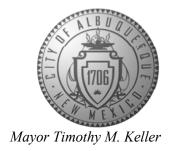
CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



April 15, 2024

David Soule, P.E. Rio Grande Engineering P.O. Box 93924 Albuquerque, NM 87199

RE: 2518 Carson Rd NW

Grading and Drainage Plan Engineer's Stamp Date: 04/07/24

Hydrology File: J13D106

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 04/09/2024, the Grading & Drainage Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

www.cabq.gov

- 1. Please follow Article 6-5 Valley Drainage Criteria of the DPM. The following conditions must be applied to the site:
 - The maximum percent impervious of the lot and the contributing area may not be greater than 45%.
 - Pad elevation shall be a minimum of one (1) foot above the 100 year 10-day stormwater surface elevation.
 - The flow between the front yard and back yard cannot be obstructed. The stormwater must be allowed to equalize to the same level between the front yard and back yard.
 - A permanent perimeter wall or barrier around the development is required to contain the 100 year 24 hour storm developed runoff.
 - The high point of the street should be four inches above the 100 year 10-day stormwater surface elevation.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title:		Hydrology File #	
Legal Description:			
City Address, UPC, OR Parcel	:		
Applicant/Agent:		Contact:	
Address:			
Email:			
Applicant/Owner:		Contact:	
Address:		Phone:	
Email:			
(Please note that a DFT SITE is or	ne that needs Site Plan A	pproval & ADMIN SITE is one that does not need it.)	
TYPE OF DEVELOPMENT:	PLAT (#of lots)	RESIDENCE	
	DFT SITE	ADMIN SITE	
RE-SUBMITTAL: YES	NO		
DED A DEMENT. TO A NI	SDODT A TION	HVDDOLOGV/DD A DIA CE	
DEPARTMENT: TRANS	SPORTATION	HYDROLOGY/DRAINAGE	
Check all that apply under Both	the Type of Submittal	and the Type of Approval Sought:	
TYPE OF SUBMITTAL:		TYPE OF APPROVAL SOUGHT:	
ENGINEER/ARCHITECT CERTIFICATION		BUILDING PERMIT APPROVAL	
PAD CERTIFICATION		CERTIFICATE OF OCCUPANCY	
CONCEPTUAL G&D PLAN		CONCEPTUAL TCL DFT APPROVAL	
GRADING & DRAINAGE PLAN		PRELIMINARY PLAT APPROVAL	
DRAINAGE REPORT		FINAL PLAT APPROVAL	
DRAINAGE MASTER PLAN		SITE PLAN FOR BLDG PERMIT DFT	
CLOMR/LOMR		APPROVAL	
TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE		SIA/RELEASE OF FINANCIAL GUARANTEE	
		FOUNDATION PERMIT APPROVAL	
TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL		GRADING PERMIT APPROVAL	
TRAFFIC IMPACT STUDY (TIS)		SO-19 APPROVAL	
STREET LIGHT LAYOUT		PAVING PERMIT APPROVAL	
OTHER (SPECIFY)		GRADING PAD CERTIFICATION	
- 111211 (C1 2011 1)		WORK ORDER APPROVAL	
		CLOMR/LOMR	
		OTHER (SPECIFY)	
DATE SUBMITTED:			

EROSION CONTROL NOTES: 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK. 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION. Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area) 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO Volume = Weighted D * Total Area EXISTING RIGHT-OF-WAY. Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad Where for 100-year, 6-hour storm(zone1 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE Qb= 2.16 Qc= 2.87 Eb= 0.73 CONTRACTOR. Ec= 0.95 Qd= 4.12 TOTAL VOLUME 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER **Developed Conditions** EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT. 0.31 CFS 0.29 CFS DISCHARGE PROPOSED 700 CF EXISTING DISCHARGE 641 CF DIFFERENCE This site is an redevelopment of a previously developed lot. The existing house was demolished at some point in the past (GIS shows). There is no master drainage plan for this area, all lots currently free discharge. The site is adjacent to a public storm drain. The draiage solution is to retain a portion of increase in flow generated by the redevelopment based upon the 24-hr volumes. The ponds will overflow to the street and all the excess generated flow we be captured by the existing inlet VICINITY MAP: J-13-2 National Flood Hazard Layer FIRMette **EXISTING INLET** FND REBAR W/CAP #11463 GRATE=4598.65 AGRS 8-H13 1985 ELEVATION=4959.31 NEW MEXICO STATE PLANE COORDINATES NAD 83, NM CENTRAL ZONE 4958.98 NORTHING: 11495058.484 usft 4958.93 EASTING: 1514348.572 usft *ELEVATION=4963.168usft* 4959.04 NAVD 88 4959.32 4958.99 4959.44 2514 CARSON ROAD, N.W.X 4959.01 (R/W VARIES) LOT OUTFALL LOT OUTFALL @ 4958.95 4958.73 × 4959.36 4959.50 FIRM MAP: 4958.76 **LEGAL DESCRIPTION:** TRACTS 291-A & 291-B CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO 58.63 4958.43 **NOTES:** 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED. FF= 4960.35 GRADING ON THIS LOT FOR 2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO. FP= 4959.85 3. ANY PERIMETER WALLS MUST BE PERMITED SEPARATELY ALL RETAINING WALL DESIGN REFERENCE ONLY 4958.56 4958.24 SHALL BE BY OTHERS. × 4958.78 4958.15 4959.12 FF= 4960.85 4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988. 4959.40 ᢦ FP= 4960.35 4958. 5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING 4959.23 4959.32 4959.00 **LEGEND** 4958.97 4959.34 EXISTING CONTOUR COBBLE <u>59.25</u>/ **SWALE** HOUSE SHALL BE EXISTING INDEX CONTOUR RETENTION POND **GUTTERED TO CORNERS** TOP=59.00 PROPOSED CONTOUR BOTTOM=58.050 VOLUME=122 CF PROPOSED INDEX CONTOUR HOUSE SHALL BE PUEBLO BONITO ADDITION **GUTTERED TO CORNERS** EXISTING SPOT ELEVATION × XXXX 4959.74 COBBLE 4959.88 XXXX PROPOSED SPOT ELEVATION **SWALE** BOUNDARY RETENTION POND TOP=59.50 — — — — ADJACENT BOUNDARY BOTTOM=58.50 VOLUME=141 CF PROPOSED EARTHEN SWALE PROPOSED CONCRETE 4_A . A . A . CONSTRUCT ALL SWALES AND EROSION PROTECTION PROPOSED 2' WIDE COBBLE SWALE (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENDSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY. 8" THICK MAT- 4"-6" COBBLE TO BE HAND PLACED OVER FILTER FABRIC ENGINEER'S SEAL COBBLE SWALE GRADING AND **CAUTION:** EXISTING UTILITIES ARE NOT SHOWN.

IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL

NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE

ACTUAL LOCATION OF UTILITIES & OTHER

IMPROVEMENTS.

TRACTS 291-A & 291-B DRAWN BY DEM 2518 CARSON ROAD, N.W. DATE 3-29-24 DRAINAGE PLAN 2514 Carson Rd NW Rio Grande SHEET# C1 Lingineering 4/7/24 PO BOX 93924 ALBUQUERQUE, NM 87199 (505) 321-9099 JOB#

SCALE: 1"=10'

DAVID SOULE P.E. #14522