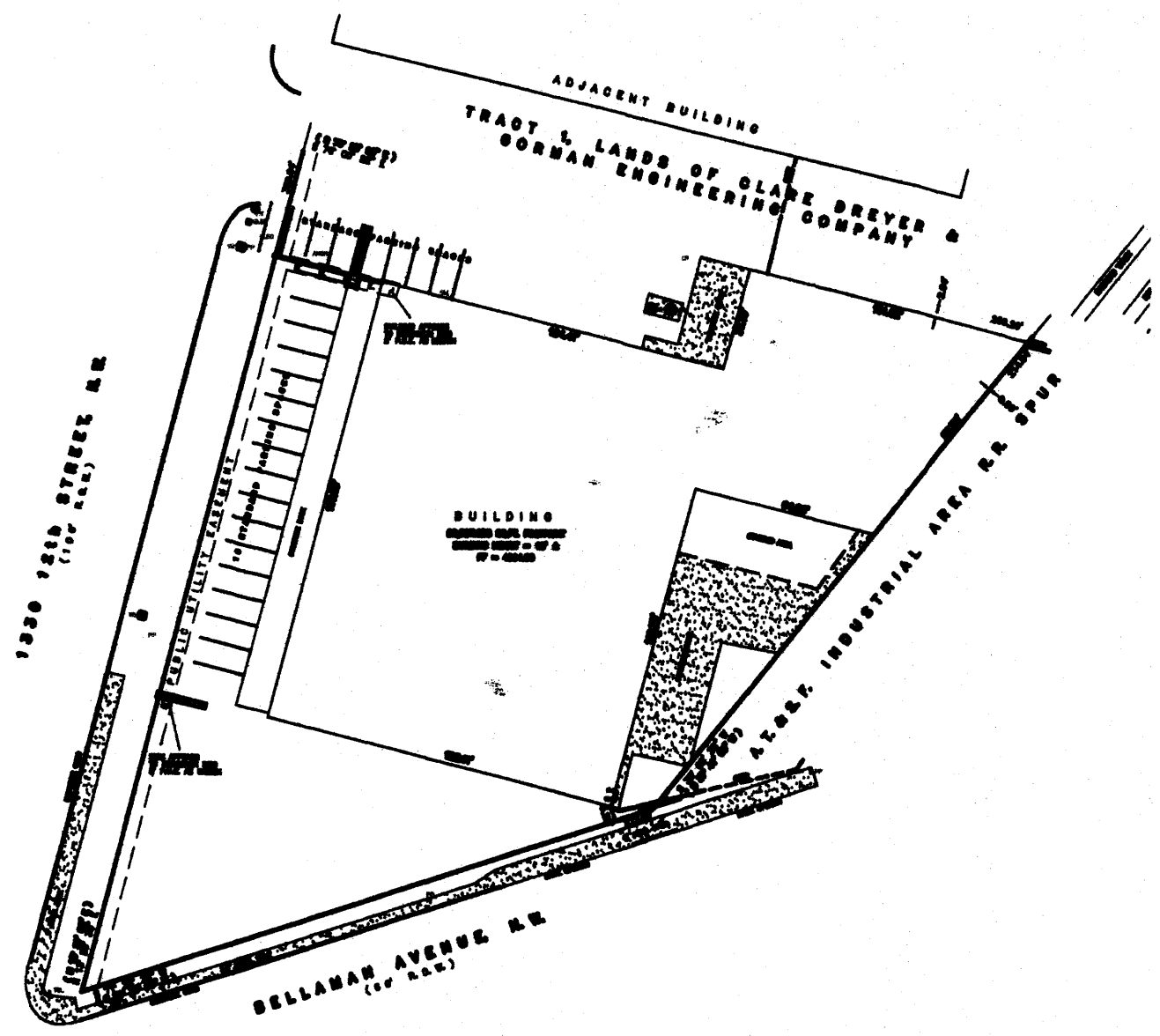


ZONE ATLAS MAP J-13
DOWNTOWN SECTOR PLAN

NTS

PARKING REQUIREMENTS

EXISTING	SQ. FT.	REQ'D.	PROVIDED
OFFICE	3,600 / 2,000	18	NORTH 11 WEST 17
WAREHOUSING	23,207 / 2,000	12	
		SUBTOTAL	30
TRANSIT CREDIT 10 % REDUCTION PARKING REQUIRED		3	
		TOTAL	27
EXISTING TOTAL CARS			28 PROVIDED
NEW CONSTRUCTION			
EXISTING OFFICE: 3,600 SF + NEW TOILETS 490 SF	4,090 / 200	20	NORTH 10 WEST 14 ADA 2 SOUTH 11
EXISTING WAREHOUSE NEW WAREHOUSING	23,207 3,894		
	27,101 / 2,000	14	
		SUBTOTAL	34
TRANSIT CREDIT 10 % REDUCTION		-3	
PARKING REQUIRED		TOTAL	31
			37 PROVIDED
BICYCLE SPACES		2	2
MOTORCYCLE SPACES		2	2



EXISTING SITE PLAN



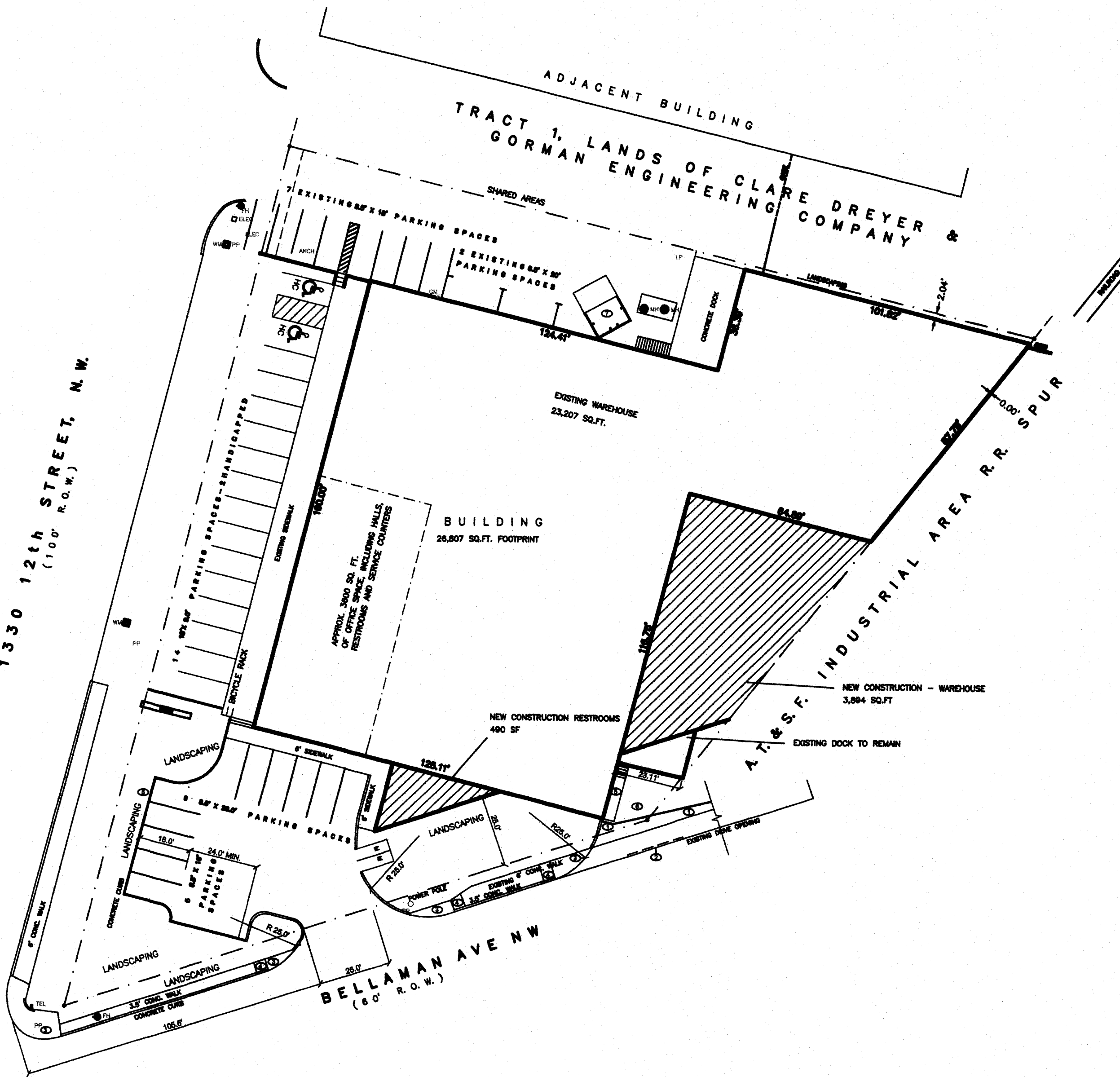
1" = 60.0'

PROPERTY NOTES

- ADJACENT PROPERTY (TO NORTH):
TRACT 1, LANDS OF CLARE DREYER AND GORMAN ENGINEERING
 - THIS PROPERTY:
TRACT 2 LANDS OF CLARE DREYER AND GORMAN ENGINEERING
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- THE DELIVERY DOCK HAS ALWAYS BEEN LOCATED AT THE NE CORNER OF THE FIRST BUILDING.
- THE EXISTING FUNCTIONS OF THIS BUILDING HAS NOT CHANGED OVER THE PAST 60+ YEARS.
- BOTH TRACTS SHARE A COMMON ACCESS TO 12 TH STREET.

GENERAL NOTES

- 1 - EXISTING PARKING
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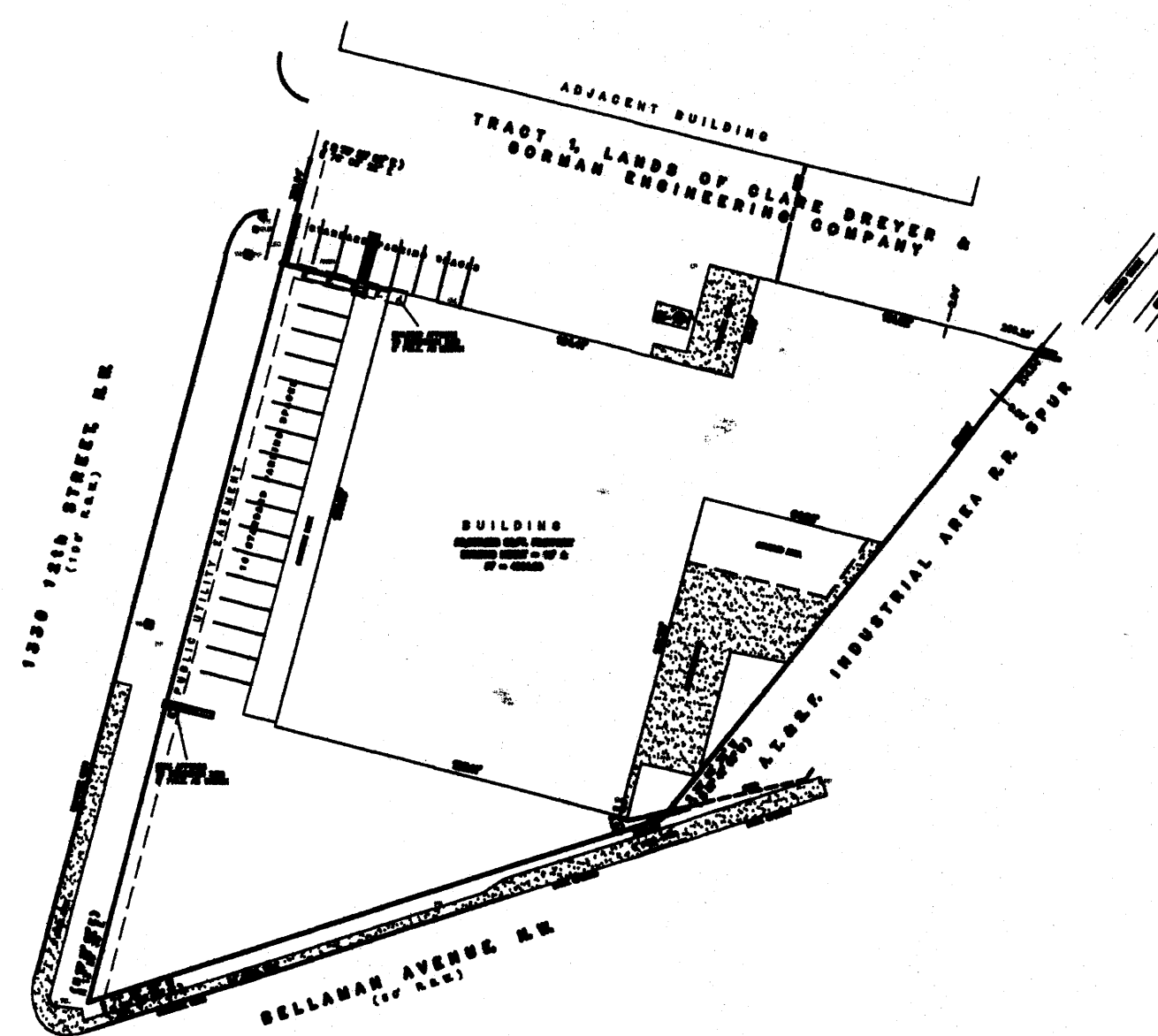
PROPOSED SITE PLAN



1" = 30.0'

KEYED NOTES

1. EXISTING GATES.
2. REMOVE CURB AND SIDEWALK.
3. NEW CONCRETE WALK.
4. NEW RAMP AND CONES.
5. EXISTING CONCRETE WALK.
6. NEW ASPHALT.
7. RELOCATED REFUSE SITE.



EXISTING SITE PLAN



PROPERTY NOTES

- ADJACENT PROPERTY (TO NORTH):
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- THIS PROPERTY:
TRACT 2 LANDS OF CLARE DREYER AND GORMAN ENGINEERING

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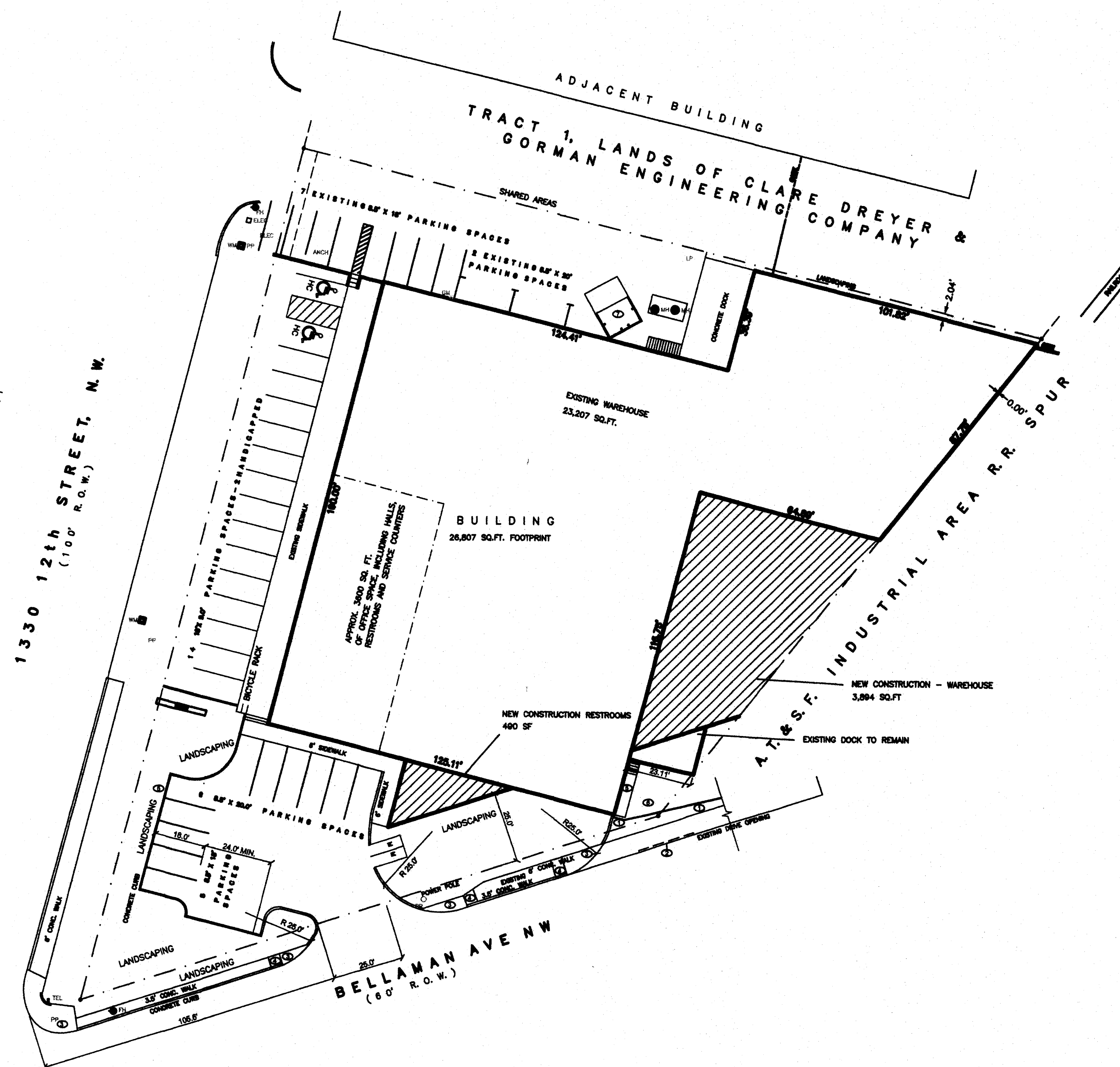
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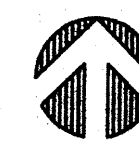
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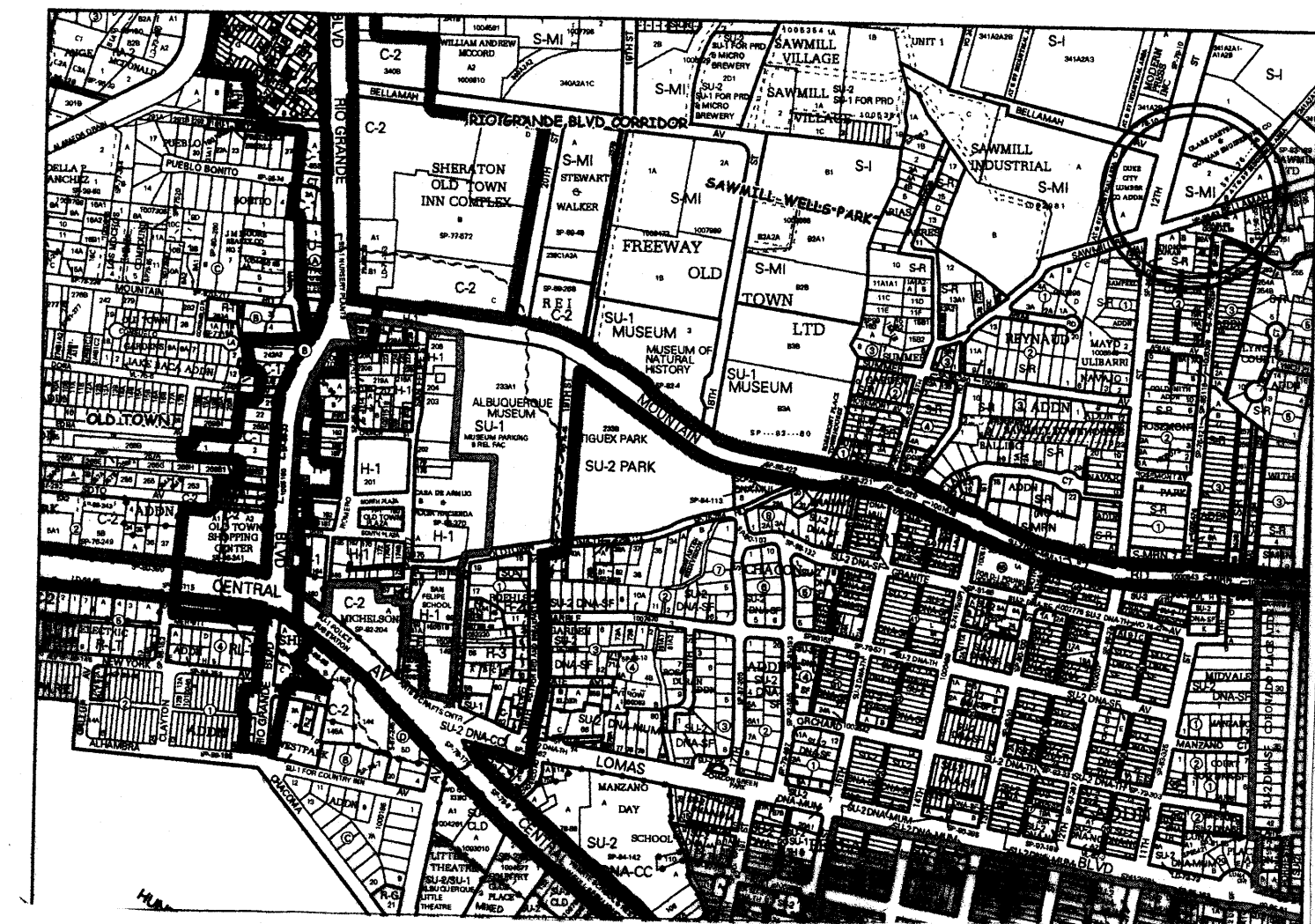


PROPOSED SITE PLAN



KEYED NOTES

1. EXISTING GATES.
2. REMOVE CURB AND SIDEWALK.
3. NEW CONCRETE WALK.
4. NEW RAMP AND CONES.
5. EXISTING CONCRETE WALK.
6. NEW ASPHALT.
7. RELOCATED REFUSE SITE.



ZONE ATLAS MAP J-13

PARKING REQUIREMENTS

EXISTING	SQ. FT.	REQ'D.	PROVIDED
OFFICE	3,600 / 2,000	18	NORTH 11 WEST 17
WAREHOUSING	23,207 / 2,000	12	
		SUBTOTAL	30
TRANSIT CREDIT 10 % REDUCTION PARKING REQUIRED		3	
		TOTAL	27
EXISTING TOTAL CARS			28 PROVIDED
NEW CONSTRUCTION			
EXISTING OFFICE: 3,600 SF + NEW TOILETS 490 SF	4,090 / 200	20	NORTH 10 WEST 14 ADA 2 SOUTH 11
EXISTING WAREHOUSE NEW WAREHOUSING	23,207 3,894		
	27,101 / 2,000	14	
		SUBTOTAL	34
TRANSIT CREDIT 10 % REDUCTION		-3	
PARKING REQUIRED		TOTAL 31	37 PROVIDED
BICYCLE SPACES MOTORCYCLE SPACES		2 2	2 2

REVISIONS

DATE	BY

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NO. 1330 12TH STREET NW
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JBB

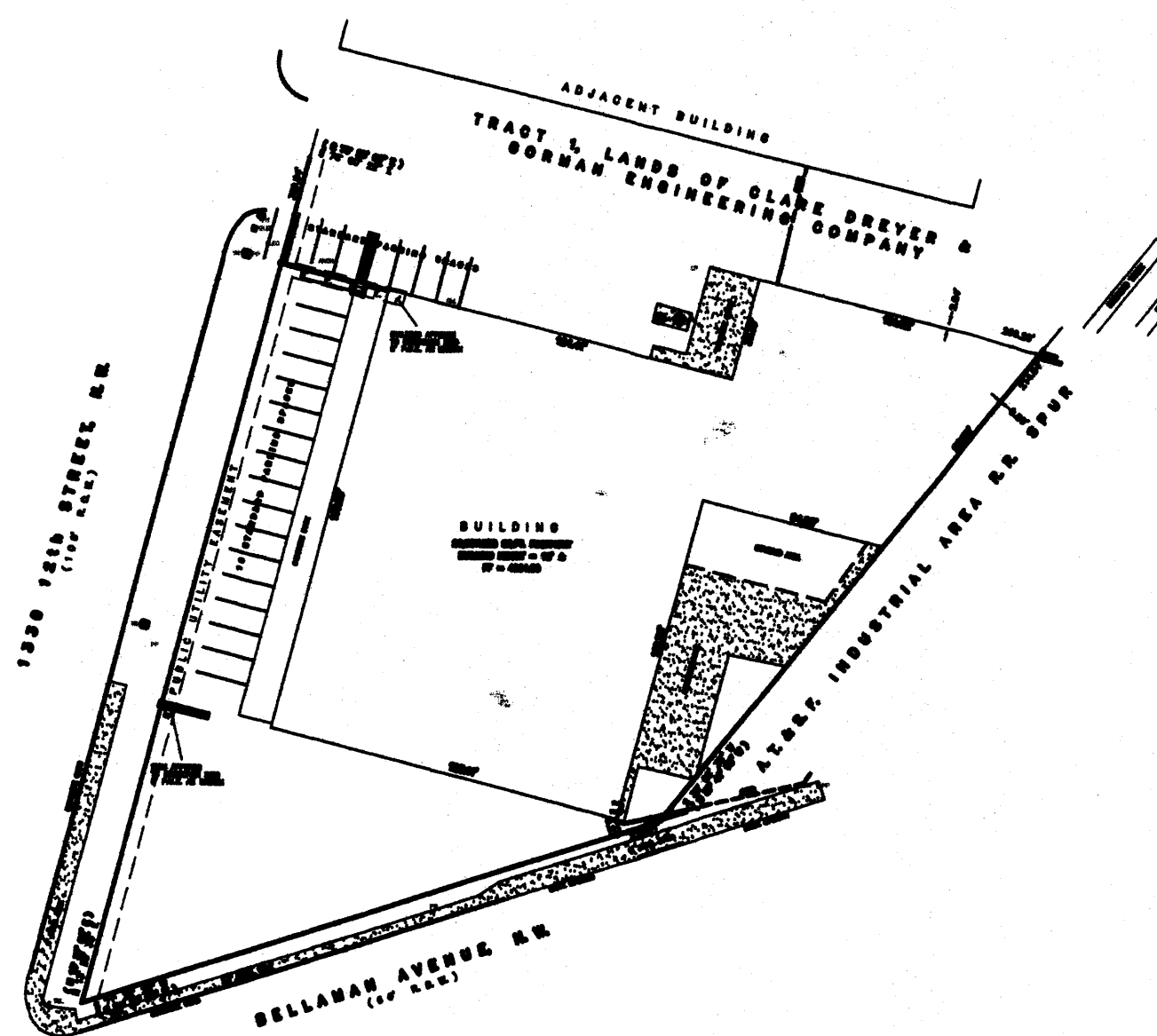
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11/11/14

SCALE
VARIES

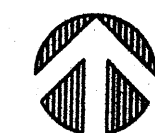
JOB NO.
14-15

SHEET
1

OF 1 SHEETS



EXISTING SITE PLAN



1" = 60.0'

PROPERTY NOTES

- ADJACENT PROPERTY (TO NORTH):
TRACT 1; LANDS OF CLARE DREYER AND GORMAN ENGINEERING
- THIS PROPERTY:
TRACT 2 LANDS OF CLARE DREYER AND GORMAN ENGINEERING

EXISTING BUILDING ON TRACT 2 WAS CONSTRUCTED AROUND 1953.
THERE HAVE BEEN TWO ADDITIONS SINCE THEN. THE LASTEST WAS IN 1962.

THE DELIVERY DOCK HAS ALWAYS BEEN LOCATED AT THE NE CORNER OF THE FIRST BUILDING.
THE EXISTING FUNCTIONS OF THIS BUILDING HAS NOT CHANGED OVER THE PAST 60+ YEARS.
BOTH TRACTS SHARE A COMMON ACCESS TO 12 TH STREET.

GENERAL NOTES

1 - EXISTING PARKING

THE WEST (MAIN) PARKING OF 17 CARS HAS NOT CHANGED IN 60 YEARS.
THE EXISTING NORTH PARKING OF 11 CARS WILL BE REDUCED BY ONE TO ALLOW RELOCATION OF THE DUMPSTER FROM THE SOUTH NEW CONSTRUCTION AREA.

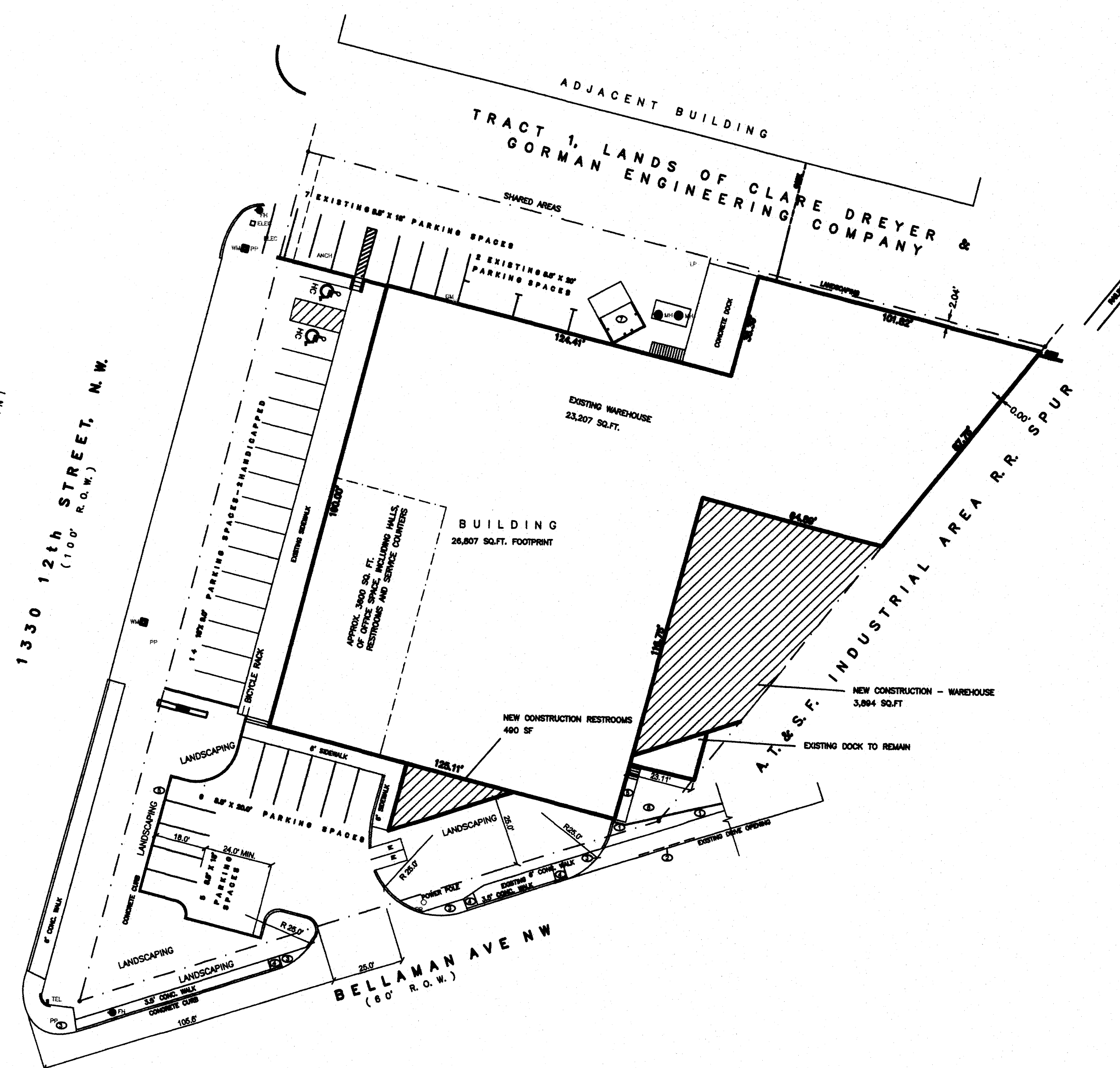
2 - NEW CONSTRUCTION

THIS WILL ADD ADDITIONAL WAREHOUSING (3,894 SF) ON THE EAST AND A TOILET / JANITORIAL STORAGE AREA (490 SF) ON THE SOUTH SIDE FOR A TOTAL OF 11 ADDITIONAL NEW PARKING SPACES.

THE PARKING ON THE WEST WILL BE MODIFIED BY DESIGNATING 2 - 8'-0" X 20'-0" ADA PARKING SPACES WITH AN 8' WIDE CROSSED HATCHED AREA FOR ADA ACCESS AT THE EXISTING PARKING SPACES. THIS RESULTS IN PARKING SPACES FOR: 14 CARS + 2 ADA SPACES.

THE LANDSCAPING REQUIREMENT IS 10 FEET ALONG 12 TH STREET AND 11 FEET ALONG BELLAMAH AVENUE.

PARKING AND LANDSCAPING ARE ADDED TO COMPLY WITH THE CODES.



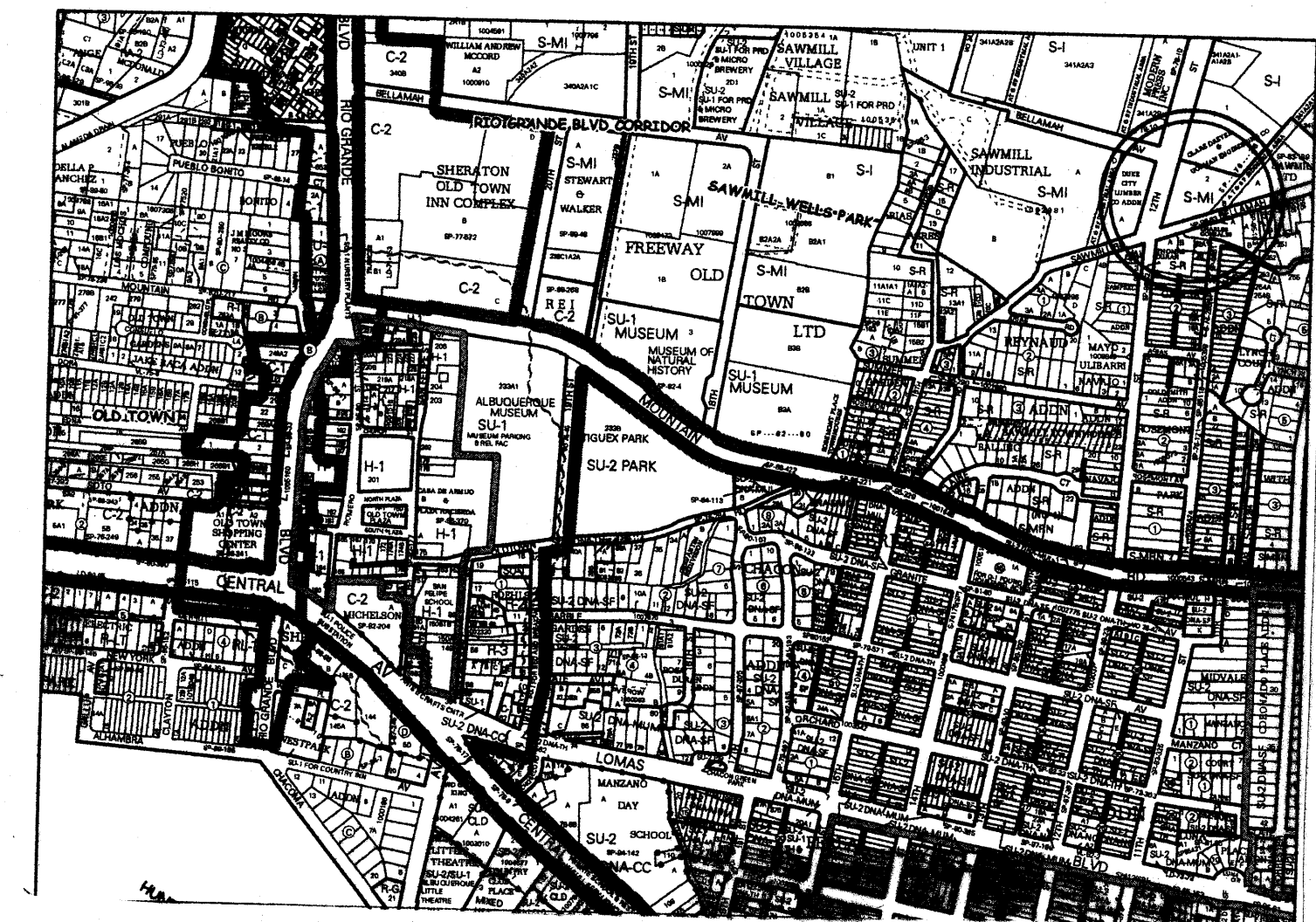
PROPOSED SITE PLAN



1" = 30.0'

KEYED NOTES

1. EXISTING GATES.
2. REMOVE CURB AND SIDEWALK.
3. NEW CONCRETE WALK.
4. NEW RAMP AND CONES.
5. EXISTING CONCRETE WALK.
6. NEW ASPHALT.
7. RELOCATED REFUSE SITE.



ZONE ATLAS MAP J-13

DOWN TOWN SECTOR PLAN

NTS

PARKING REQUIREMENTS

EXISTING	SQ. FT.	REQ'D.	PROVIDED
OFFICE	3,600 / 2,000	18	NORTH 11 WEST 17
WAREHOUSING	23,207 / 2,000	12	
		SUBTOTAL	30
TRANSIT CREDIT 10 % REDUCTION PARKING REQUIRED		3	
		TOTAL	27
EXISTING TOTAL CARS			28 PROVIDED
NEW CONSTRUCTION			
EXISTING OFFICE: 3,600 SF + NEW TOILETS 490 SF	4,090 / 200	20	NORTH 10 WEST 14 ADA 2 SOUTH 11
EXISTING WAREHOUSE NEW WAREHOUSING	23,207 3,894		
	27,101 / 2,000	14	
		SUBTOTAL	34
TRANSIT CREDIT 10 % REDUCTION PARKING REQUIRED		-3	
		TOTAL	31
			37 PROVIDED
BICYCLE SPACES MOTORCYCLE SPACES		2 2	2 2

GORMAN WAREHOUSE
1330 12th STREET NW
ALBUQUERQUE, NEW MEXICO 87104

St. Price
st price design studio
Joseph B. Burnside Jr. ARCHITECT
3700 Court Blvd. NW, Suite E
Albuquerque, New Mexico 87120 505.345.3650

DRAWN

EJP

CHECKED

JBB

DATE

11/11/14

SCALE

VARIES

JOB NO.

14-15

SHEET

1

OF 1 SHEETS