

CITY OF ALBUQUERQUE



February 5, 2016

George Sanders
Sanders and Associates Architects
5921 Lomas Blvd., NE
Albuquerque, NM 87110

**Re: Blue Linx Warehouse Adaptive Re-Use
1820 Bellamah NW
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated 2-1-16 (J13-D101)

Dear Mr. Sanders,

The TCL submittal received 2-1-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: BLUE LINX WAREHOUSE
ADAPTIVE RE-USE Building Permit #: _____ Hydrology File #: J13-D61
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 1820 Bellamah Ave N.W.

Applicant: George Sanders Sanders Assoc. Arch. Contact: George

Address: 5921 Lomas Blvd. N.E. Albq. N.M. 87110

Phone#: (505) 255-5040 Fax#: - E-mail: GSand18294e

outlook.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

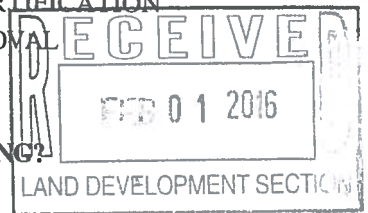
- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- AS-BUILT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- NEIGHBORHOOD IMPACT ASSESMENT (NIA)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

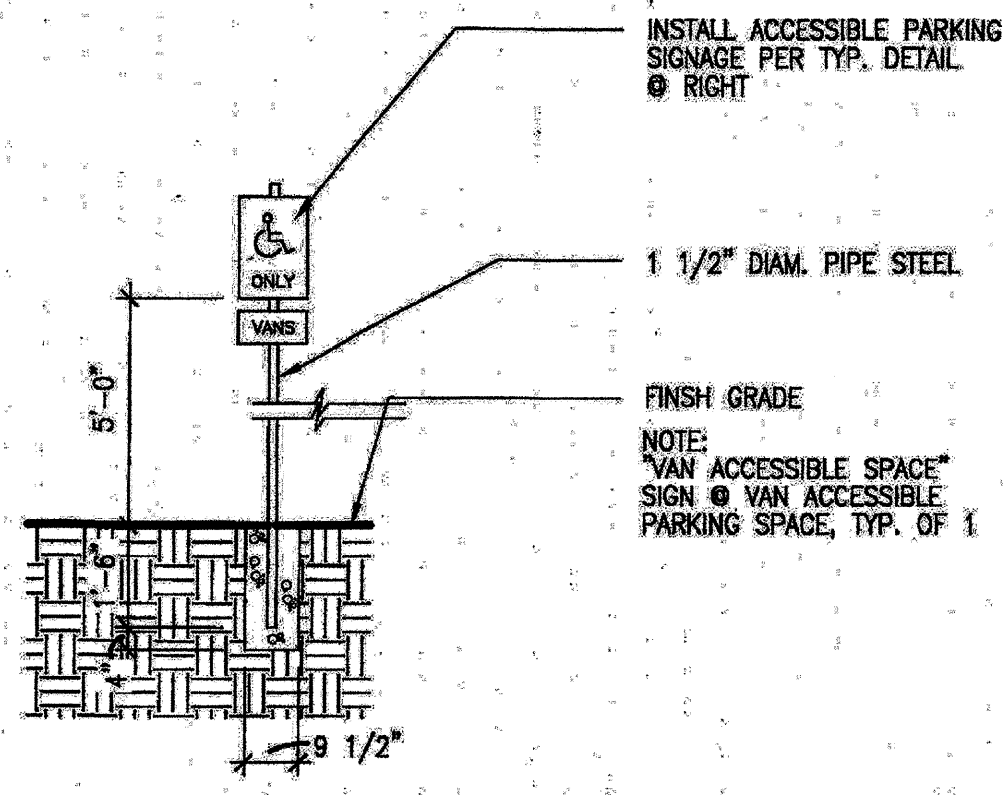
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- GRADING/ESC PERMIT APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING?
- OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: Yes No

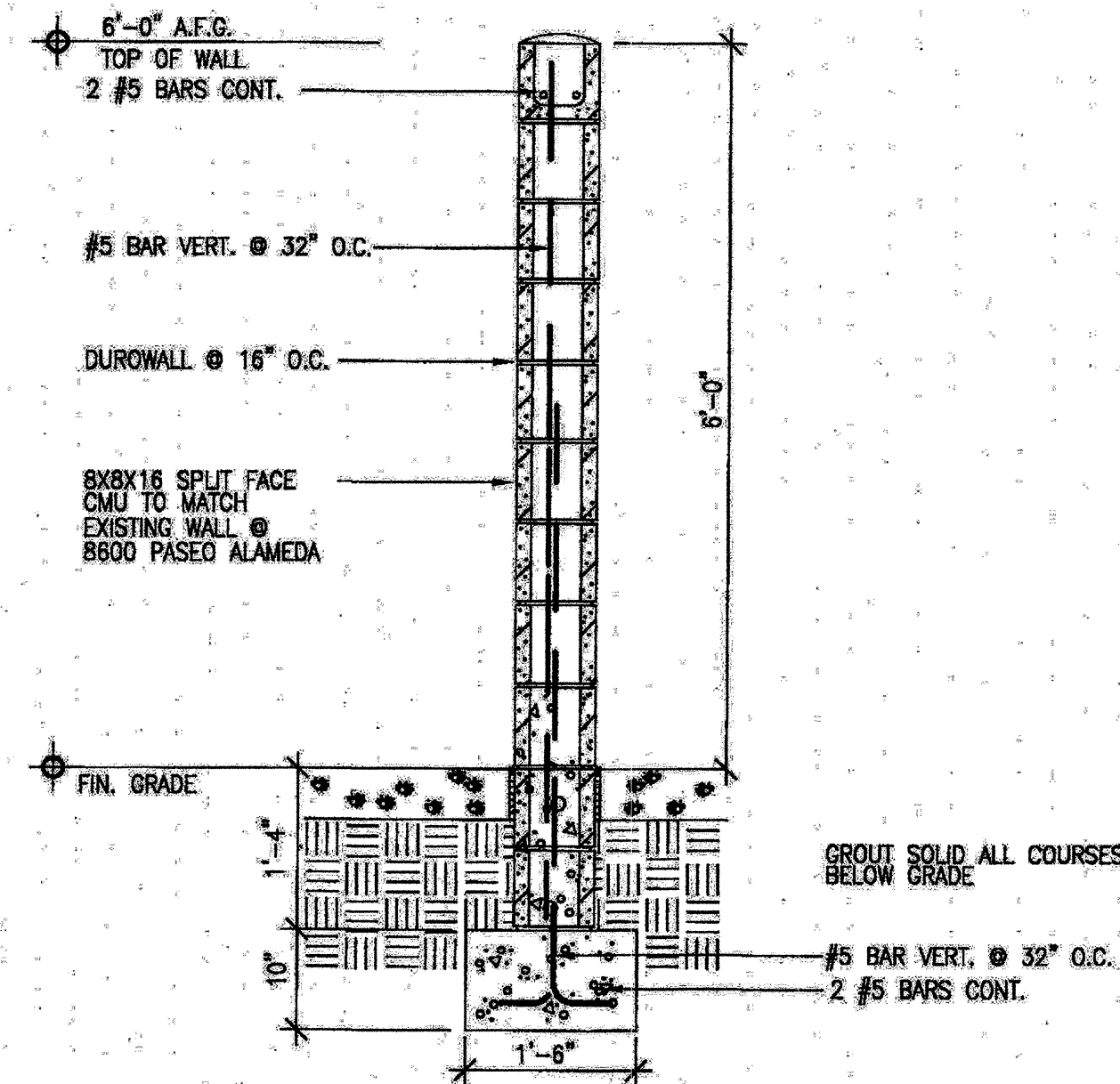
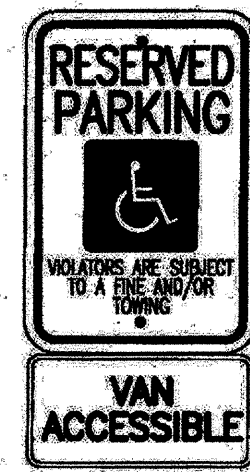
DATE SUBMITTED: 2.1.16 By: George Sanders

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____ FEE RECEIVED: _____

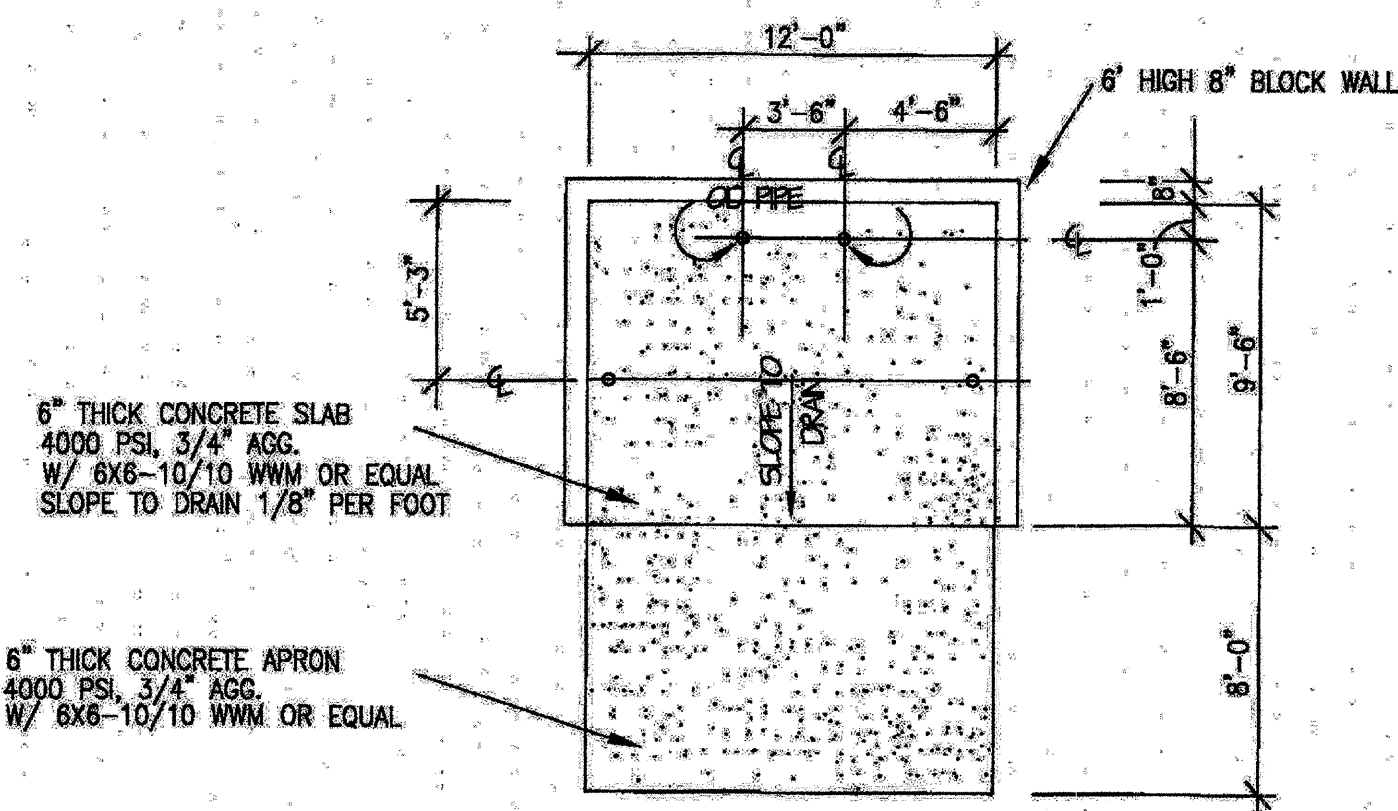


SIGN DETAIL
SCALE: 3/8" = 1'-0"

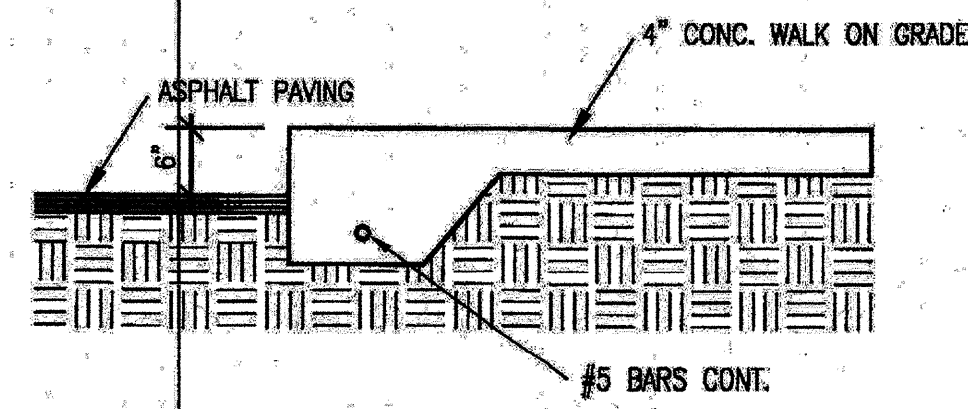
TYPICAL HANDICAP PARKING SIGN (VAN ACCESSIBLE)
SCALE: 1" = 6'-0"



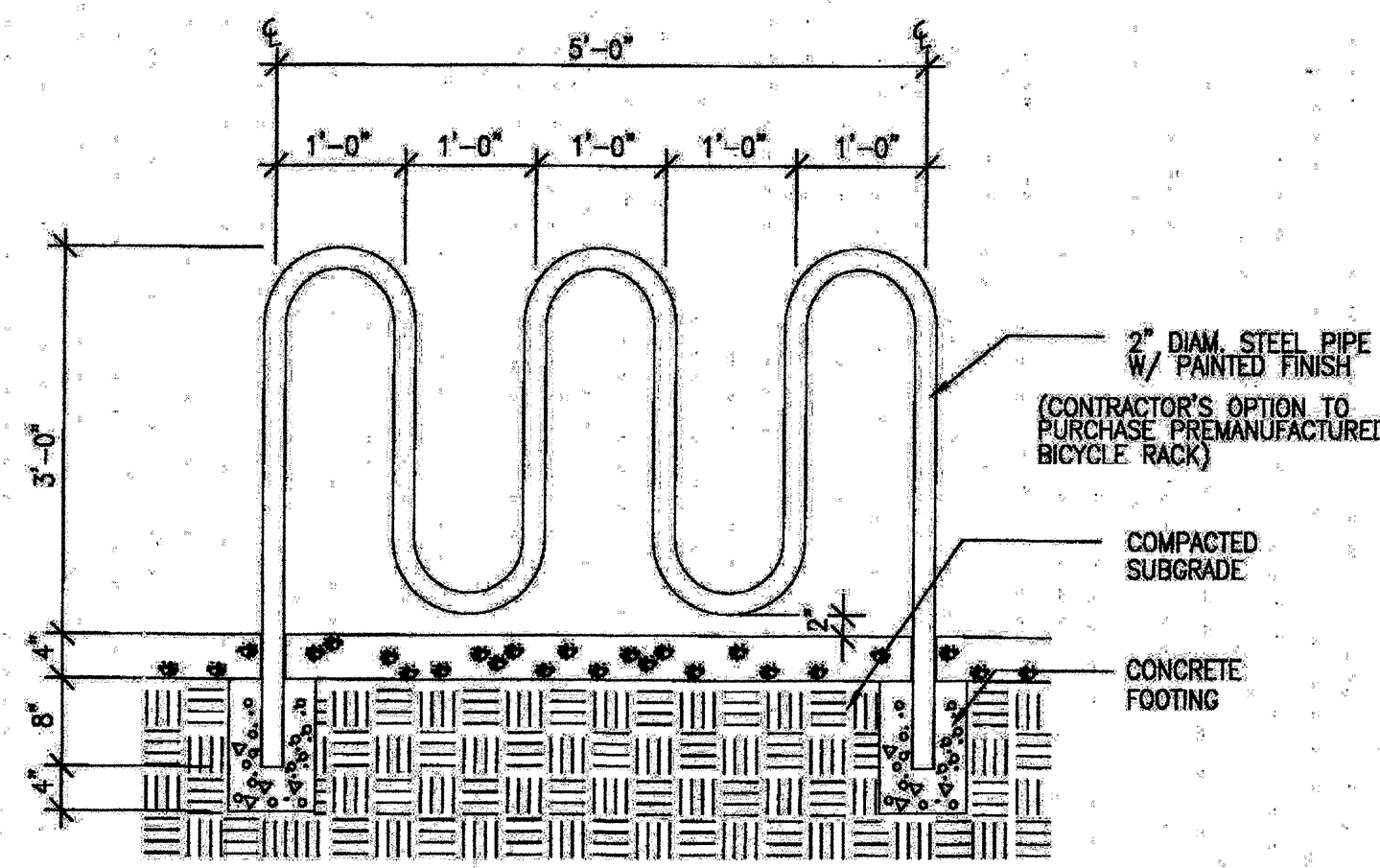
SITE WALL SECTION
SCALE: 3/4" = 1'-0"



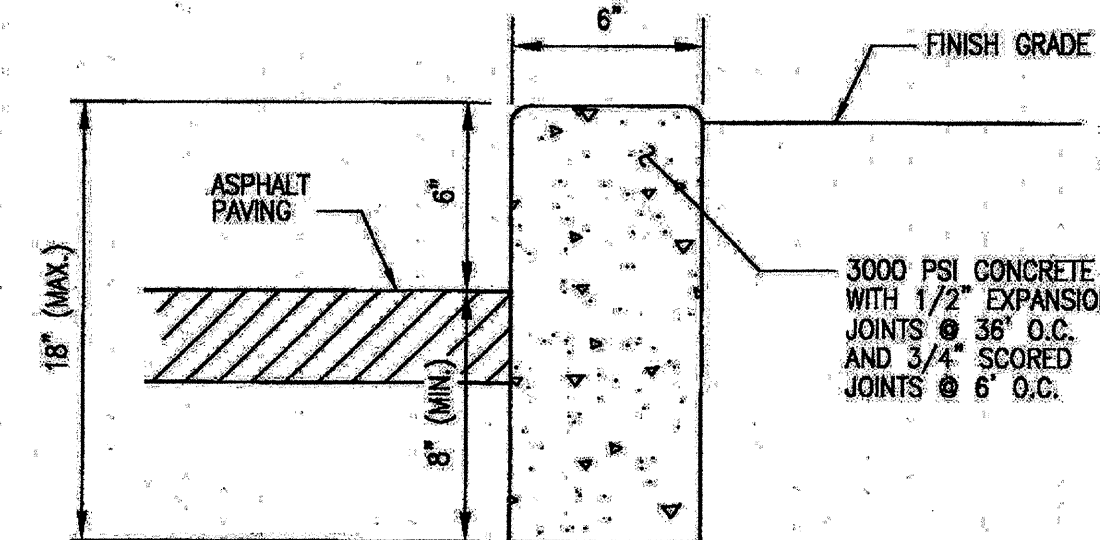
ENCLOSURE PLAN
SCALE: 3/16" = 1'-0"



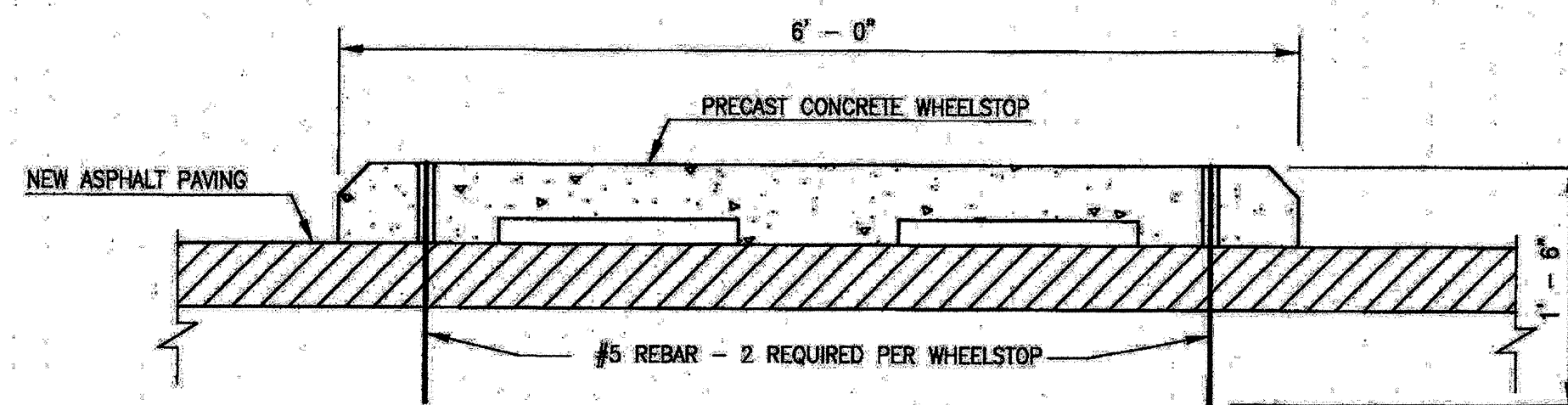
TURN DOWN EDGE
SCALE: 3/4" = 1'-0"



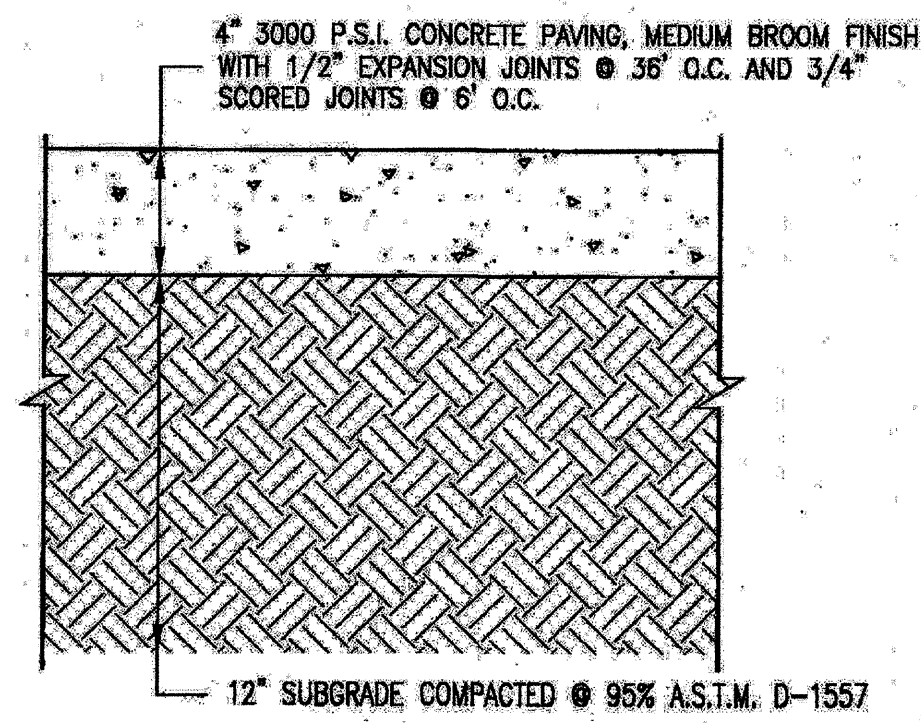
BICYCLE RACK
SCALE: 3/4" = 1'-0"



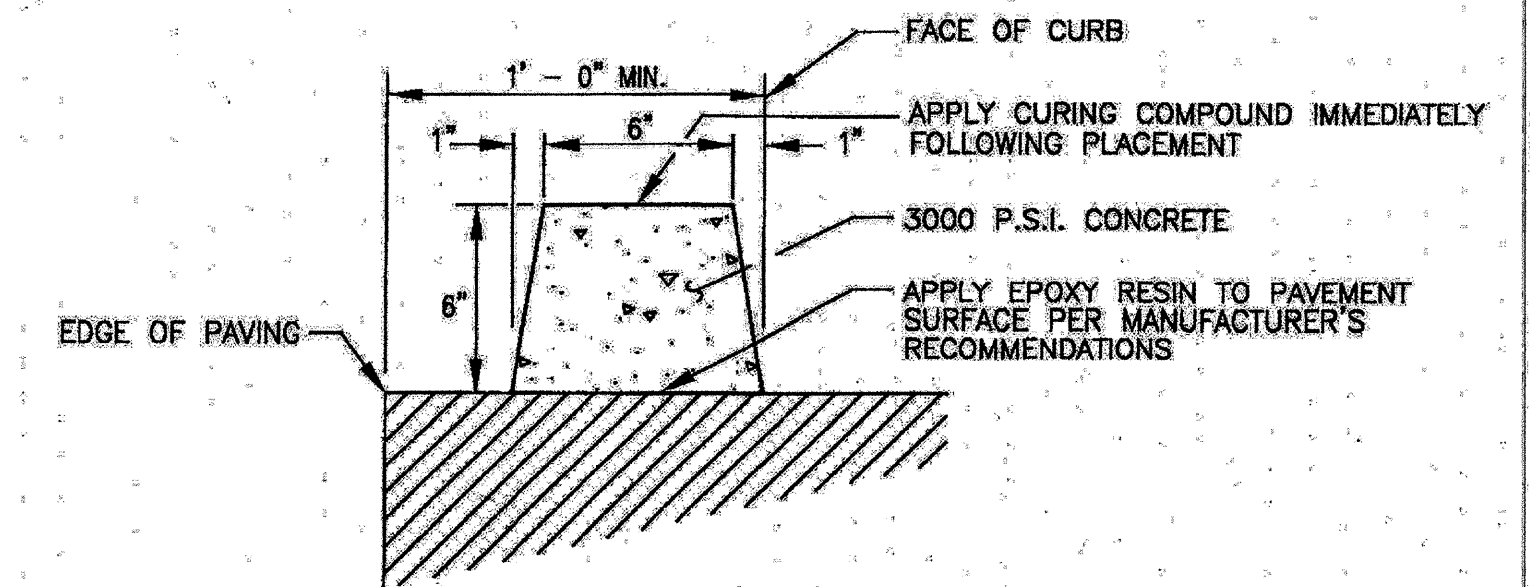
HEADER CURB SECTION
SCALE: 1" = 6'-0"



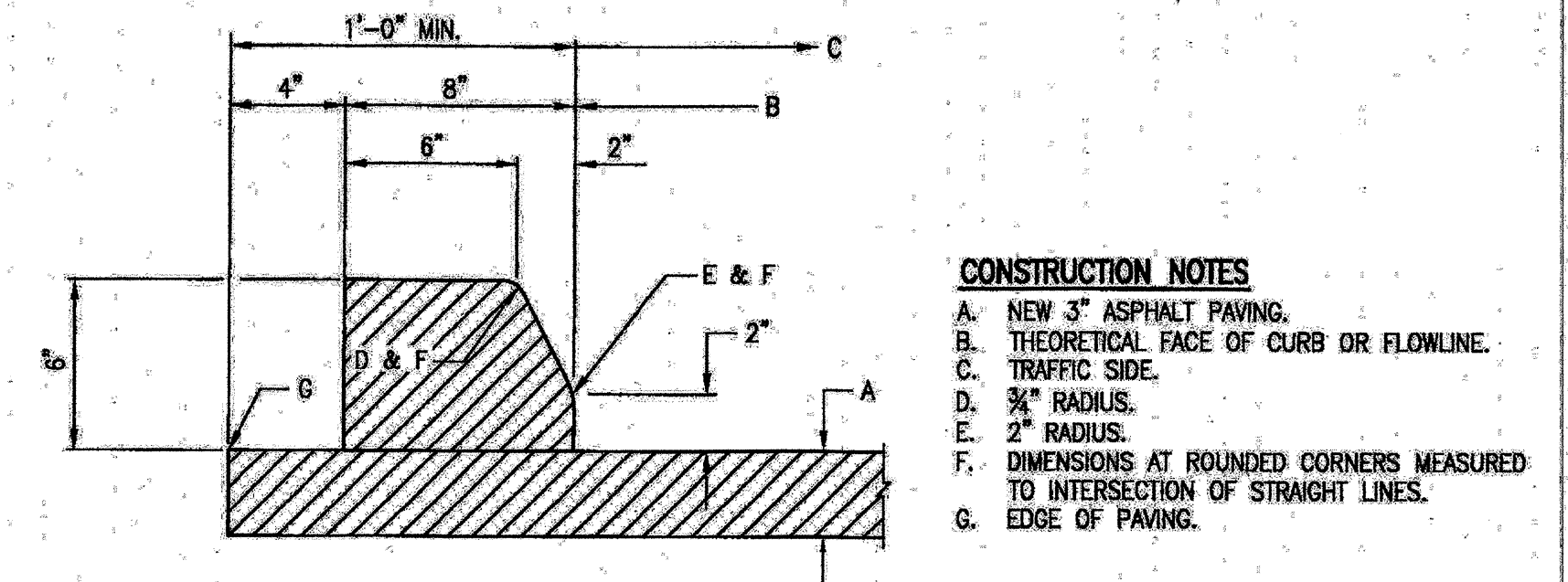
WHEELSTOP SECTION
SCALE: 1" = 1'-0"



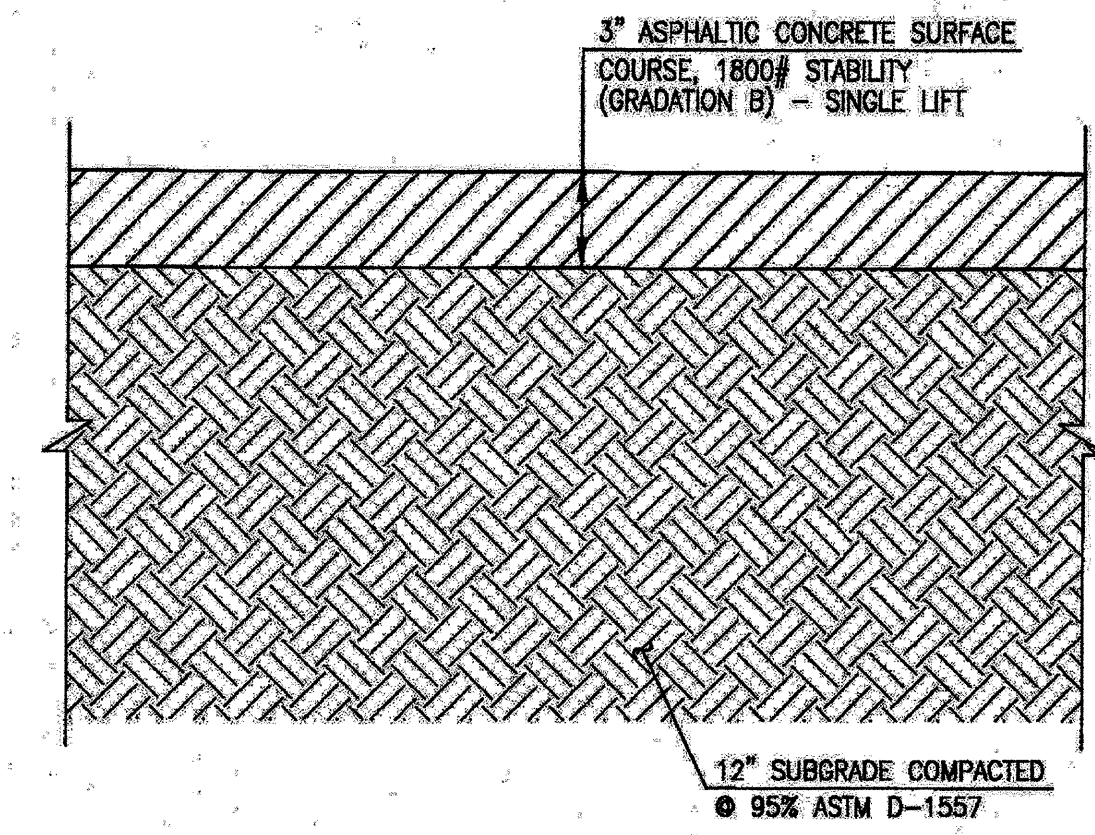
TYPICAL CONCRETE SIDEWALK SECTION
SCALE: 1" = 6'-0"



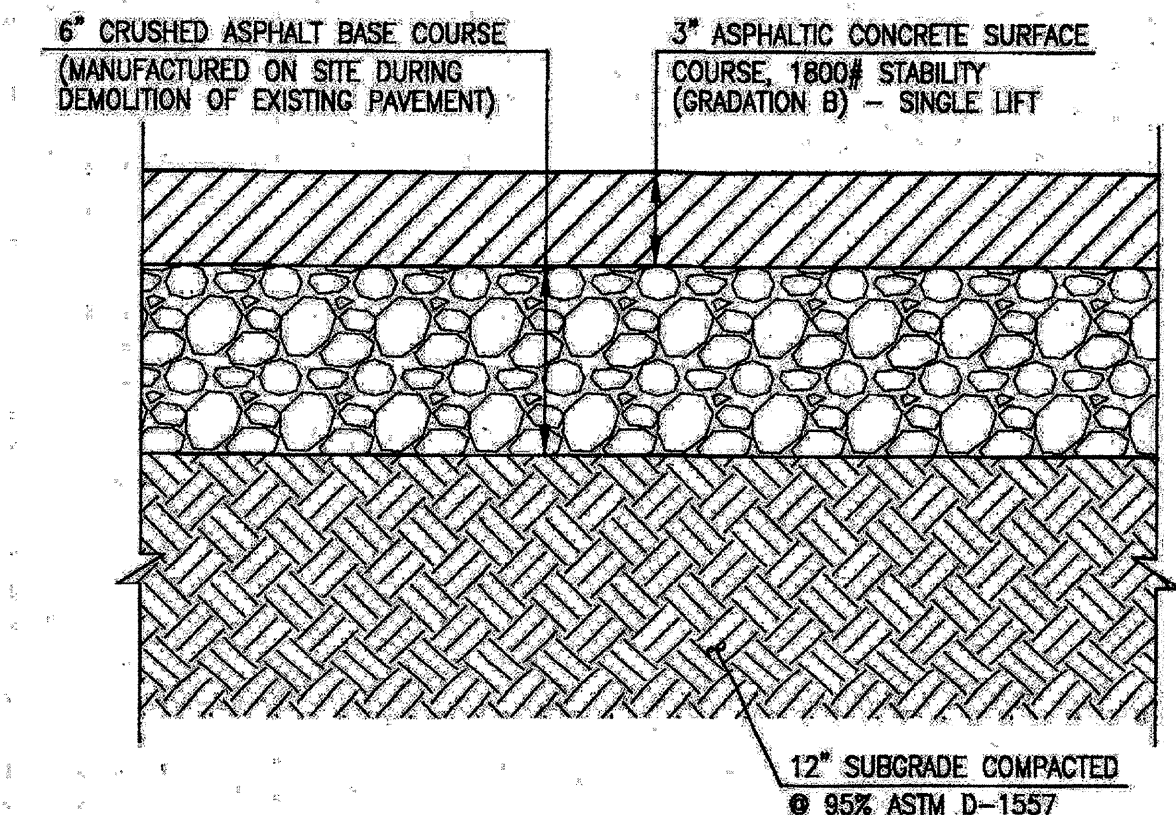
TYPICAL EXTRUDED CONCRETE CURB SECTION-BASE BID
SCALE: 1" = 6'-0"



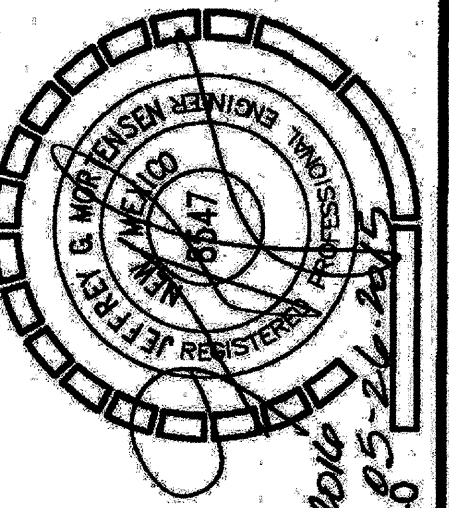
TYPICAL EXTRUDED ASPHALT CURB SECTION (ALT. SECTION)
SCALE: 1" = 6'-0"



TYPICAL 3" ASPHALT PAVING SECTION-BASE BID (VEHICULAR TRAFFIC AREAS)
SCALE: 1" = 6'-0"



TYPICAL 3" ASPHALT PAVING SECTION (ALT. SECTION) (VEHICULAR TRAFFIC AREAS)
SCALE: 1" = 6'-0"



BLUE-LINX WAREHOUSE ADAPTIVE RE-USE PROJECT
1820 BELLAMAH AVENUE N.W.
ALBUQUERQUE, NEW MEXICO
SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040



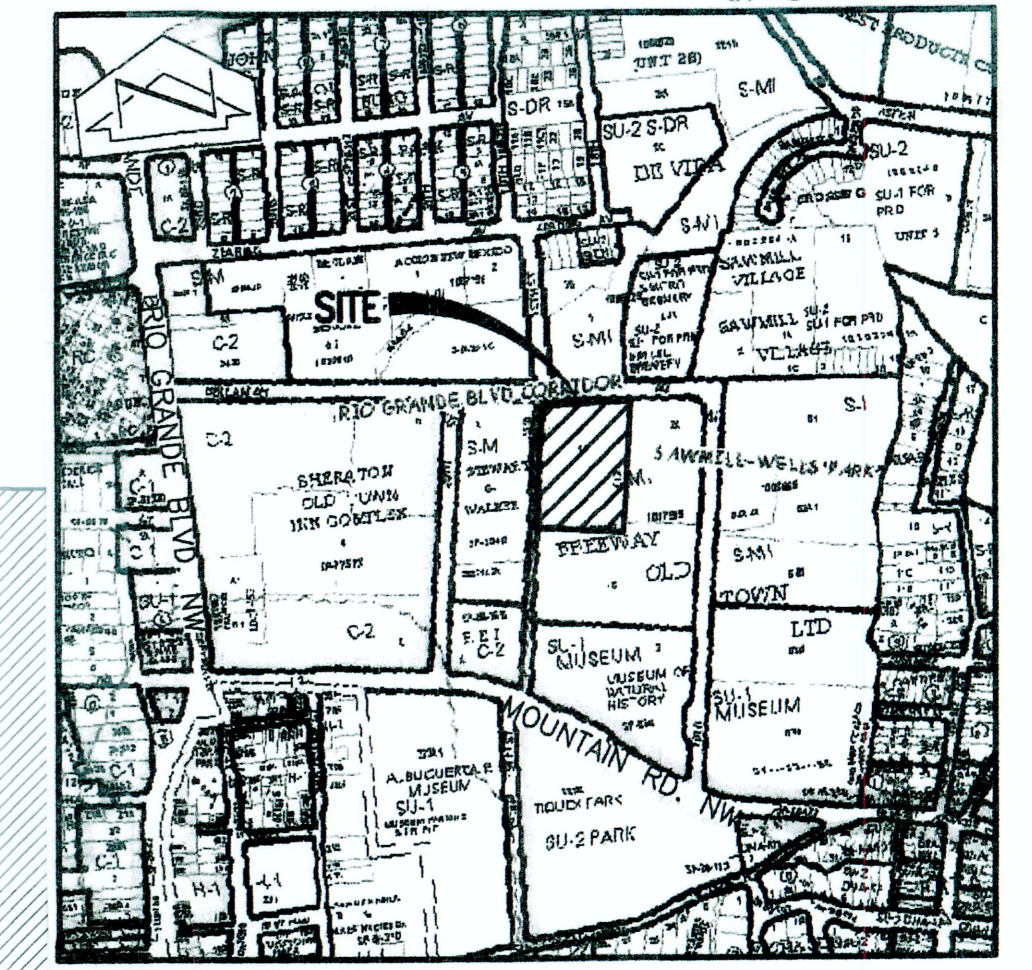
HIGH MESA Consulting Group

4010-B MIDWAY PARK BLVD. NE ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 FAX: 505.345.4254 www.highmesacg.com

PAVING DETAILS AND SECTIONS
BLUE LINX WAREHOUSE ADAPTIVE RE-USE PROJECT

| DESIGNED BY | DATE | BY | REVISIONS |
|-------------|-------|---------------|----------------------------------|
| J.D.S. | 12/15 | JGM | ADD HANDICAP PARKING SIGN DETAIL |
| DRAWN BY | | J.Y.R. S.C.C. | |
| APPROVED BY | | J.G.M. | |

2014.054.5



VICINITY MAP
 SCALE: 1" = 750'

BLUE LINX WAREHOUSE ADAPTIVE RE-USE PROJECT
 1820 BELLAMAH AVENUE N.W.
 ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

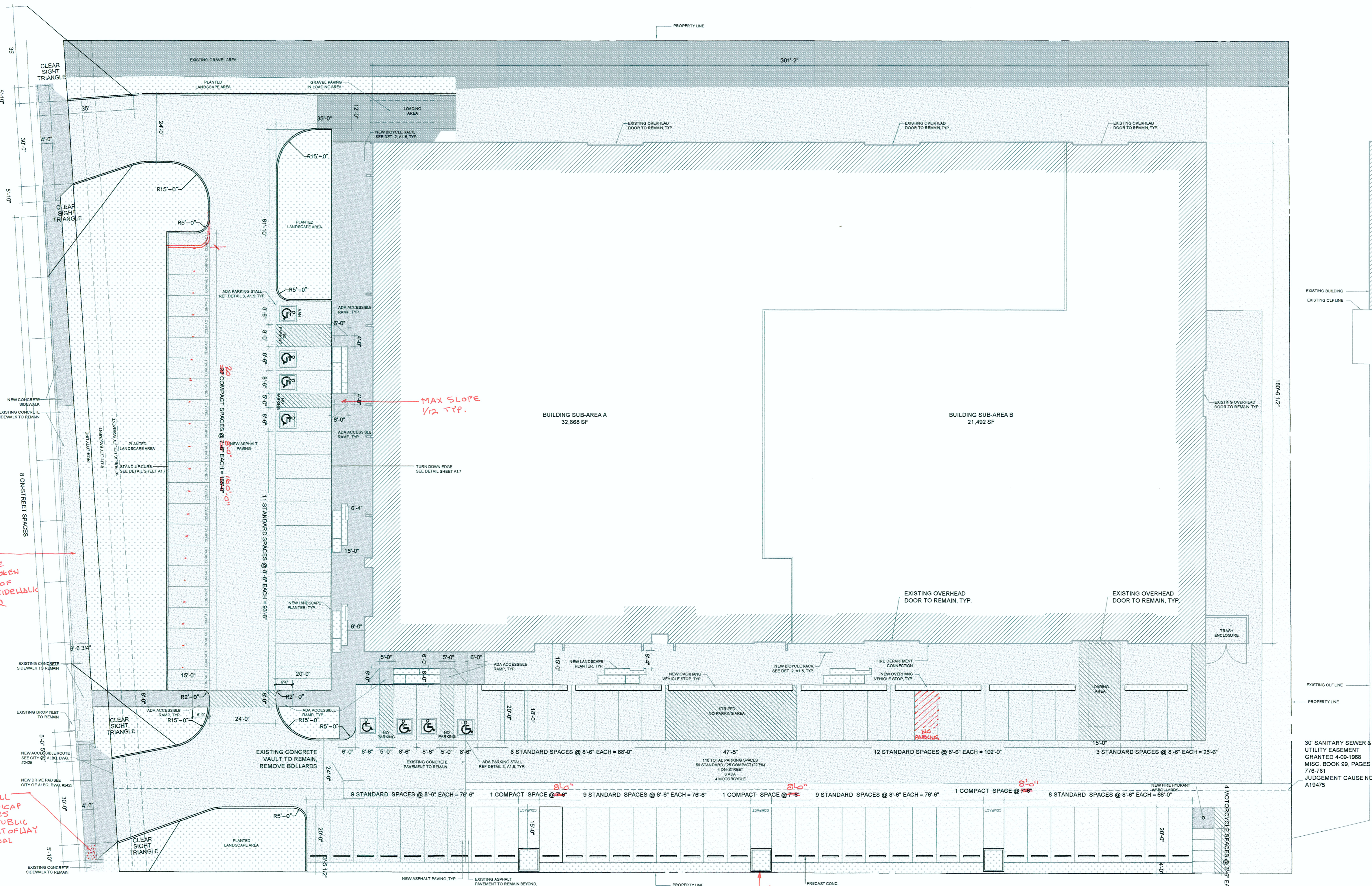
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS THEREFORE SIGN WALLS, TREES AND SHRUBBERY BETWEEN 7' AND 7' TALL WILL NOT BE ACCEPTABLE IN THIS AREA

24' PRIVATE CURB CUT

REPAIR REPLACE ANY BROKEN SECTIONS OF EXIST. SIDEWALK AS REQ.

INSTALL HANDICAP CONES AT PUBLIC RIGHT-OF-WAY TYPICAL

60' R.O.W. 3/6' FACE OF CURB TO FACE OF CURB



- PLANTED LANDSCAPE AREA
- EXISTING CONCRETE TO REMAIN, TYP.
- NEW CONCRETE PAVING, TYP.
- NEW GRAVEL PAVING, TYP.
- EXISTING GRAVEL TO REMAIN, TYP.
- NEW ASPHALT PAVING, TYP.
- EXISTING ASPHALT TO REMAIN, TYP. TO BE SEAL COATED

BUILDING ADDRESS: 1820 BELLAMAH AVENUE N.W.
 LEGAL DESCRIPTION: LOT 1-A FREEWAY OLD TOWN, LIMITED APPROX. 2.9844 ACRES
 ZONED: S-M1
 ZONE ATLAS PAGE: J-13
 OCCUPANCY CLASSIFICATION: M MERCANTILE
 SQUARE FOOTAGE: (EXISTING BUILDING): 54,630 S.F.
 AREA SEPARATION WALL PER IBC EA. HALF = 27,315 S.F.
 CONSTRUCTION TYPE: TYPE II-B SPRINKLED

| | | | | | |
|--------------------------|--------------------|----------------------------------|-----------|--------------------------------|-----------|
| SITE AREA | 130,141 SF | REQUIRED LANDSCAPE AREA (15%) | 11,327 SF | FRONT YARD AREA | 30,469 SF |
| PROPOSED BUILDING AREA | 54,678 SF (42.02%) | PROVIDED LANDSCAPE AREA (15.55%) | 11,744 SF | FRONT YARD PAVED AREA (80.89%) | 15,537 SF |
| PROPOSED SITE PAVED AREA | 53,319 SF (40.97%) | | | | |

| | |
|--|--|
| PARKING CALCULATIONS PER ABQ ZONING CODE 14-16-3-1 | |
| PROPOSED MANUFACTURING / WHOLESALE USE | 1 SPACE / 1,000 SF OR 1 SPACE PER EMPLOYEE ON THE LARGEST SHIFT |
| TOTAL MANUFACTURING / WHOLESALE SPACES REQUIRED: | 55 SPACES |
| BREAKDOWN: | HANDICAP / ADA SPACES REQUIRED: 4 SPACES (1 VAN ACCESSIBLE); SPACES TOTAL REQUIRED: 55 SPACES; MOTORCYCLE SPACES REQUIRED: 3 SPACES |
| TOTAL PARKING SPACES PROVIDED ON SITE: | 103 SPACES |
| BREAKDOWN: | ON STREET SPACES (OUT OF 8 TOTAL): 4 SPACES; HANDICAP / ADA SPACES PROVIDED: 4 SPACES (1 VAN ACCESSIBLE); MOTORCYCLE SPACES PROVIDED: 4 SPACES; STANDARD SPACES PROVIDED: 65 SPACES; COMPACT SPACES PROVIDED: 23 SPACES; ON STREET SPACES (OUT OF 8 TOTAL): 4 SPACES |

PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

