

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 15, 2024

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 2518 Carson Rd NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 04/07/24**  
**Hydrology File: J13D106**

Dear Mr. Soule:

Based upon the information provided in your submittal received 04/09/2024, the Grading & Drainage Plan is **not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

1. Please follow Article 6-5 Valley Drainage Criteria of the DPM. The following conditions must be applied to the site:
  - The maximum percent impervious of the lot and the contributing area may not be greater than 45%.
  - Pad elevation shall be a minimum of one (1) foot above the 100 year 10-day stormwater surface elevation.
  - The flow between the front yard and back yard cannot be obstructed. The stormwater must be allowed to equalize to the same level between the front yard and back yard.
  - A permanent perimeter wall or barrier around the development is required to contain the 100 year 24 hour storm developed runoff.
  - The high point of the street should be four inches above the 100 year 10-day stormwater surface elevation.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department







Weighted E = Ea\**A*a + Eb\**A*b + Ec\**A*c + Ed\**A*d / (Total Area)

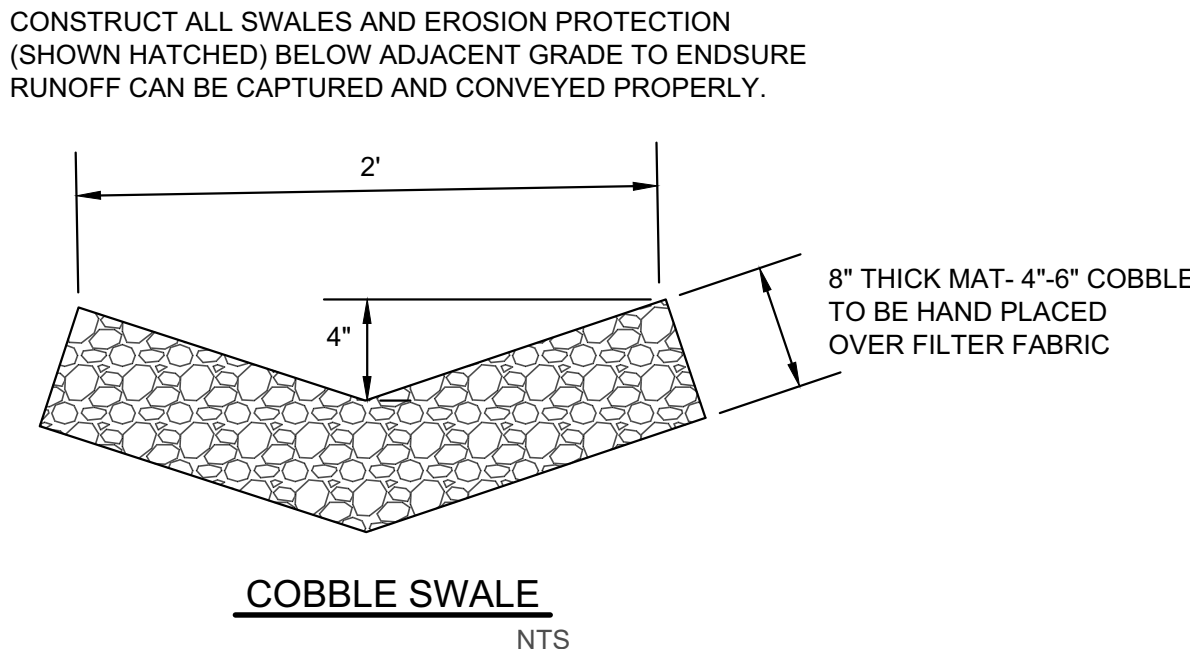
Volume = Weighted D \* Total Area

Flow = Qa \* *A*a + Qb \* *A*b + Qc \* *A*c + Qd \* *A*d

Where for 100-year, 6-hour storm(zone1)

Ea= 0.55	Qa= 1.54
Eb= 0.73	Qb= 2.16
Ec= 0.95	Qc= 2.87
Ed= 2.24	Qd= 4.12

This site is an redevelopment of a previously developed lot. The existing house was demolished at some point in the past (GIS shows). There is no master drainage plan for this area, all lots currently free discharge. The site is adjacent to a public storm drain. The draiage solution is to retain a portion of increase in flow generated by the redevelopment based upon the 24-hr volumes. The ponds will overflow to the street and all the excess generated flow we be captured by the existing inlet



**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

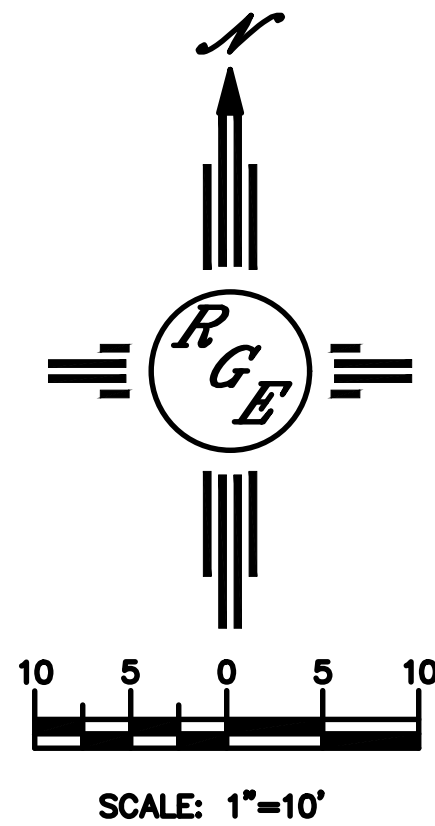
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

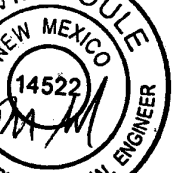



TRACTS 291-A & 291-B  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD 83 DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	BOUNDARY
	ADJACENT BOUNDARY
	EXISTING CURB AND GUTTER
	PROPOSED EARTHEN SWALE
	PROPOSED CONCRETE
	PROPOSED 2' WIDE COBBLE SWALE



<p>ENGINEER'S SEAL</p>	<p><b>TRACTS 291-A &amp; 291-B 2518 CARSON ROAD, N.W.</b></p>	<p><b>DRAWN BY DEM</b></p>
	<p><b>GRADING AND DRAINAGE PLAN</b></p>	<p><b>DATE</b> <b>3-29-24</b></p> <p>2514 Carson Rd NW</p>
<p>4/7/24</p>		<p><b>SHEET #</b></p> <p><b>C1</b></p>
<p>DAVID SOULE P.E. #14522</p>	<p>PO BOX 93624 ALBUQUERQUE, NM 87199 (505) 321-9009</p>	<p><b>JOB #</b></p> <p>_____</p>