

CITY OF ALBUQUERQUE



March 2, 2016

ST Price Design
Susan Price
3700 Coors Blvd., NW
Albuquerque, NM 87120

Re: Gorman Industries, Warehouse Addition
1330 12th St., NW
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 11-26-14 (J13-D100)
Certification dated 1-13-16

Dear Ms. Price,

Based upon the information provided in your submittal received 3-2-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3630.

Sincerely,

John B. Gurulé, P.E.
Senior Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: GORMAN WAREHOUSE ADDITION Building Permit #: 1201590860 City Drainage #: J13-D100

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT 2 LANDS OF CLARE DRYER & GORMAN ENGINEERING CO

City Address: 1330 12th STREET NW

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: GORMAN INDUSTRIES Contact: ART GORMAN

Address: 1330 12th ST. NW, ALBUQUERQUE NM

Phone#: 505-247-1596 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: ST PRICE DESIGN Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: info@stpricedesign.com

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
- ☐ TRAFFIC/ TRANSPORTATION
- ☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 02-29-16 By: Susan T. PRICE

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Rec 3/2/16
[Signature]

PROPOSED SITE PLAN

KEYED NOTES

1. EXISTING GATES.
2. REMOVE CURB AND GUTTER.
3. REMOVE EXISTING SIDEWALK AND CURB.
4. NEW ADA 8' LONG RAMP, PER CABQ DRAWING 2428.
5. EXISTING CONCRETE WALK AND CURB.
6. NEW ASPHALT.
7. NEW SIDEWALK AND CURB.
8. EXISTING DRIVE PAD.
9. DELIVERY VEHICLE ROUTE.
10. ADA PARKING SIGNAGE PER 98-732 AC NIMSA
11. PAGE 10000, "IN CAPITAL LETTERS 4" HIGH AND 2" WIDE MINIMUM ON ASIDE, NEAR WEST, END PER 65-14.3 NIMSA.
12. EXTEND 8' WIDE SIDEWALK 4' WEST OF FIFTE HYDRANT.
13. EXISTING LADOWN CURB.
14. NEW ADA 8' LONG RAMP, PER CABQ DRAWING 2428.
15. NEW 6'0" SIDEWALK TO BUILDING ENTRANCE, PER DPM, REMOVE STRIPING POINT, NO PARKING AND AVOID STRIPING.
16. MOTORCYCLE SPACES.
17. REMOVE EXISTING 3'-0" CONCRETE SIDEWALK AND CURB.
18. NEW CURB OUT AND DRIVE PAD, PER CABQ DRAWING 2428.
19. EXISTING DRIVE PAD.
20. EXISTING 8' WIDE SIDEWALK.
21. PROPERTY LINE.
22. PROPOSED 4' WIDE 8' LONG ADA RAMP.
23. EXISTING 8' WIDE SIDEWALK.
24. 8' LONG CONCRETE BUMPER BLOCKS.
25. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT.

EXISTING SITE PLAN

PROPERTY NOTES

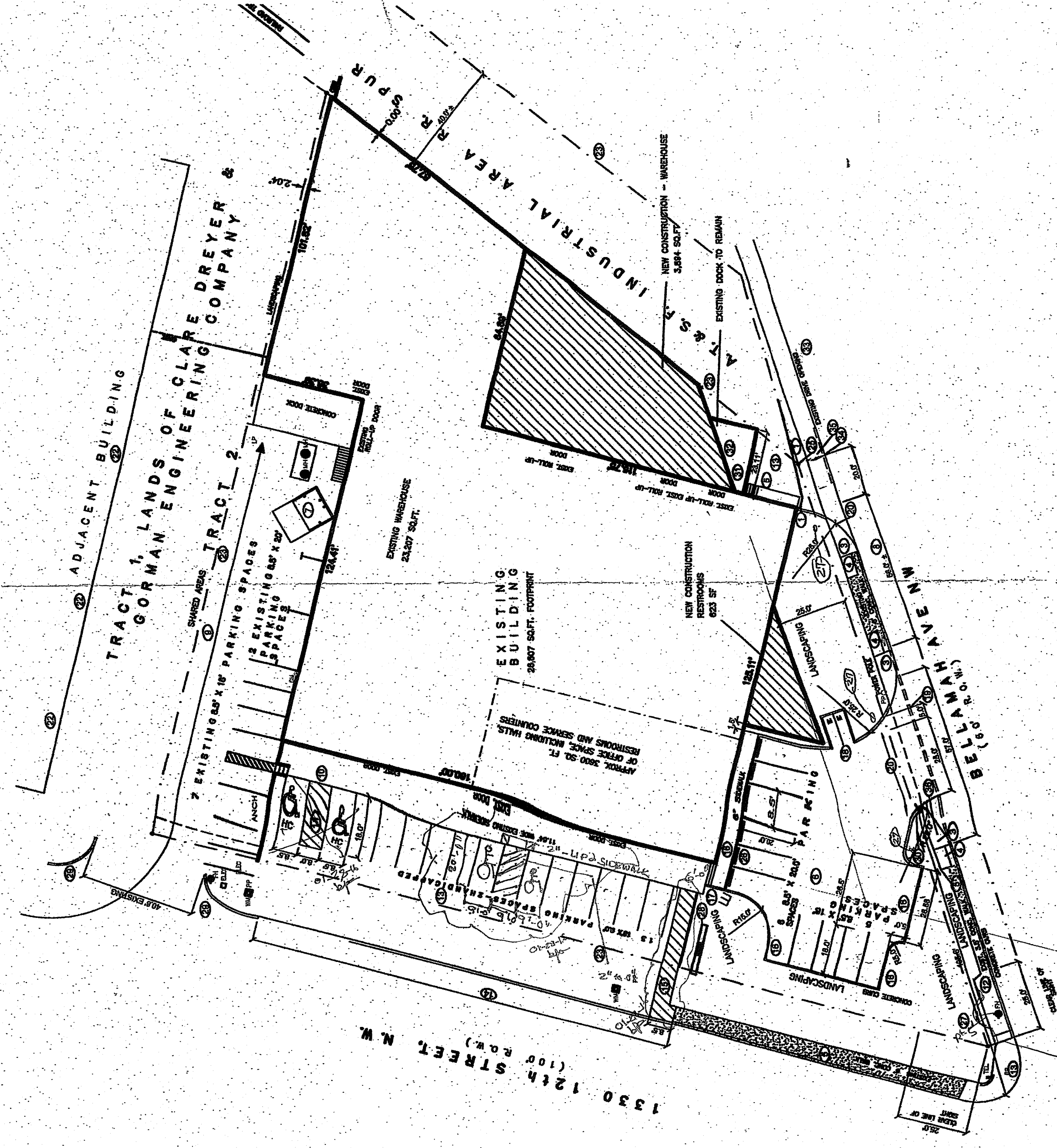
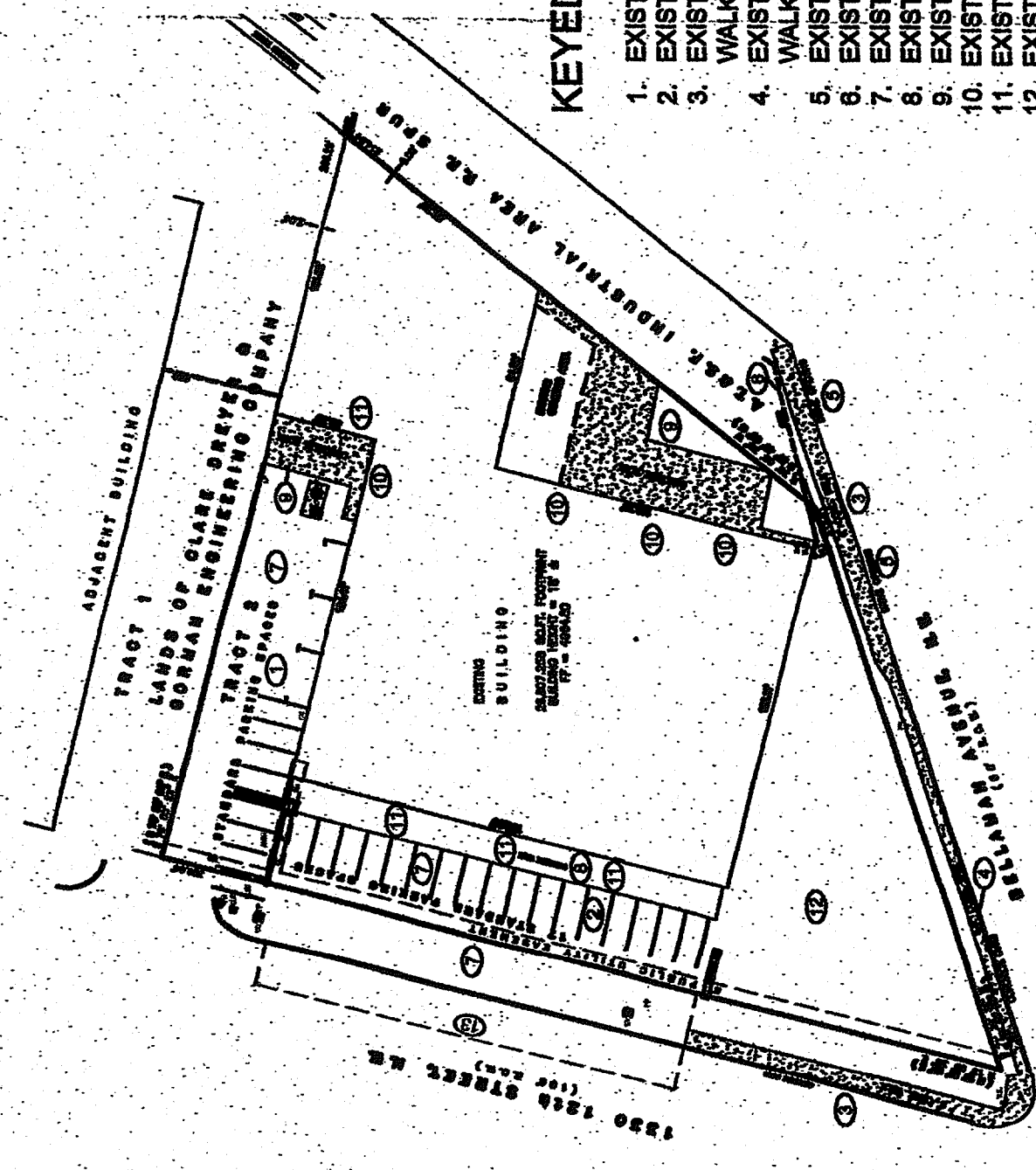
- ADJACENT PROPERTY (TO NORTH):
TRACT 1; LANDS OF CLARE DREYER AND GORMAN ENGINEERING
- THIS PROPERTY:
- TRACT 2 LANDS OF CLARE DREYER AND GORMAN ENGINEERING
- EXISTING BUILDING ON TRACT 2 WAS CONSTRUCTED AROUND 1893.
- THERE HAVE BEEN TWO ADDITIONS SINCE THEN, THE LATEST WAS IN 1892.
- THE DELIVERY DOCK HAS ALWAYS BEEN LOCATED AT THE CORNER OF THE FIRST BUILDING.
- THE EXISTING FUNCTIONS OF THIS BUILDING HAS NOT CHANGED OVER THE PAST 80+ YEARS.
- BOTH TRACTS SHARE A COMMON ACCESS TO 13 TH STREET.

GENERAL NOTES

1. - EXISTING PARKING
- THE WEST (MAIN) PARKING OF 17 CARS HAS NOT CHANGED IN 80 YEARS. THE EXISTING NORTH PARKING OF 11 CARS WILL BE REDUCED BY ONE TO ALLOW RELOCATION OF THE DUMPSTER FROM THE SOUTH NEW CONSTRUCTION AREA.
- THIS WILL ADDITIONAL WAREHOUSING (3,004 SQ FT) ON THE EAST AND A TOTAL 1 JANITORIAL STORAGE AREA (833 SF) ON THE SOUTH SIDE FOR A TOTAL OF 11 ADDITIONAL NEW PARKING SPACES.
- THE PARKING ON THE WEST WILL BE MODIFIED BY RECONFIGURING 2 - 6'x9' 24'x4' VAN PARKING SPACES WITH AN 8' WIDE CROSSED. A NEW 6' WIDE PEDESTRIAN ACCESS WILL BE LOCATED AT THE SOUTH END OF THE WEST PARKING LOT.
- THE WEST PARKING LOT
HATCHED AREA FOR ADA ACCESS AT THE EXISTING DRINKING SPACES.
THIS RESULTS IN PARKING SPACES FOR: 13 CARS + 12 VAN SPACES.
- THE LANDSCAPING REQUIREMENT IS 10 FEET ALONG 12 TH STREET AND 11 FEET ALONG BELMONT AVENUE.
- PARKING AND LANDSCAPING ARE ADDED TO COMPLY WITH THE CODES.

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1. EXISTING 11 CARS.
2. EXISTING 17 CARS.
3. EXISTING 6' WIDE CONCRETE WALK.
4. EXISTING 42" WIDE CONCRETE WALK.
5. EXISTING DRIVE OPENINGS.
6. EXISTING HENG AND GATES.
7. EXISTING ASPHALT.
8. EXISTING CONCRETE WALK.
9. EXISTING LOADING DOCK.
10. EXISTING 8X8 DOOR.
11. EXISTING 37'.
12. EXISTING DRIVE LOT.
13. EXISTING LAYDOWN CURB.

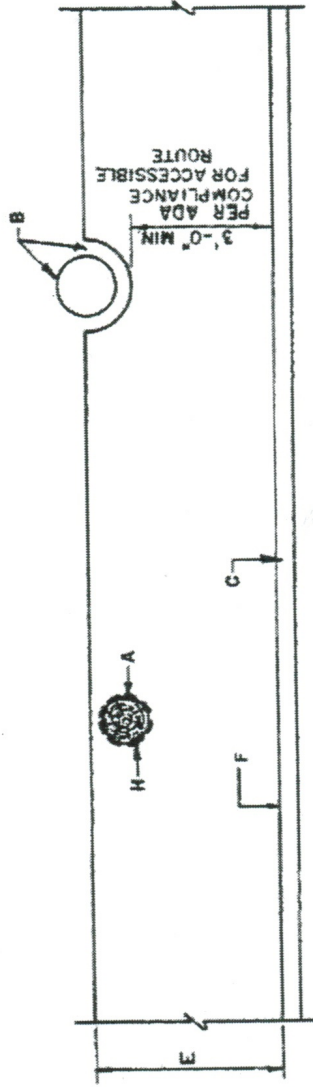


GENERAL NOTES:

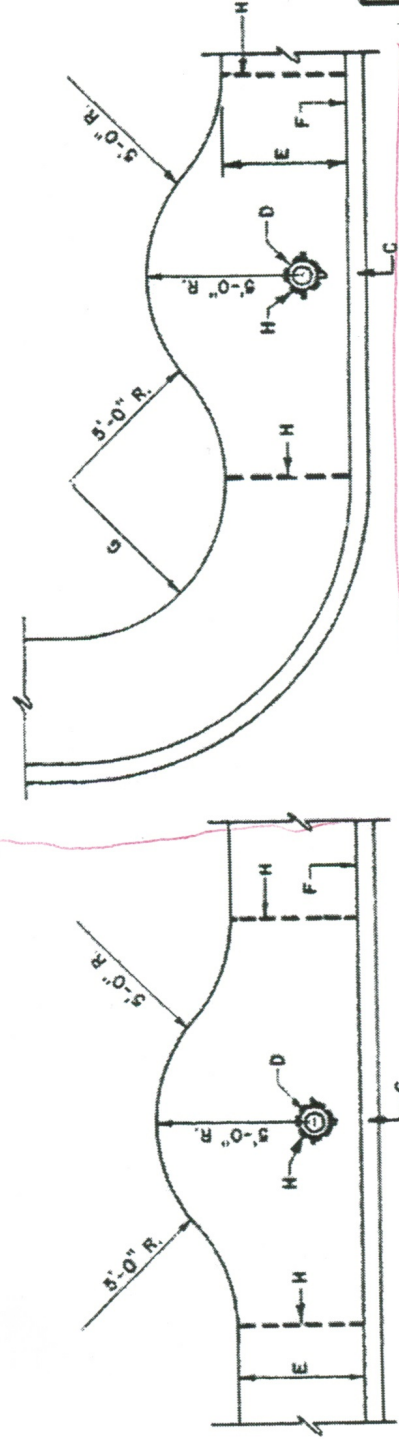
1. FOR SIDEWALK CONSTRUCTION DETAILS, SEE DWG. 2430.
2. USE WHERE AVAILABLE R/W EXIST., TO BE DETERMINED BY THE ENGINEER.
3. PROVIDE $\frac{1}{2}$ " PREFORMED EXPANSION JOINT MATERIAL AROUND ALL POWER POLES AND FIRE HYDRANTS WITHIN THE SIDEWALK ARE

CONSTRUCTION NOTES:

- A. POWER POLE.
- B. LEAVE 6" CLEARANCE ALL AROUND TREE TR
- C. TOP OF CURB.
- D. FIRE HYDRANT.
- E. SIDEWALK.
- F. BACK OF CURB.
- G. EXTERIOR EDGE OF SIDEWALK TO BE TANGENT TO ARCS.
- H. $\frac{1}{2}$ " EXPANSION JOINT MATERIAL.



Detailed used for
TCL at
1330 12st St, NW
02-29-16 bja



ON STRAIGHT STRETCH
4'-0" SIDEWALK ENCLOSING A FIRE HYDRANT
AT CURB RETURN

CITY OF ALBUQUERQUE	
PAVING	SIDEWALK OBSTRUCTION
DWG. 2431	AUG.
REVISIONS 11/14/91 4/12/94	