

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 22, 2023

Mike Walla, P.E.
Walla Engineering
6501 Americas Pwky NE, Suite 301
Albuquerque, NM 87110

RE: 210 Clayton St. SW
Permanent C.O. – Accepted
Engineer's Certification Date: 03/16/23
Engineer's Stamp Date: 06/02/21
Hydrology File: J13D103

Dear Mr. Walla:

PO Box 1293

Based on the Certification received 03/16/2023 and site visit on 03/21/2023, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

NM 87103

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: FIERRO RESIDENCE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 12-B, BLOCK 1, WEST PARK ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
City Address: 210 CLAYTON ST. SW, ALBUQUERQUE, NEW MEXICO

Applicant: WALLA ENGINEERING **Contact:** MIKE WALLA
Address: 6501 AMERICAS PARKWAY NE, SUITE 301, ALBUQUERQUE, NM 87110
Phone#: 505-881-3008 **Fax#:** 505-881-4025 **E-mail:** mikew@wallaengineering.com

Other Contact: ECO TERRA DEVELOPMENT **Contact:** CATHERINE MARSHALL
Address: 8100 WYOMING BLVD. NE, ALBUQUERQUE, NM 87103
Phone#: 505-934-7639 **Fax#:** _____ **E-mail:** kaye@ecoterrallc.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 3-16-23 **By:** MIKE WALLA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

HYDROLOGY CALCULATIONS

210 CLAYTON - SITE AREA = 0.106 ACRES
DESIGN CRITERIA: CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL - JUNE 2020
CHAPTER 6 DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL
PROCEDURE FOR 40-ACRE AND SMALLER BASINS
VALLEY DRAINAGE CRITERIA, ARTICLE 6-5 OF THE DPM
PRECIPITATION ZONE 2 PER SECTION 6-2(A)(1), TABLE 6.2.7 AND FIGURE 6.2.3
EXCESS PRECIPITATION, E, PER TABLE 6.2.13
PEAK DISCHARGE FOR SMALL WATERSHEDS: PER TABLE 6.2.14

PREDEVELOPED CONDITIONS				
LAND TREATMENT	AREA (AC)	EXCESS PRECIP. "E" (IN)	PEAK Q (CFS/AC)	COEFFICIENT C
A	0.106	0.55	1.71	0.36
B	0.000	0.73	2.36	0.49
C	0.000	0.95	3.05	0.63
D	0.000	2.24	3.41	0.90

WEIGHTED E = 0.55 IN
V360 = 0.55 X 0.106 X 43560/12 = 211 CF
TOTAL QP = (0.106 X 1.71) = 0.181 CFS

DEVELOPED CONDITIONS				
LAND TREATMENT	AREA (AC)	EXCESS PRECIP. "E" (IN)	PEAK Q (CFS/AC)	COEFFICIENT C
A	0.000	0.55	1.71	0.36
B	0.050	0.73	2.36	0.49
C	0.000	0.95	3.05	0.63
D	0.056	2.24	3.41	0.90

WEIGHTED E: [(0.056 x 0.73) + (0.056 x 2.24)]/0.106 = 1.528 IN
V360 = 1.528 X 0.106 X 43560/12 = 588 CF
TOTAL QP = (0.056 x 2.36) + (0.056 x 3.41) = 0.309 CFS

RATIONAL METHOD CHECK: 12-MINUTE PEAK INTENSITY, I = 4.58 IN/HR
Q = CIA = (0.49 x 4.58 x 0.050) + (0.9 x 4.58 x 0.056) = 0.343 CFS OK

WATER HARVESTING VOLUME REQUIRED: 0.5' x 2447 SF (IMPERVIOUS AREA) = 102 CF

WATER HARVESTING POND VOLUME: NORTH POND		
CONTOUR	AREA	VOLUME
53.80	288 SF	
53.50	144 SF	65 CF
53.00	39 SF	46 CF
TOTAL		111 CF

SOUTH POND:		
CONTOUR	AREA	VOLUME
53.50	143 SF	
53.00	28 SF	43 CF
TOTAL VOLUME		43 CF

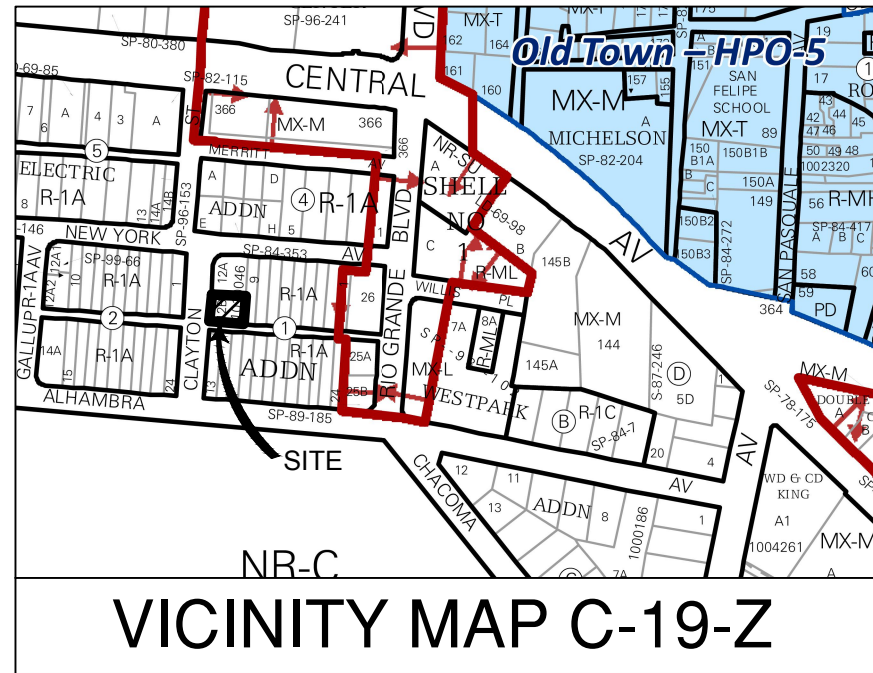
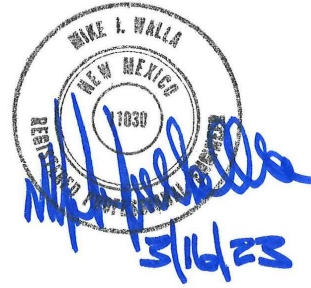
TOTAL WATER HARVESTING VOLUME = 154 CF > 102 CF OK

GRADING & DRAINAGE DESIGN NARRATIVE

SUBJECT PROPERTY: 210 CLAYTON STREET SW, LOT 12B, BLOCK 1, WEST PARK ADDITION, CITY OF ALBUQUERQUE
DEVELOPED SITE AREA: 4,600 SF OR 0.106 ACRE
REFERENCE: CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM), JUNE 2020
METHODOLOGY: VALLEY DRAINAGE CRITERIA, ARTICLE 6-5 OF THE DPM
PROJECT DESCRIPTION: LOT 12B IS AN APPROXIMATELY 0.106 ACRE, UNDEVELOPED LOT IN ALBUQUERQUE'S NEAR SOUTH VALLEY. THIS PROJECT WILL INCLUDE A NEW SINGLE FAMILY, TWO STORY RESIDENCE BUILT WITHIN THE CONFINES OF AN EXISTING SHORT PERIMETER WALL AROUND THE PROPERTY BORDER. THE RESIDENCE WILL HAVE SMALL COVERED PATIOS AT THE FRONT AND REAR OF THE HOME.
UNDEVELOPED CONDITIONS: THE SUBJECT SITE IS QUITE FLAT WITH BASICALLY NO SLOPE IN ANY DIRECTION. CURRENT FINISHED GRADE ELEVATION IS NO MORE THAN A FOOT ABOVE ADJACENT STREET PAVING.
DEVELOPED RUNOFF: THE NEW FINISHED FLOOR ELEVATION WILL BE SET AT LEAST 18" ABOVE THE HIGHEST ADJACENT PAVED STREET SURFACE IN ORDER TO COMPLY WITH THE DPM VALLEY DRAINAGE CRITERIA. SITE WATER HARVESTING IS DESIGNED TO CAPTURE 1/2" DEEP STORM RUNOFF VOLUME FROM THE PROPOSED IMPERVIOUS SURFACES OF AS RECOMMENDED IN THE DPM. THIS WILL BE ACCOMPLISHED WITH ONSITE PONDING AREAS AS DESCRIBED ON THE PLAN. SWALES WILL BE CONSTRUCTED TO DIRECT ROOF RUNOFF TO THE PONDS. THE SITE GRADING WILL PREVENT ANY STORM RUNOFF IMPACT TO ADJACENT PROPERTIES.

DRAINAGE CERTIFICATION

I, MIKE WALLA, NMPE 11030, OF THE FIRM WALLA ENGINEERING, LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-2-2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM CHRISTOPHER A. MEDINA, NMPS 15702. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3-15-2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF THE ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



BASIS OF ELEVATIONS

G-424, NAVD 1988, ELEVATION 4952.51

LEGAL DESCRIPTION

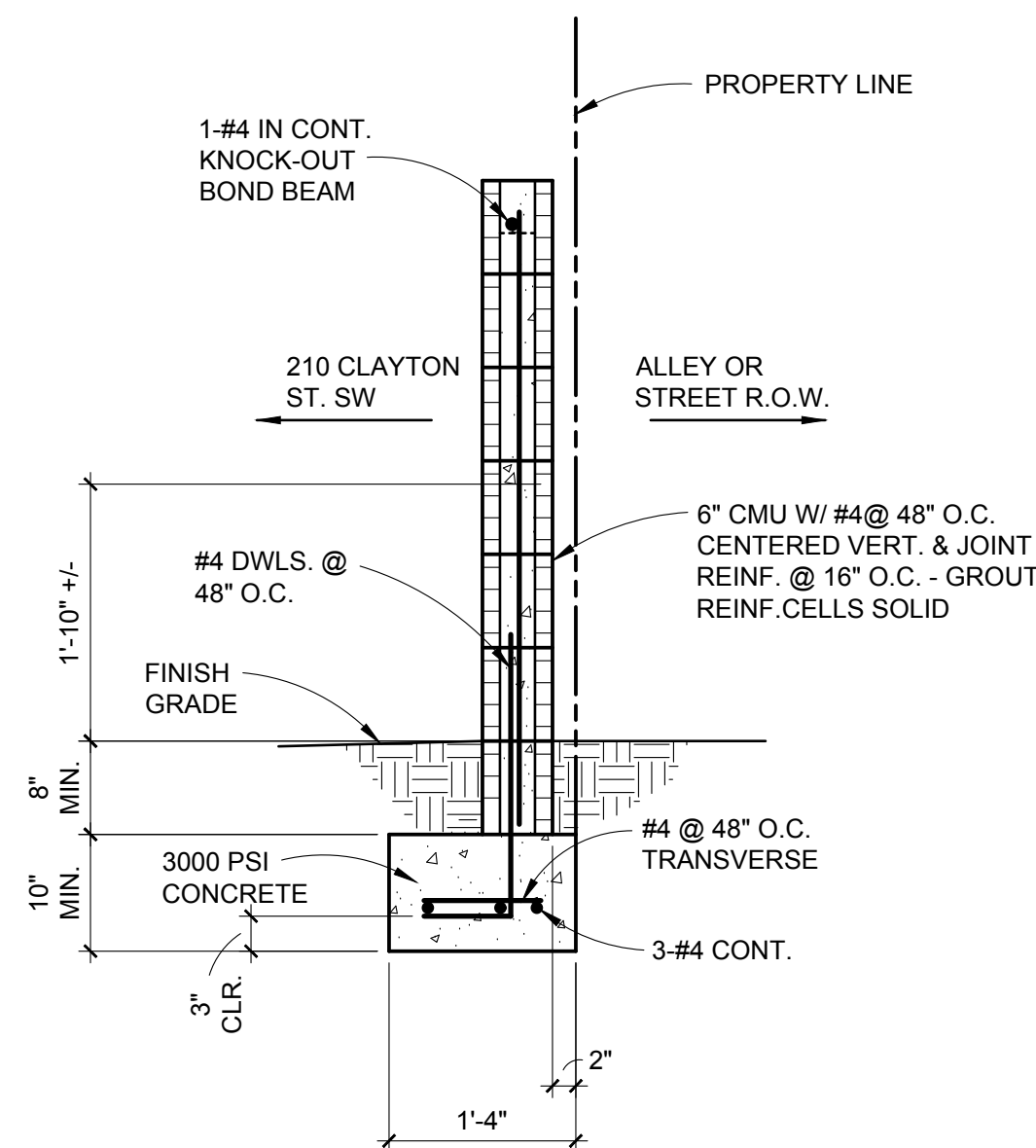
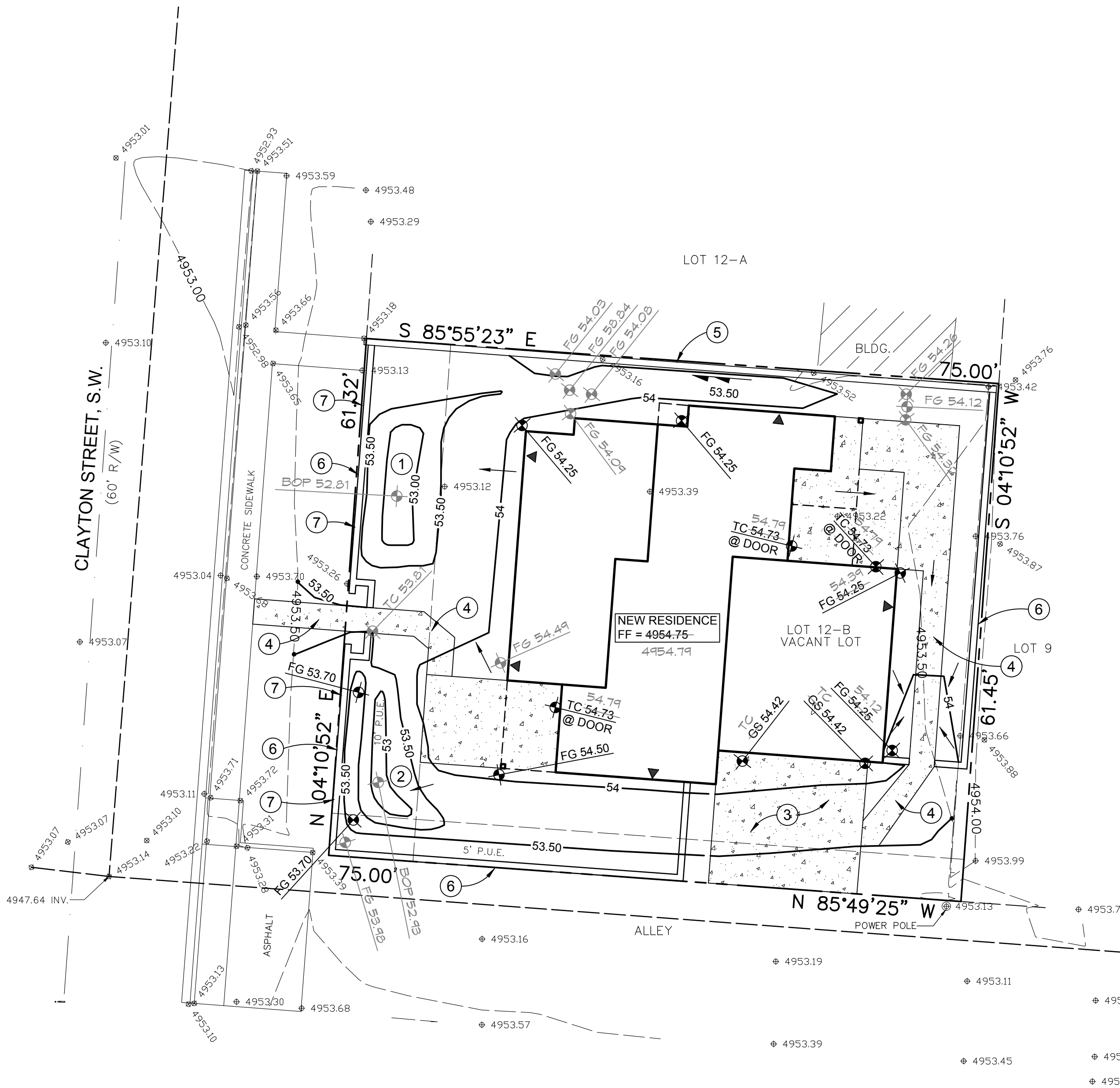
LOT 12-B, BLOCK 1, WEST PARK ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW CONTOUR
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- FF FINISHED FLOOR
- GS GRAVEL SURFACE
- ROOF DRAIN
- FLOW DIRECTION
- DRAINAGE SWALE
- NEW CONCRETE PAVING
- NEW GRAVEL SURFACE
- BOP BOTTOM OF POND

SHEET KEYNOTES

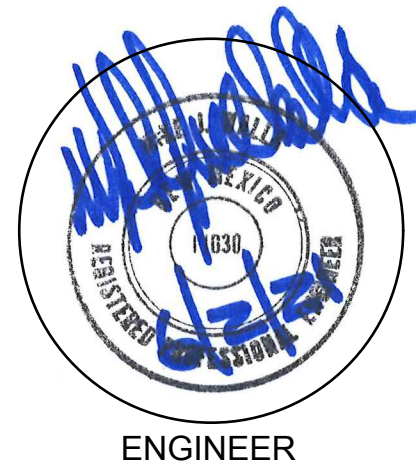
- WATER HARVESTING POND - CAPACITY = 101 CF
- WATER HARVESTING POND - CAPACITY = 43 CF
- GRAVEL-DRIVE- CONCRETE DRIVE
- GRAVEL-WALKWAY- CONCRETE WALKWAY
- EXISTING CMU WALL
- NEW CMU WALL PER DETAIL A2/C-101
- DRAIN BLOCK IN CMU WALL WITH INVERT AT ±53.50



A1 GRADING AND DRAINAGE PLAN
1" = 10'



CONSULTANT



ENGINEER

FIERRO RESIDENCE
210 CLAYTON ST. SW
ALBUQUERQUE,
NEW MEXICO

MARK DATE REVISION

PROJECT NO: E27-0121
CAD DWG FILE:
DRAWN BY: LEK
CHECKED BY: MJW

SHEET TITLE

GRADING and
DRAINAGE PLAN

C-101