

CITY OF ALBUQUERQUE



January 27, 2016

George Sanders
Sanders and Associates
5921 Lomas Blvd., NE Suite B
Albuquerque, NM 87110

Re: Blue Linx Warehouse Adaptive Re-use Project (Resubmittal)
1820 Bellamah Ave., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 1-15-16 (J13-D101)

Dear Mr. Sanders,

Based upon the information provided in your submittal received 1-26-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Compact parking spaces must be a minimal of 8 ft. in width by 15 ft. in length per COA Compressive Code. In review of the submitted drawing, all compact spaces are dimensioned to be 7.5 ft. by 15ft. Please show detail of reconfigured compact space on new submittal.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces. Please state the parking calculations with revised count for compact spaces.
3. Identify the right of way width, medians, curb cuts, and street widths on 18th and 19th St.
4. Per Fire Marshall, a fire line access isle will be required in front of the AFD connection point on the west side of the building.
5. Please identify and dimension all existing and proposed sidewalks, pedestrian walkways and entrances to existing building. Note that hatch details make review of dimension difficult, if detail is too dark to read underlying dimensions.
6. Please detail and dimension all existing handicap ramps on public right-of-way and drive pads.
7. Please provide a detail of ADA access ramps to building entrances.
8. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details. In review of submittal drawing, new ADA accessible route is noted to be located in the drive pad, which is not in compliance to ADA requirements.
9. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out this detail.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



10. Design delivery vehicle route needs to be shown.
11. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
12. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
13. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

\gs via: email
C: CO Clerk, File

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Blue Linx Warehouse Adaptive Re-use Project Building Permit #: _____ City Drainage #: J13/D101

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 1-A, Freeway-Oldtown, Limited

City Address: 1820 Bellamah Ave NW, Albuquerque NM

Engineering Firm: High Mesa Consulting Group Contact: Jeffrey Mortensen #8547

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: jmortensen@highmesacg.com

Owner: Heritage Hotels and Resorts, Inc. Contact: Gary Stevens

Address: 201 Third Street, Suite 310, Albuquerque NM 87102

Phone#: 505-836-6700 Fax#: _____ E-mail: gstevens@hhandr.com

Architect: Sanders & Associates Contact: George Sanders

Address: 5921 Lomas Blvd NE, Suite B, Albuquerque NM 87110

Phone#: 505-255-5040 Fax#: _____ E-mail: gsand18294@outlook.com

Surveyor: High Mesa Consulting Group Contact: Chuck Cala NMPS#11184

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: ccala@highmesacg.com

Contractor: Klinger Constructors Contact: Mark Maestas

Address: 8701 Washington NE, Albuquerque NM 87113

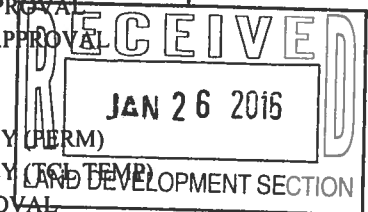
Phone#: 505-822-9990 Fax#: _____ E-mail: markm@klingerllc.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT (DMP)
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL-RESUBMIT)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (DMP) _____

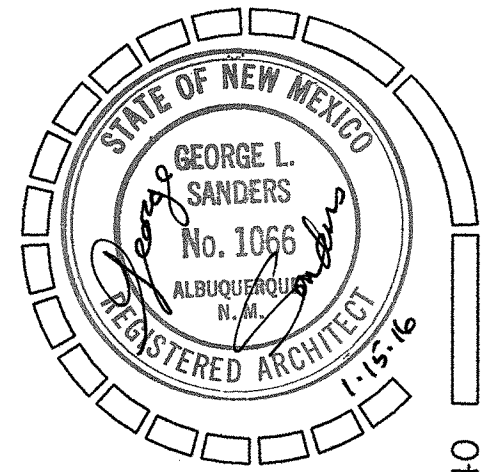


WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☒ Copy Provided

DATE SUBMITTED: 1-26-16 By: Justin Schara (HMCG 2014.054.1)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

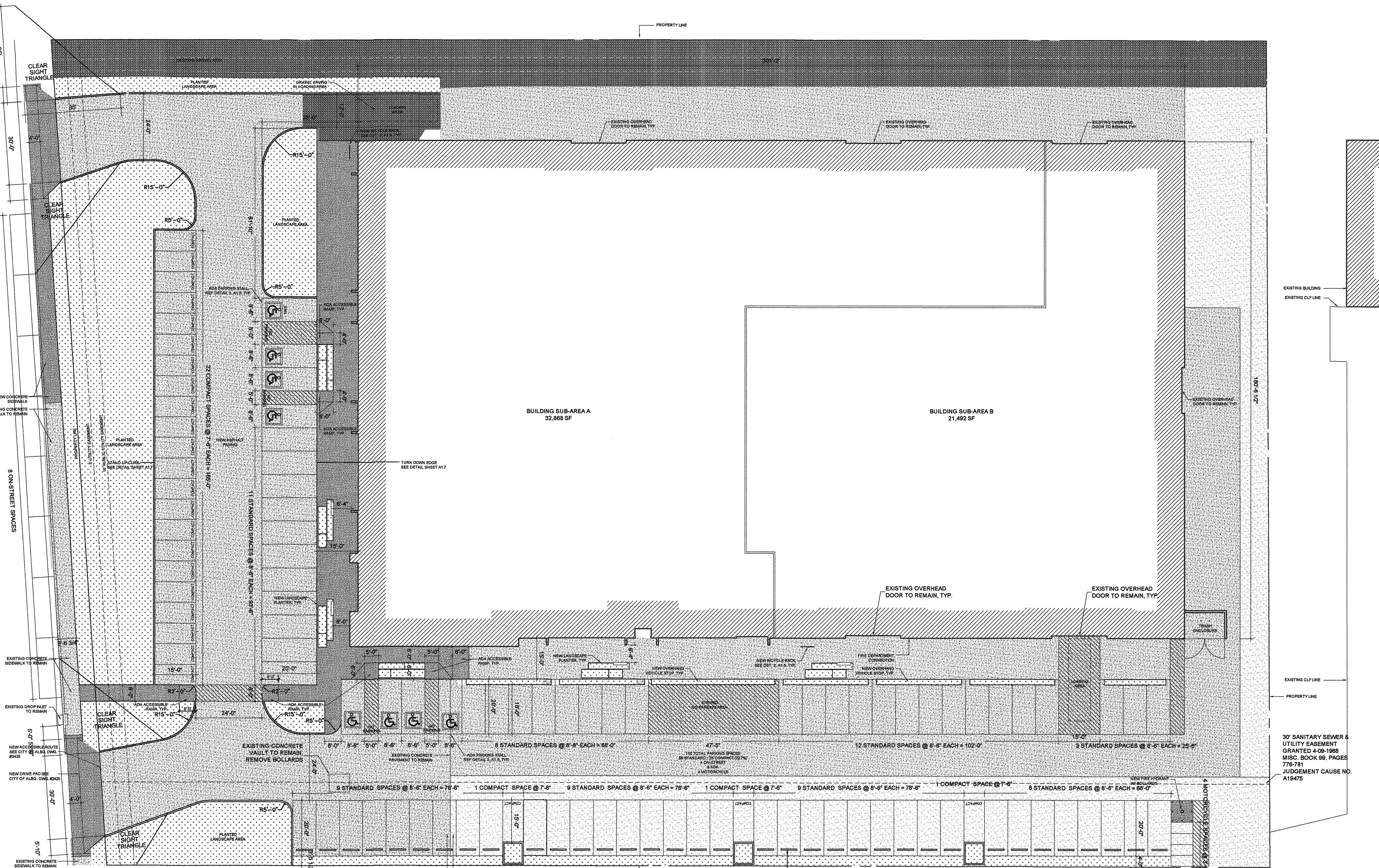
BLUE LINX WAREHOUSE ADAPTIVE RE-USE PROJECT
1820 BELLAMAH AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

Project no. 1407
sheet
A-1.2
4 of 25
date 1-15-16

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS THEREFORE SIGNS WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 7' TALL WILL NOT BE ACCEPTABLE IN THIS AREA

EXISTING FIRE VESICANT DISTANCE TO BLDG. AS TRUCK ROLLER 180' TO NORTH EAST CORNER OF BLDG.

NEW DRIVEWAY SEE CITY OF ALBU DWA. 1820



- PLANTED LANDSCAPE AREA
- EXISTING CONCRETE TO REMAIN, TYP.
- NEW CONCRETE PAVING, TYP.
- NEW GRAVEL PAVING, TYP.
- EXISTING GRAVEL TO REMAIN, TYP.
- NEW ASPHALT PAVING, TYP.
- EXISTING ASPHALT TO REMAIN, TYP. TO BE SEAL COATED

BUILDING ADDRESS: 1820 BELLAMAH AVENUE N.W.
LEGAL DESCRIPTION: LOT 1-A FREEWAY OLD TOWN, LIMITED APPROX. 2.8844 ACRES
ZONED: S-M1
ZONE ATLAS PAGE: J-13
OCCUPANCY CLASSIFICATION: M. MERCANTILE
SQUARE FOOTAGE: (EXISTING BUILDING): 54,630 S.F.
AREA SEPARATION WALL PER IBC EA. HALF= 27,315 S.F.
CONSTRUCTION TYPE: TYPE II-B SPRINKLED

SITE AREA
130,141 SF
PROPOSED BUILDING AREA
54,679 SF
(42.02%)
PROPOSED SITE PAVED AREA
53,319 SF
(40.97%)

REQUIRED LANDSCAPE AREA
(15%)
11,327 SF
PROVIDED LANDSCAPE AREA
(15.55%)
11,744 SF

FRONT YARD AREA
30,469 SF
FRONT YARD PAVED AREA
(50.99%)
15,537 SF

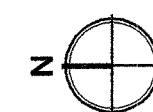
PARKING CALCULATIONS PER ABQ ZONING CODE 14-16-3-1
PROPOSED MANUFACTURING / WHOLESALE USE:
1 SPACE / 1,000 SF OR 1 SPACE PER EMPLOYEE ON THE LARGEST SHIFT

TOTAL MANUFACTURING / WHOLESALE SPACES REQUIRED: 55 SPACES
BREAKDOWN: HANDICAP / ADA SPACES REQUIRED: 4 SPACES (1 VAN ACCESSIBLE)
SPACES TOTAL REQUIRED: 55 SPACES
MOTORCYCLE SPACES REQUIRED: 3 SPACES
TOTAL PARKING SPACES PROVIDED ON SITE: 106 SPACES
ON STREET SPACES (OUT OF 8 TOTAL): 4 SPACES
HANDICAP / ADA SPACES PROVIDED: 8 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES PROVIDED: 4 SPACES
STANDARD SPACES PROVIDED: 68 SPACES
COMPACT SPACES PROVIDED: 25 SPACES
ON STREET SPACES (OUT OF 8 TOTAL): 4 SPACES

PROPOSED SITE PLAN

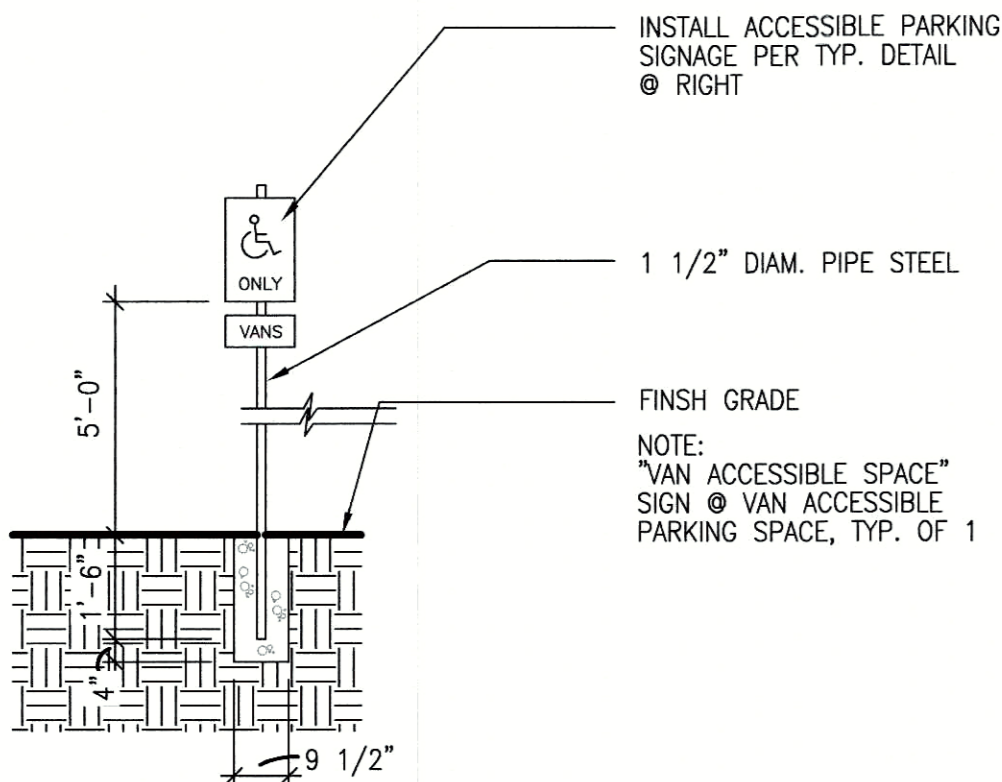
SCALE: 1" = 20'-0"

0' 10' 20' 40'
SCALE IN FEET



File Path: P:\JWA\2014\0545\BKG\A1.7.rvt | Plot Date: 12-29-2015
File Name: 140545-A1.7.rvt | Plot Time: 11:20 am

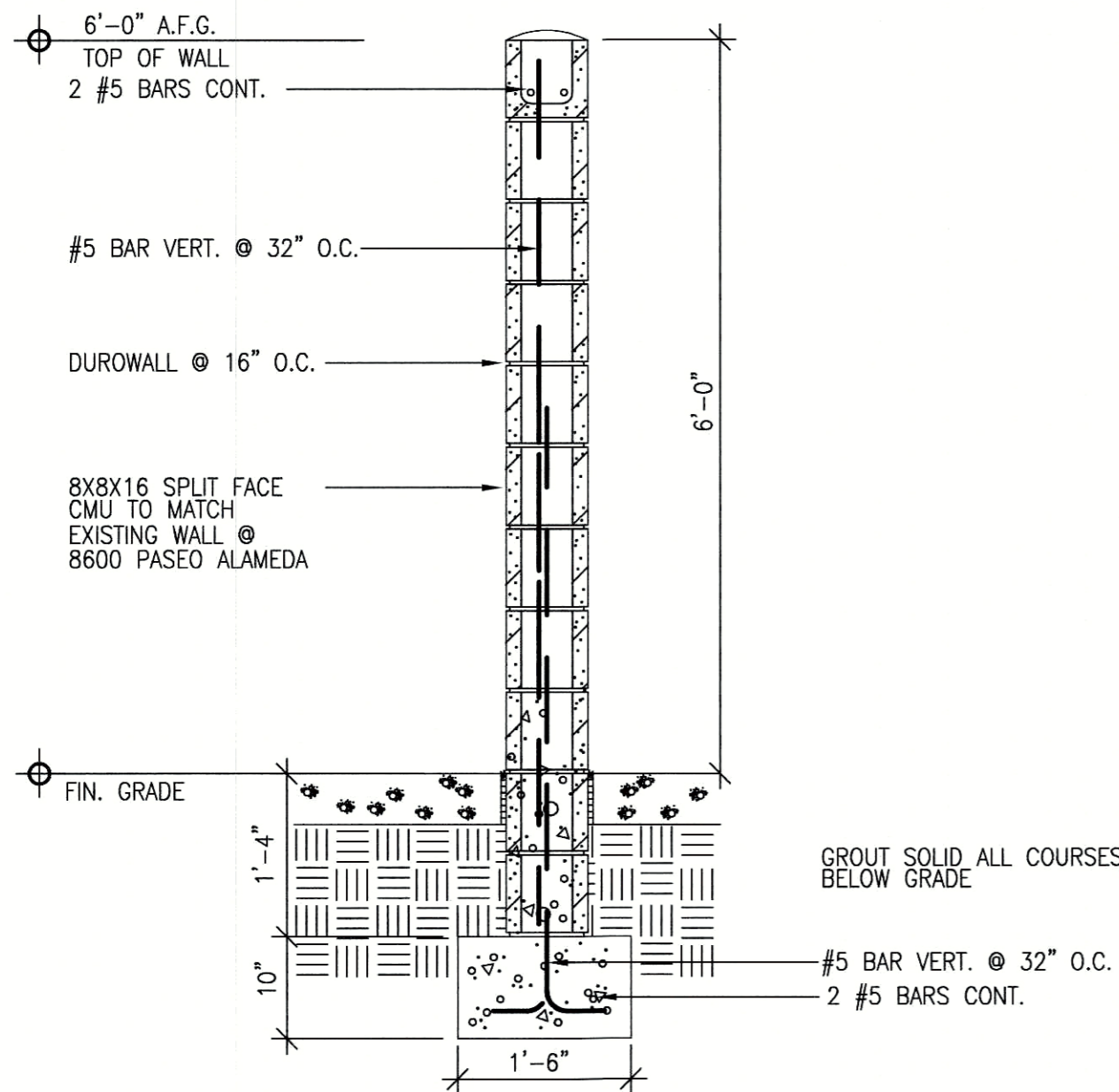
PAVING DETAILS AND SECTIONS
BLUE LINX WAREHOUSE ADAPTIVE RE-USE PROJECT



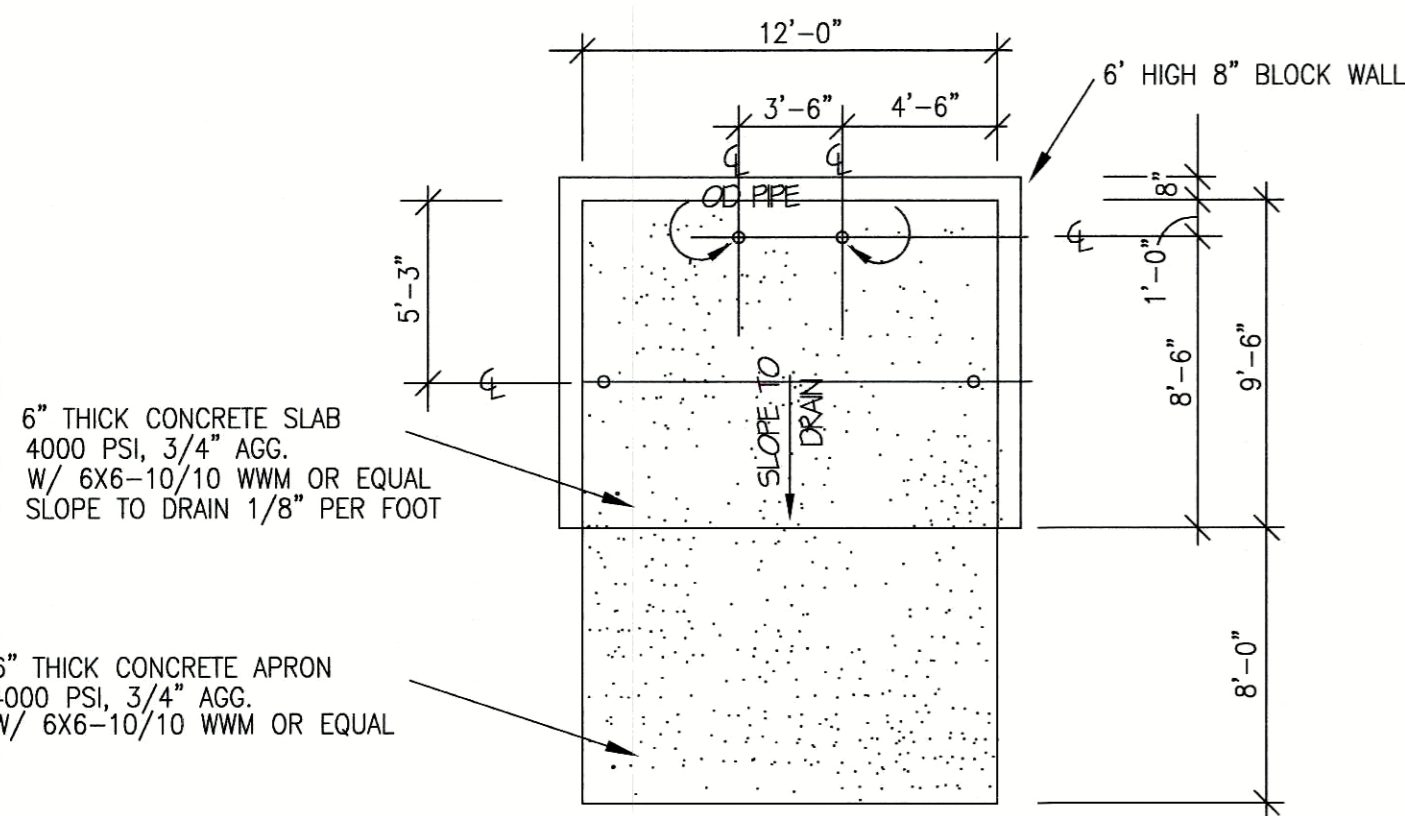
SIGN DETAIL
SCALE: 3/8" = 1'-0"



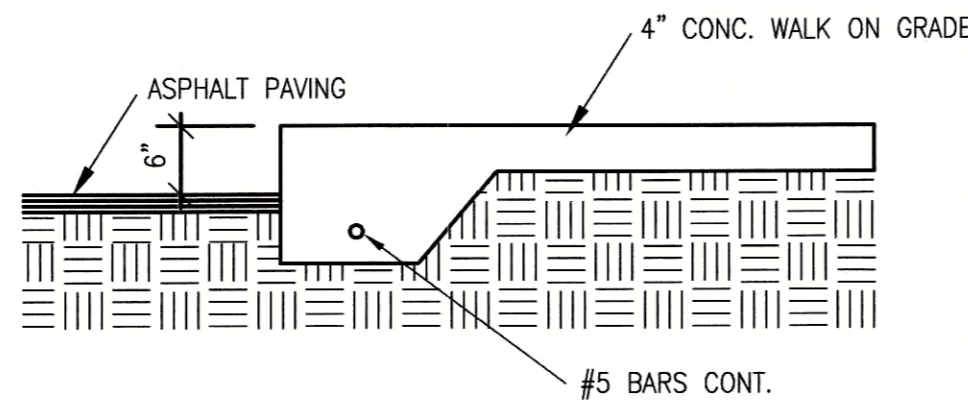
TYPICAL HANDICAP PARKING SIGN (VAN ACCESSIBLE)
SCALE: 1" = 0'-6"



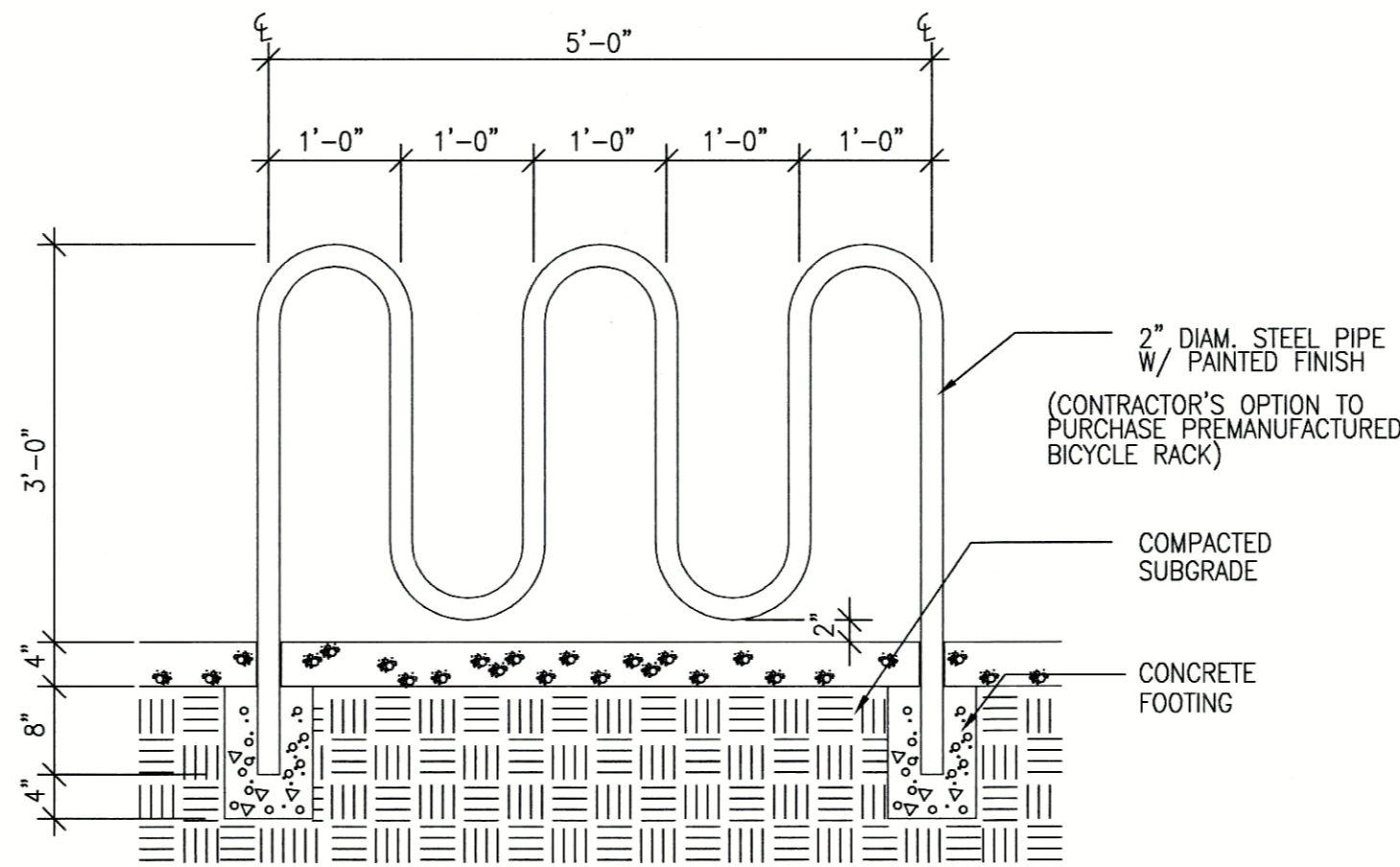
SITE WALL SECTION
SCALE: 3/4" = 1'-0"



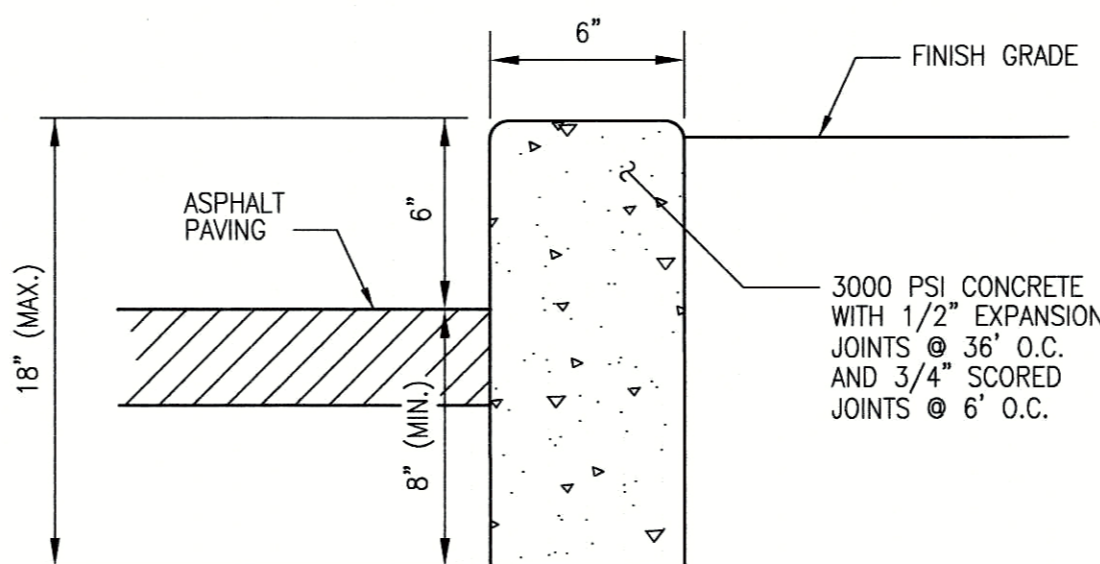
ENCLOSURE PLAN
SCALE: 3/16" = 1'-0"



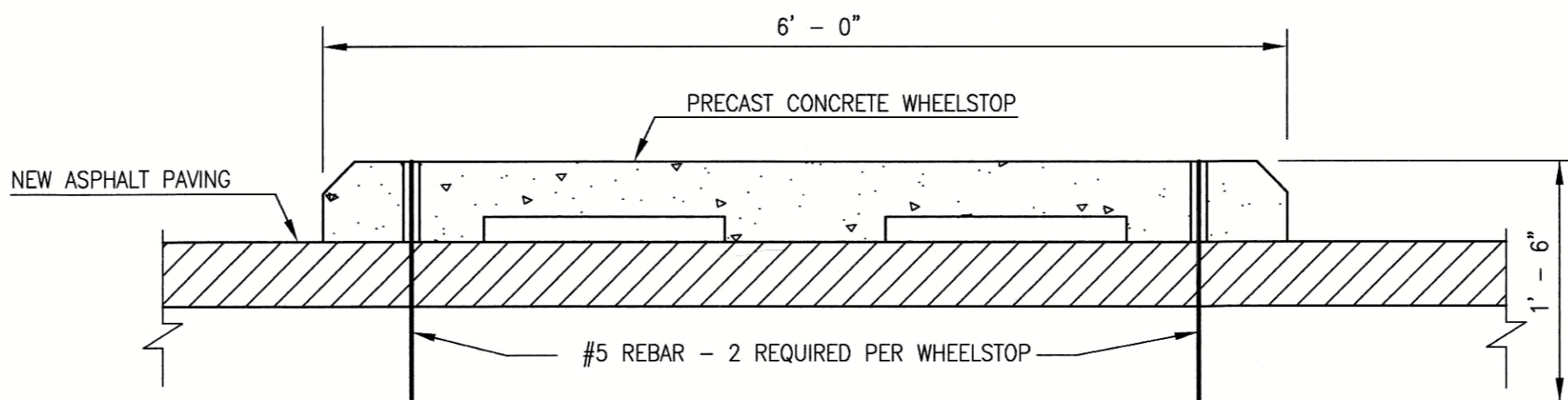
TURN DOWN EDGE
SCALE: 3/4" = 1'-0"



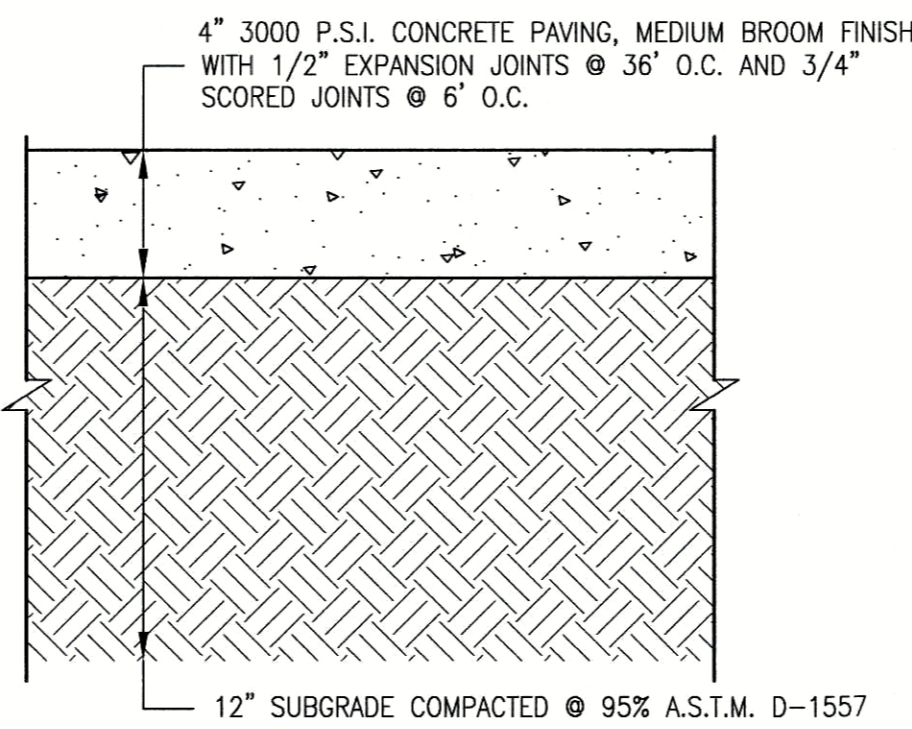
BICYCLE RACK
SCALE: 3/4" = 1'-0"



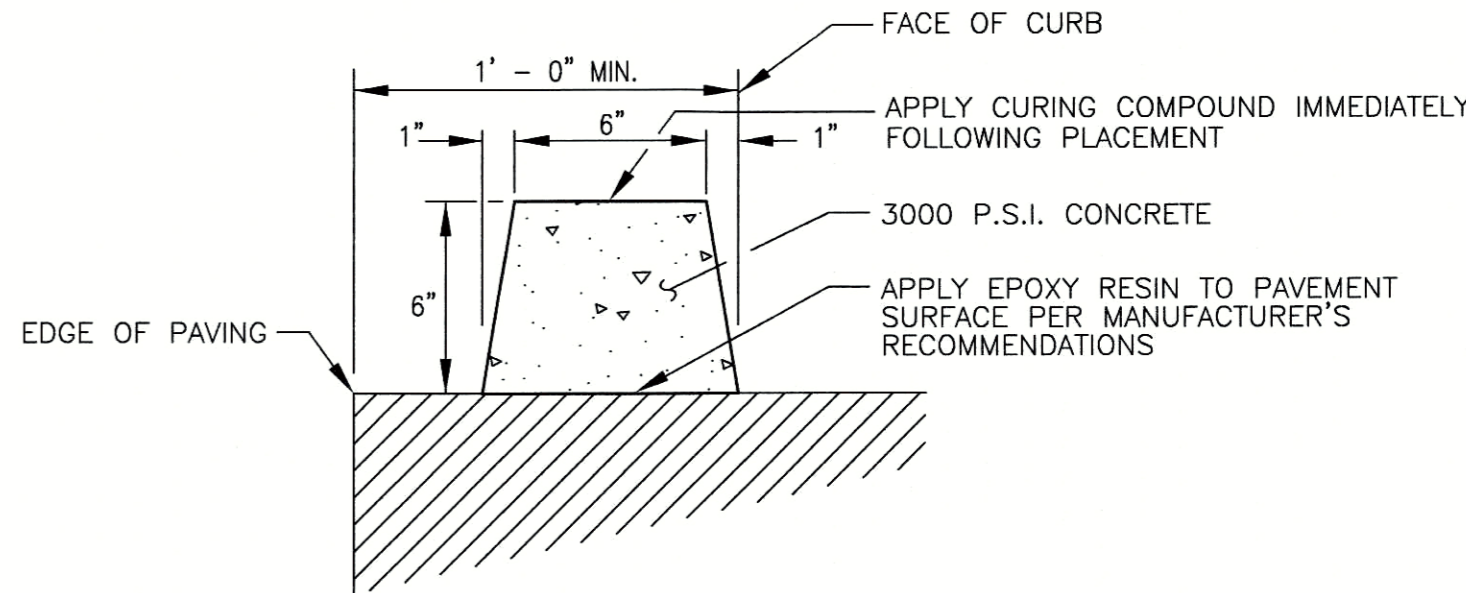
HEADER CURB SECTION
SCALE: 1" = 6"



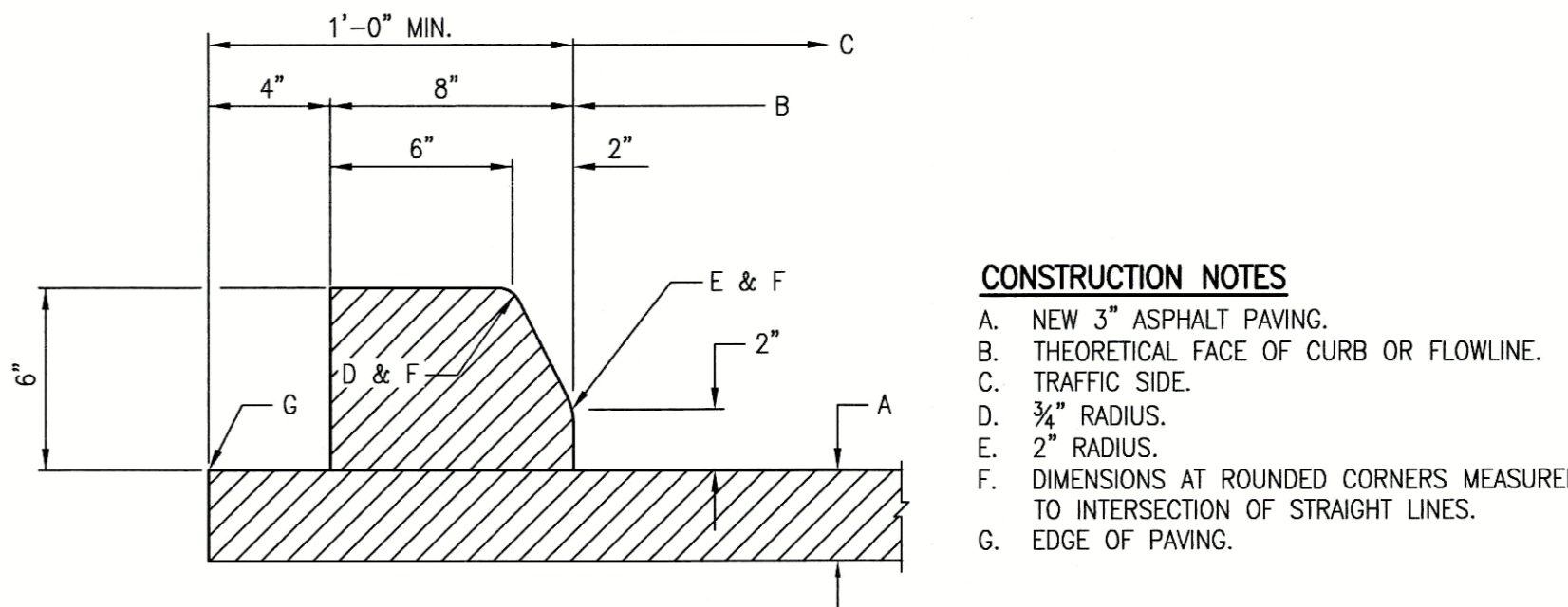
WHEELSTOP SECTION
SCALE: 1" = 1'-0"



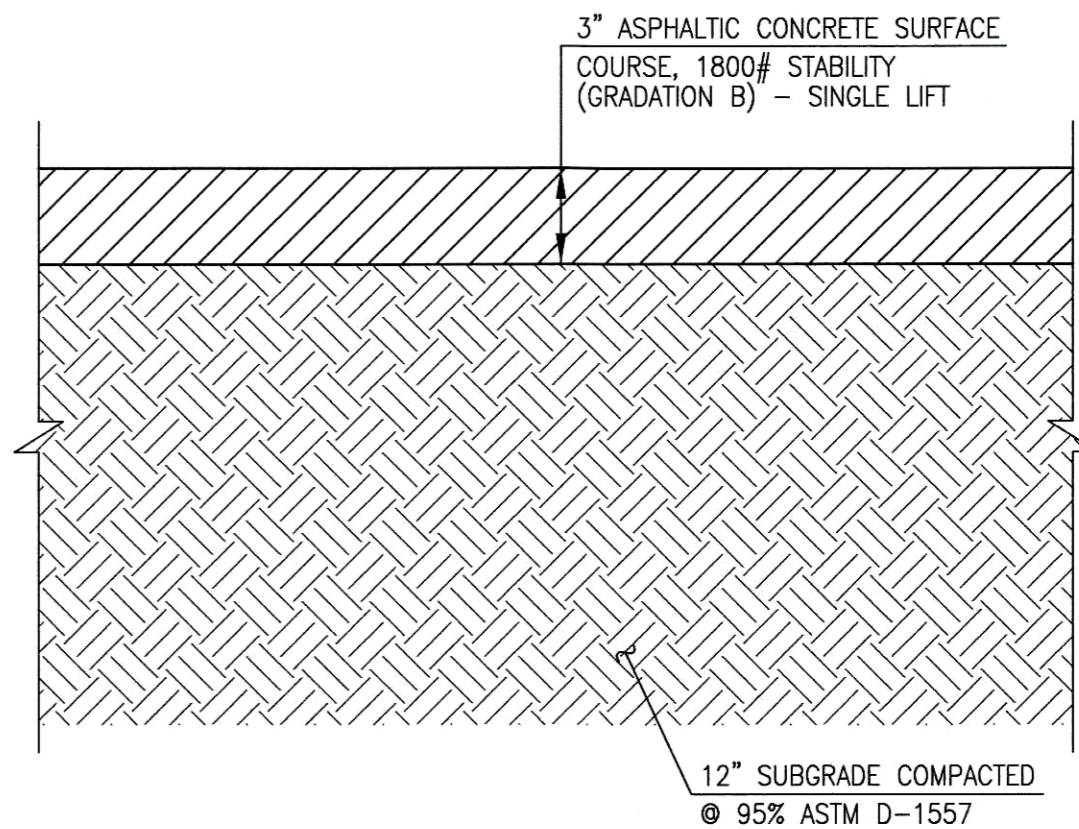
TYPICAL CONCRETE SIDEWALK SECTION
SCALE: 1" = 6"



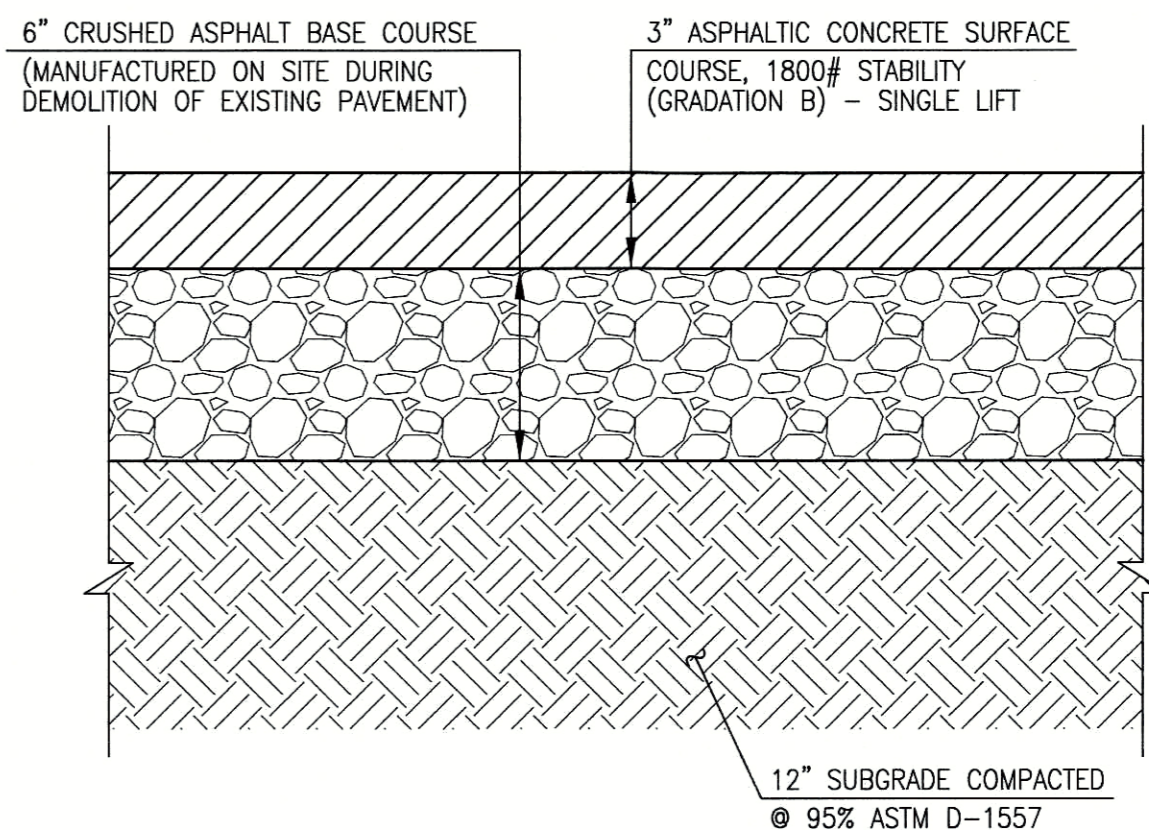
TYPICAL EXTRUDED CONCRETE CURB SECTION-BASE BID
SCALE: 1" = 6"



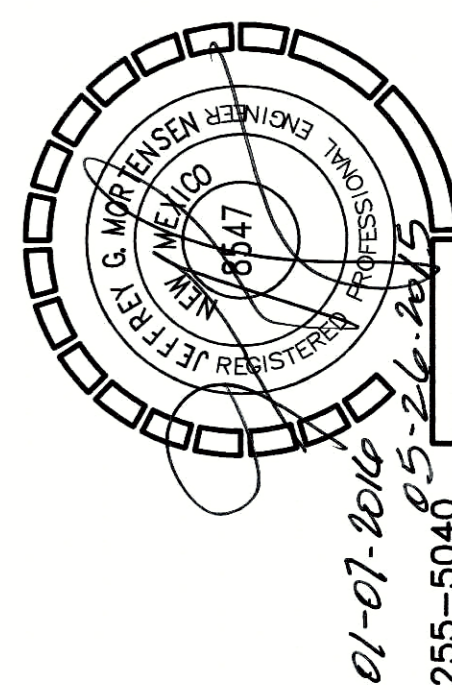
TYPICAL EXTRUDED ASPHALT CURB SECTION (ALT. SECTION)
SCALE: 1" = 6"



TYPICAL 3" ASPHALT PAVING SECTION-BASE BID (VEHICULAR TRAFFIC AREAS)
SCALE: 1" = 6"



TYPICAL 3" ASPHALT PAVING SECTION (ALT. SECTION) (VEHICULAR TRAFFIC AREAS)
SCALE: 1" = 6"



BLUE-LINX WAREHOUSE ADAPTIVE RE-USE PROJECT
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DESIGNED BY	DATE	BY	REVISIONS
J.D.S.	12/15	JGM	ADD HANDICAP PARKING SIGN DETAIL
DRAWN BY		J.Y.R., S.C.C.	
APPROVED BY		J.G.M.	