



**Planning Department
Transportation Development Services**

June 17, 2015

Mr. Jeff Mortensen
High Mesa Consulting Group
6010-B Midway Park Blvd, NE
Albuquerque, NM 87109

**Re: Blue Linx Warehouse Adaptive Re-Use Project
1820 Bellamah Ave., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 5-26-15 (J13-D101)**

Dear Mr. Mortensen,

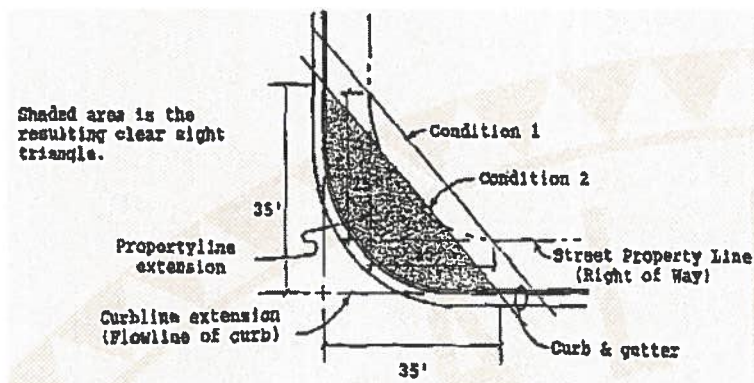
Based upon the information provided in your submittal received 6-2-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify the right of way width, medians, curb cuts, and street widths on Bellemah Ave., 18th St. and 19th St.
2. Please detail "Overhang Vehicle Stops" on west side of building and call out Turn Down Edge bumper stops on north side of building.
3. Please refer to the Fire Marshall regarding parking space in front of Fire Department Connection point, stripping might be required.
4. The ADA accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
5. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Please detail and dimension ADA ramps from handicap parking to building entrances on north and west sides of the building.
7. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out barrier curb, turndown edge and overhang wheel stop locations.
8. Design delivery vehicle route needs to be shown.
9. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.

CITY OF ALBUQUERQUE



10. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please show this detail for both the entrances on Bellamah Ave.



11. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
12. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Blue Linx Warehouse Adaptive Re-use Project Building Permit #: _____ City Drainage #: J13/D001
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 1-A, Freeway-Oldtown, Limited
City Address: 1820 Bellamah Ave NW, Albuquerque NM

Engineering Firm: High Mesa Consulting Group Contact: Jeffrey Mortensen #8547
Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109
Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: jmortensen@highmesacg.com

Owner: Heritage Hotels and Resorts, Inc. Contact: Gary Stevens
Address: 201 Third Street, Suite 310, Albuquerque NM 87102
Phone#: 505-836-6700 Fax#: _____ E-mail: gstevens@hhandr.com

Architect: Sanders & Associates Contact: George Sanders
Address: 5921 Lomas Blvd NE, Suite B, Albuquerque NM 87110
Phone#: 505-255-5040 Fax#: _____ E-mail: gsand18294@outlook.com

Surveyor: High Mesa Consulting Group Contact: Chuck Cala NMPS#11184
Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109
Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: ccala@highmesacg.com

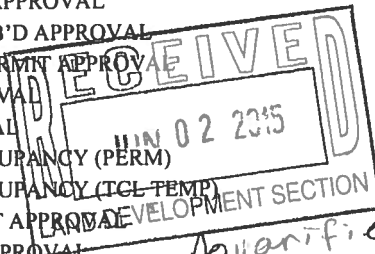
Contractor: Miller Bonded, Inc. Contact: Luke Ramsey
Address: 4538 McLeod NE, Albuquerque NM 87109
Phone#: 505-881-0220 Fax#: 505-881-0867 E-mail: lramsey@millerbonded.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT (DMP)
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

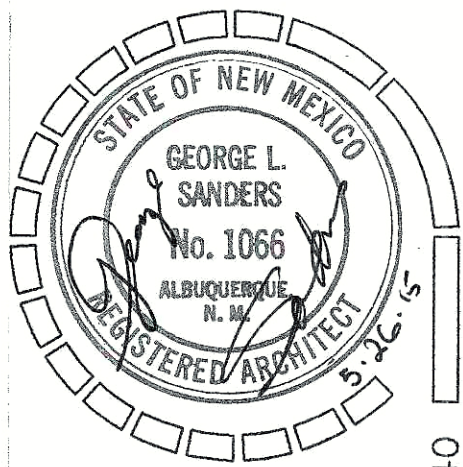
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (DMP) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☒ Copy Provided
DATE SUBMITTED: 5-29-15 By: Justin Schara (HMCG 2014.054.2)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

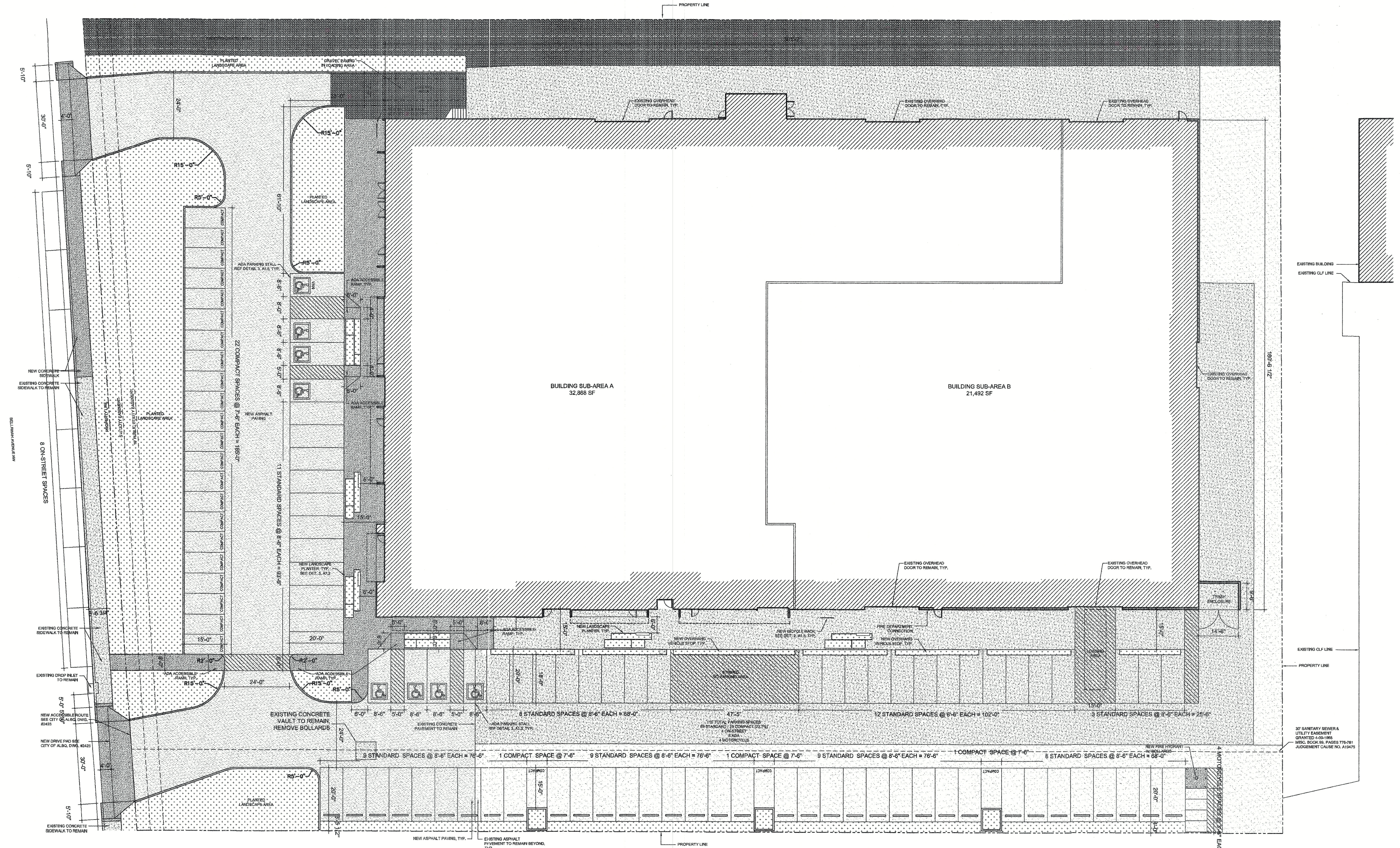
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

BLUE LINX WAREHOUSE ADAPTIVE RE-USE PROJECT
1820 BELLAMAH AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

Project no. 1407
sheet
A-1.2
5 of 34
5-26-15



- PLANTED LANDSCAPE AREA
- EXISTING CONCRETE TO REMAIN, TYP.
- NEW CONCRETE PAVING, TYP.
- NEW GRAVEL PAVING, TYP.
- EXISTING GRAVEL TO REMAIN, TYP.
- NEW ASPHALT PAVING, TYP.
- EXISTING ASPHALT TO REMAIN, TYP.

BUILDING ADDRESS: 1820 BELLAMAH AVENUE N.W.
LEGAL DESCRIPTION: LOT 1-A FREEWAY OLD TOWN, LIMITED
APPROX. 2.8844 ACRES
ZONED: S-M1
ZONE ATLAS PAGE: J-13
OCCUPANCY CLASSIFICATION: M MERCANTILE
SQUARE FOOTAGE: (EXISTING BUILDING): 54,630 S.F.
AREA SEPARATION WALL PER IBC EA, HALF = 27,315 S.F.
CONSTRUCTION TYPE: TYPE II-B SPRINKLED

SITE AREA
130,141 SF
(10%)
PROPOSED BUILDING AREA
54,630 SF
(42.02%)
PROPOSED SITE PAVED AREA
53,310 SF
(40.93%)

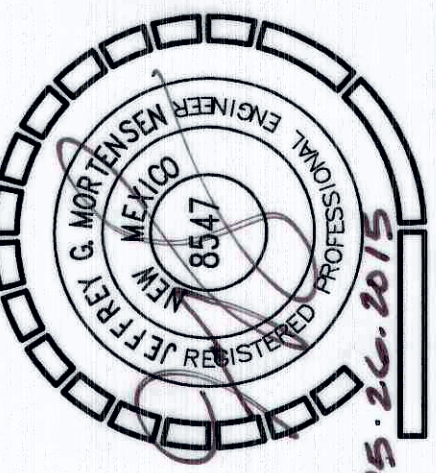
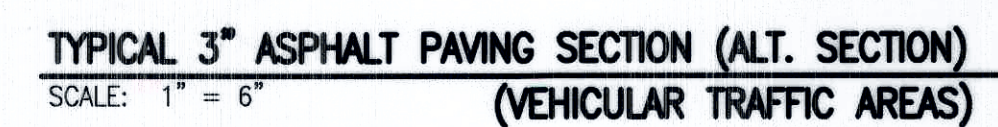
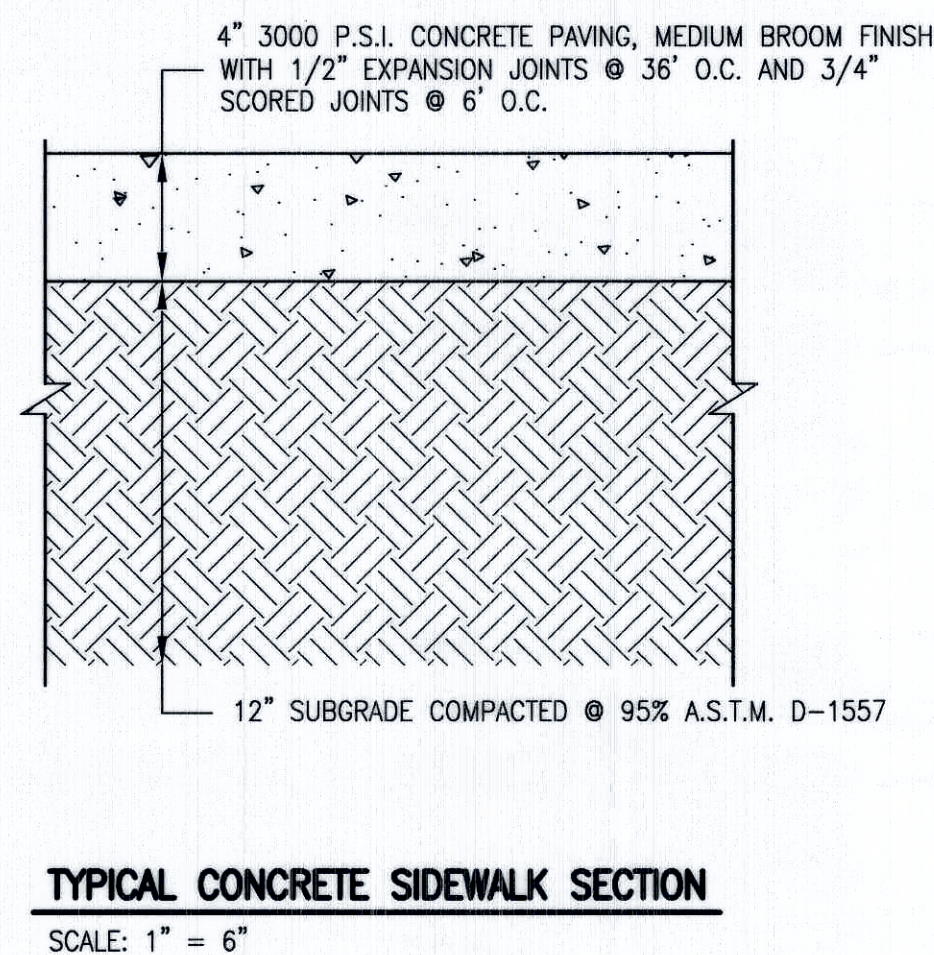
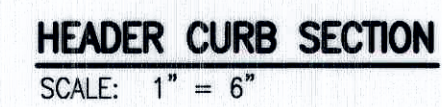
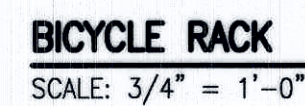
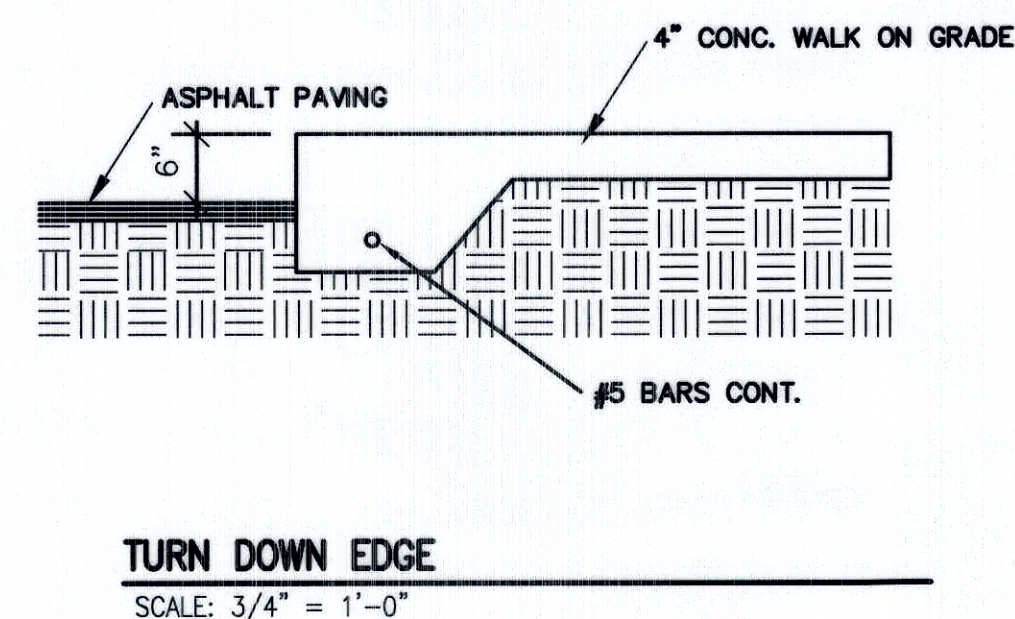
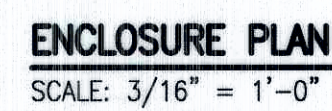
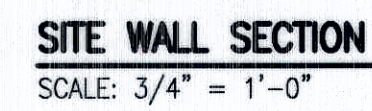
REQUIRED LANDSCAPE AREA
11,327 SF
(10%)
PROVIDED LANDSCAPE AREA
11,744 SF
(15.55%)

FRONT YARD AREA
30,489 SF
FRONT YARD PAVED AREA
15,537 SF

PARKING CALCULATIONS PER ABO
ZONING CODE 14-16-3-1
PROPOSED MANUFACTURING / WHOLESALE USE:
1 SPACE / 1,000 SF OR 1 SPACE PER EMPLOYEE ON THE LARGEST SHIFT

TOTAL MANUFACTURING / WHOLESALE SPACES REQUIRED: 55 SPACES
BREAKDOWN: HANDICAP / ADA SPACES REQUIRED: 4 SPACES (1 VAN ACCESSIBLE)
SPACES TOTAL REQUIRED: 55 SPACES
MOTORCYCLE SPACES REQUIRED: 3 SPACES

TOTAL PARKING SPACES PROVIDED ON SITE: 108 SPACES
ON STREET SPACES (OUT OF 8 TOTAL): 4 SPACES
HANDICAP / ADA SPACES PROVIDED: 8 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES PROVIDED: 4 SPACES
STANDARD SPACES PROVIDED: 89 SPACES
COMPACT SPACES PROVIDED: 25 SPACES
ON STREET SPACES (OUT OF 8 TOTAL): 4 SPACES



BLUE-LINX WAREHOUSE ADAPTIVE RE-USE PROJECT
1820 BELLAMAH AVENUE N.W.
ALBUQUERQUE, NEW MEXICO





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Blue Linx Warehouse Adaptive Re-use Project Building Permit #: _____ City Drainage #: J13/D101
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 1-A, Freeway-Oldtown, Limited
City Address: 1820 Bellamah Ave NW, Albuquerque NM

Engineering Firm: High Mesa Consulting Group Contact: Jeffrey Mortensen #8547
Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109
Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: jmortensen@highmesacg.com

Owner: Heritage Hotels and Resorts, Inc. Contact: Gary Stevens
Address: 201 Third Street, Suite 310, Albuquerque NM 87102
Phone#: 505-836-6700 Fax#: _____ E-mail: gstevens@hhandr.com

Architect: Sanders & Associates Contact: George Sanders
Address: 5921 Lomas Blvd NE, Suite B, Albuquerque NM 87110
Phone#: 505-255-5040 Fax#: _____ E-mail: gsand18294@outlook.com

Surveyor: High Mesa Consulting Group Jmortensen@highmesacg.com Contact: Chuck Cala NMPS#11184
Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109 Jeff Mortensen
Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: ccala@highmesacg.com

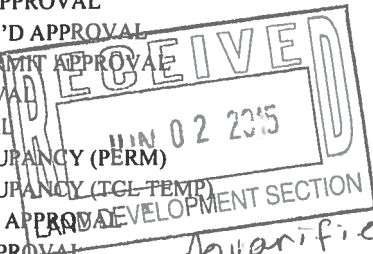
Contractor: Miller Bonded, Inc. Contact: Luke Ramsey
Address: 4538 McLeod NE, Albuquerque NM 87109
Phone#: 505-881-0220 Fax#: 505-881-0867 E-mail: lramsey@millerbonded.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT (DMP)
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (DMP) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☒ Copy Provided

DATE SUBMITTED: 5-29-15 By: Justin Schara (HMCG 2014.054.2)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development