

CITY OF ALBUQUERQUE



April 18, 2016

Darby Miera
RBA Architecture Planning Design
1104 Park Ave, SW
Albuquerque, NM

Re: Christmans Apartments
2040 Willis Pl., SW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-14-16 (J13-D202)

Dear Mr. Miera,

The TCL submittal received 4-14-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Final C.O. will not be issued until Revocable Permit is acquired.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: CHRISTMANS APARTMENTS ZONE/MAP: J-13-D 202
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 8A, Block B, of Westpark Addition
CITY ADDRESS: _____

ENGINEERING FIRM: N/A
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____
EMAIL: _____

OWNER: Carl's Casita LLC.
ADDRESS: 310 Rio Grande Blvd. SW
CITY, STATE: ABQ NM

CONTACT: Marc Cumbro
PHONE: (505) 585-7000
ZIP CODE: 87104

ARCHITECT: RBA Architecture Planning Design
ADDRESS: 1108 Park Ave SW
CITY, STATE: ABQ NM

CONTACT: Darby Miera
PHONE: (505) 242-1859
ZIP CODE: 87102
EMAIL: darby@rba81.com

SURVEYOR: N/A
ADDRESS: _____
CITY, STATE: _____

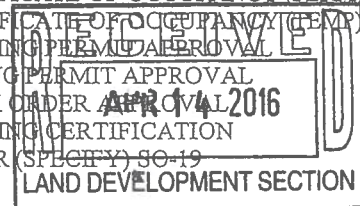
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: N/A
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) _____

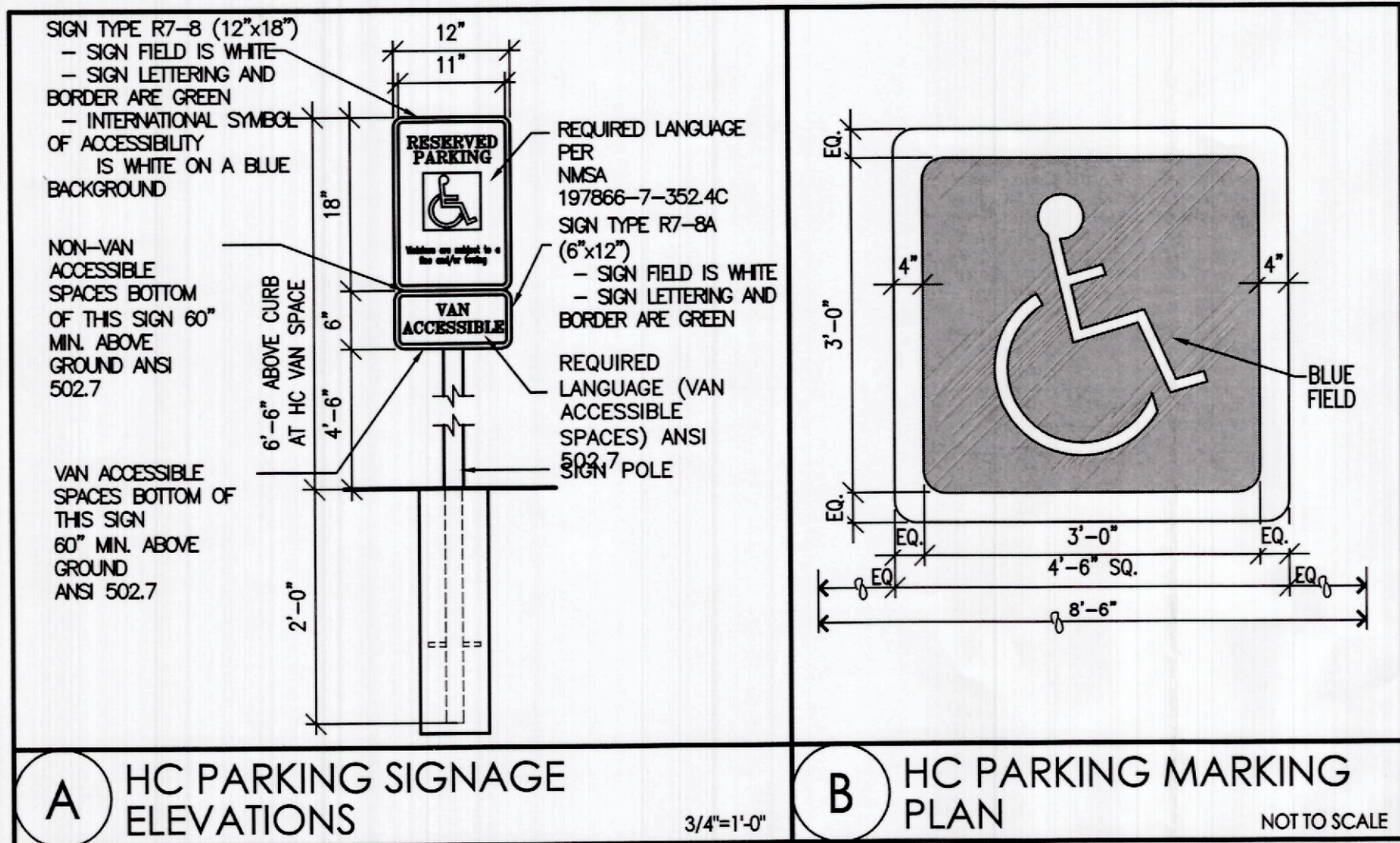


WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 4/14/16 BY: [Signature]

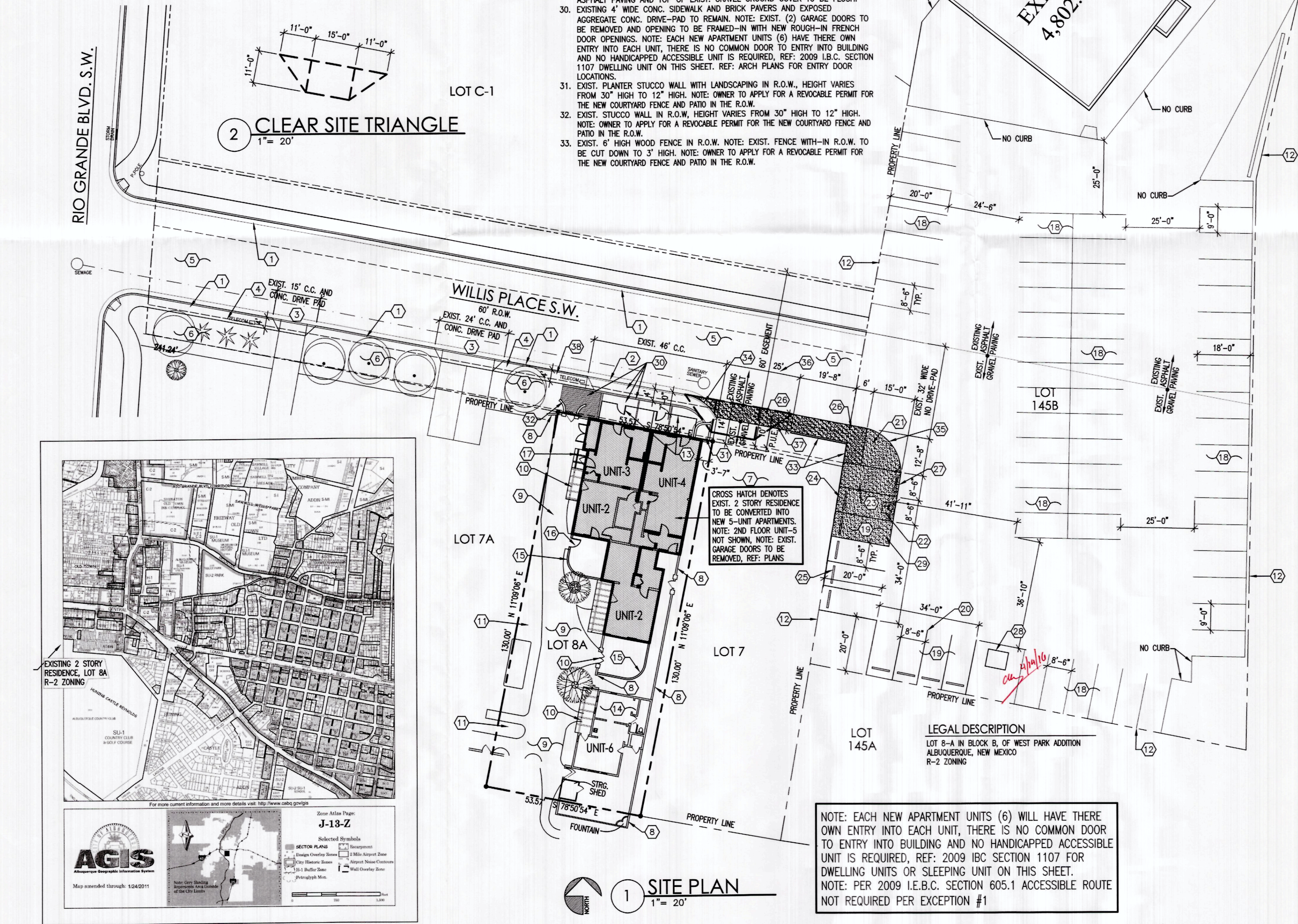
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



KEYED NOTES

- EXISTING CONCRETE CURB AND GUTTER.
- EXISTING CONCRETE GUTTER (NO RASSED CURB).
- EXIST. CONC. CURB CUT AND DRIVE-PAD.
- EXIST. 4" WIDE CONCRETE SIDEWALK.
- EXIST. ASPHALT PAVED ROAD.
- EXIST. LANDSCAPING.
- EXIST. GRAVEL GROUND COVER.
- EXIST. COURTYARD WALL AND WOOD GATE.
- EXIST. GRAVEL PATHWAY.
- EXIST. TRELLIS ROOF.
- EXIST. GRASS GROUND COVER.
- EXIST. FENCE ON PROPERTY LINE.
- 3 FT. MAX. HIGH WOOD GATE AND WOOD FENCE WITH STEEL POSTS, BOTTOM POSTS TO BE BOLTED TO EXIST. CONCRETE SLAB. NOTE: OWNER TO APPLY FOR A REVOCABLE PERMIT FOR THE NEW COURTYARD FENCE AND PATIO IN THE R.O.W.
- EXIST. BUILDING, UNIT-6: NEW WORK LIMITED TO NEW STUCCO COLOR COAT AND PAINT.
- NEW COURTYARD WALL: MATCH EXIST. WITH STUCCO FINISH.
- NEW WOOD GATE.
- NEW WOOD TRELLIS, MATCH EXISTING.
- EXISTING PARKING LOT, ALL EXISTING PARKING SPACES ARE PAINTED STRIPES ON EXIST. ASPHALT PAVING OR GRAVEL BASE WITH NO CONC. CURBS ISLANDS.
- (9) DEDICATED PARKING SPACES FOR NEW UNIT-1 THRU UNIT-6, NOTE: 1.5 SPACES PER UNIT: 6x1.5 = 9 SPACES.
- 2" WIDE PAINTED PARKING STRIPE PER C.O.A. STANDARDS.
- 2" WIDE PAINT STRIPES ON ASPHALT PAVED ISLAND, NOTE: TOP OF NEW ASPHALT PAVING AND TOP OF EXIST. GRAVEL GROUND COVER TO BE FLUSH.
- HANDICAP SYMBOL PER C.O.A. STANDARDS, REF: DETAIL THIS SHEET.
- HANDICAP ACCESSIBLE AISLE PER C.O.A. STANDARDS.
- HANDICAP ACCESSIBLE SIGNAGE PER C.O.A. STANDARDS, REF: DETAIL THIS SHEET.
- CONCRETE PARKING BUMPER, TYPICAL.
- 4" WIDE CONCRETE ACCESSIBLE PEDESTRIAN PATH-WAY WITH MAX. 2% SLOPE IN ALL DIRECTIONS, PER C.O.A. STANDARDS. NOTE: TOP OF NEW CONCRETE SIDEWALK PEDESTRIAN PATH-WAY, EXIST SIDEWALK AND EXIST. ASPHALT PAVING TO BE FLUSH. NOTE: PER 2009 INTERNATIONAL EXISTING BUILDING CODE (I.E.B.C.) SECTION 605.1 EXCEPTION #1: ACCESSIBLE ROUTE TO NEW DWELLING OR SLEEPING UNITS NOT REQUIRED.
- "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE. (66-1-4.1.B NMSA 1978).
- EXIST. DUMPSTER LOCATION.
- 3" THICK NEW ASPHALT PAVING OVER 4" BASE COURSE OR OPTIONAL 6" THICK 4000 PSI CONCRETE SLAB WITH #4 AT 12" O.C. EACH WAY. NOTE: TOP OF NEW ASPHALT PAVING AND TOP OF EXIST. GRAVEL GROUND COVER TO BE FLUSH.
- EXISTING 4" WIDE CONC. SIDEWALK AND BRICK PAVERS AND EXPOSED AGGREGATE CONC. DRIVE-PAD TO REMAIN, NOTE: EXIST. (2) GARAGE DOORS TO BE REMOVED AND OPENING TO BE FRAMED-IN WITH NEW ROUGH-IN FRENCH DOOR OPENINGS. NOTE: EACH NEW APARTMENT UNITS (6) HAVE THERE OWN ENTRY INTO EACH UNIT, THERE IS NO COMMON DOOR TO ENTRY INTO BUILDING AND NO HANDICAPPED ACCESSIBLE UNIT IS REQUIRED, REF: 2009 I.B.C. SECTION 1107 DWELLING UNIT ON THIS SHEET. REF: ARCH PLANS FOR ENTRY DOOR LOCATIONS.
- EXIST. PLANTER STUCCO WALL WITH LANDSCAPING IN R.O.W., HEIGHT VARIES FROM 30" HIGH TO 12" HIGH. NOTE: OWNER TO APPLY FOR A REVOCABLE PERMIT FOR THE NEW COURTYARD FENCE AND PATIO IN THE R.O.W.
- EXIST. STUCCO WALL IN R.O.W., HEIGHT VARIES FROM 30" HIGH TO 12" HIGH. NOTE: OWNER TO APPLY FOR A REVOCABLE PERMIT FOR THE NEW COURTYARD FENCE AND PATIO IN THE R.O.W.
- EXIST. 6" HIGH WOOD FENCE IN R.O.W. NOTE: EXIST. FENCE WITH-IN R.O.W. TO BE CUT DOWN TO 3" HIGH. NOTE: OWNER TO APPLY FOR A REVOCABLE PERMIT FOR THE NEW COURTYARD FENCE AND PATIO IN THE R.O.W.



SCOPE OF WORK

- EXISTING 2 STORY RESIDENCE WITH THREE CAR GARAGE TO BE CONVERTED INTO A NEW FIVE UNIT APARTMENT BUILDING (OCCUPANCY CHANGE TO R-2 GROUP).
- EXISTING EXTERIOR WALLS TO BE PATCHED AND REPAIRED AS REQUIRED FOR NEW STUCCO COLOR COAT OVER EXISTING STUCCO.
- THE EXISTING WALLS THAT SEPARATE EACH APARTMENT UNITS ARE TO BE CHANGED INTO NEW ONE HOUR FIRE-RATED WALLS USING NEW 5/8" TYPE "X" GYP. BD OVER THE EXISTING GYP. BD., THE NEW TYPE "X" GYP. BD. WILL BE INSTALLED FROM TOP OF EXIST. SLAB TO BOTTOM OF EXIST. 2ND FLOOR DECKING AND CONTINUE UP TO THE BOTTOM OF THE EXIST. ROOF DECKING.
- NEW WALLS SEPARATING EACH APARTMENT UNIT WILL BE AN NEW ONE HOUR FIRE-RATED WALL USING 5/8" TYPE "X" GYP. BD., THE TYPE "X" GYP. BD. WILL BE INSTALLED ON EACH SIDE OF THE WALL AND ALSO FROM THE TOP OF CONCRETE SLAB UP TO BOTTOM OF 2ND FLOOR DECKING. EXIST. GARAGE CEILING IS A ONE HOUR CEILING AND WILL BE PATCHED AND REPAIRED AS REQUIRED WHERE NEW WALLS ARE FRAMED UP TO BOTTOM OF THE EXIST. 2ND FLOOR DECKING. REF: NEW 1ST AND 2ND FLOOR PLAN SHEET A-2.0 AND SHEET A-2.1 FOR ONE HOUR FIRE WALL LOCATIONS.
- G.C. TO INSTALL NEW NFPA 13R SPRINKLER SYSTEM WITH NO SPRINKLER HEADS IN CONCEALED CAVITY, ALL WALLS SEPARATING THE NEW APARTMENT UNITS TO BE ONE HOUR FIRE-RATED, REF: SHEET A-2.1 FOR ONE HOUR FIRE-RATED WALL LOCATIONS.
- EXISTING ROOFS TO BE RE-ROOFED AND ALL EXIST. EXTERIOR WALLS ARE TO BE PATCH AND REPAIRED AND PREPARED FOR NEW STUCCO COLOR COAT.
- ALL EXISTING ELECTRICAL TO BE RE-USED AND MODIFIED AS REQUIRED, REF: EXISTING/NEW ELECTRICAL PLAN.

2009 INTERNATIONAL EXISTING BUILDING CODE (I.B.C.) DATA

SECTION 405 ALTERATIONS:	405.1 SCOPE. LEVEL 3 ALTERATIONS APPLY WHERE THE WORK AREA EXCEEDS 50 PERCENT OF THE AGGREGATE AREA OF THE BUILDING. 405.2 APPLICATION. LEVEL 3 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 6 AND 7 FOR LEVEL 1 AND 2 ALTERATIONS, RESPECTIVELY, AS WELL AS THE PROVISIONS OF CHAPTER 8.
SECTION 605 ACCESSIBILITY:	605.1 GENERAL. A BUILDING, FACILITY OR ELEMENT THAT IS ALTERED SHALL COMPLY WITH THE APPLICABLE PROVISIONS IN SECTION 605.1.1 THROUGH 605.1.14, CHAPTER 11 OF THE I.B.C. AND ICC A117.1 UNLESS IT IS TECHNICALLY INFEASIBLE, THE ALTERNATION SHALL PROVIDE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE. A BUILDING, FACILITY OR ELEMENT THAT IS CONSTRUCTED OR ALTERED TO BE ACCESSIBLE SHALL BE MAINTAINED ACCESSIBLE DURING OCCUPANCY. EXCEPTIONS: 1. THE ALTERED ELEMENT OR SPACE IS NOT REQUIRED TO BE ON AN ACCESSIBLE ROUTE UNLESS REQUIRED BY SECTION 605.2. NOTE: SECTION 605.2, THERE ARE NO EXISTING OR NEW PRIMARY FUNCTIONS IN THE EXISTING BUILDING NEEDING ACCESSIBLE PUBLIC TOILETS OR DRINKING FOUNTAINS. 2. ACCESSIBLE MEANS OF EGRESS REQUIRED BY CHAPTER 10 OF THE I.B.C. ARE NOT REQUIRED FOR EXIST. BUILDINGS AND FACILITIES. 3. TYPE "B" DWELLING OR SLEEPING UNITS REQUIRED BY SECTION 1107 OF THE I.B.C. ARE NOT REQUIRED IN EXIST. BUILDINGS AND FACILITIES. 4. THE ALTERATION TO TYPE "A" INDIVIDUALLY OWNED DWELLING UNITS WITHIN THE GROUP R-2 OCCUPANCY SHALL MEET THE PROVISIONS FOR : TYPE "B" DWELLING UNITS AND SHALL COMPLY WITH APPLICABLE PROVISION IN CHAPTER 11 OF THE I.B.C. AND ICC A117.1
SECTION 808 ENERGY CONSERVATION:	808.1 MINIMUM REQUIREMENTS. LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE INTERNATIONAL ENERGY CONSERVATION CODE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.
CHAPTER 9 CHANGE OF OCCUPANCY:	901.3 CHANGE OF OCCUPANCY CLASSIFICATION. WHERE THE OCCUPANCY CLASSIFICATION OF THE BUILDING CHANGES, THE PROVISIONS OF SECTIONS 902 THROUGH 912 SHALL APPLY.

2009 INTERNATIONAL BUILDING CODE (I.B.C.) DATA

CHAPTER 3 OCCUPANCY AND USE CLASSIFICATION, SECTION 310 RESIDENTIAL GROUP R-2:	R-2, APARTMENT HOUSES (CHANGE OF OCCUPANCY FROM RESIDENTIAL DWELLING PER I.B.C. TO R-2 APARTMENT)
TABLE 503 GROUP R-2:	V-B W/ FIRE-PROTECTION SYSTEM PER 903.2.8 GROUP R AND 903.3.1.2 NFPA 13R SPRINKLER SYSTEMS 2 STORY, 7,000 S.F., R-2 GROUP
TABLE 503 ALLOWABLE HEIGHT AND BUILDING AREA: EXIST. 2 STORY RESIDENCE (LOT 8-A)	EXIST. 2 STORY RESIDENCE (LOT 8-A) EXISTING 2 STORY RESIDENCE TO BE CONVERTED INTO NEW 5-UNIT APARTMENTS. UNIT 1 HEATED AREA: 553 S.F. UNIT 2 HEATED AREA: 386 S.F. UNIT 3 HEATED AREA: 400 S.F. UNIT 4 HEATED AREA: 615 S.F. UNIT 5 HEATED AREA (2ND FLOOR): 996 S.F. MECHANICAL ROOM AREA: 46 S.F. TOTAL HEATED AREA: 3,996 S.F. * EXIST. COVERED ROOF AREA: 142 S.F. NEW COVERED ROOF ADDITION AREA: 28 S.F. TOTAL EXIST./NEW UNDER ROOF AREA: 4,166 S.F.
ACTUAL EXIST. 2 STORY AREA: (HEATED/COVERED) ACTUAL EXIST. 2 STORY AREA: (HEATED/NEW COVERED)	4,138 S.F. 4,166 S.F. (WITH NEW 28 S.F. COVERED AREA)
SECTION 420, GROUPS 1-1, R-1, R-2 AND R-3	420.1 GENERAL OCCUPANCIES IN GROUPS 1-1, R-1, R-2 AND R-3 SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION AND OTHER APPLICABLE PROVISIONS OF THIS CODE 420.2 SEPARATION WALLS. WALLS SEPARATING DWELLING UNITS AND WALL SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTIONS 709. 420.3 HORIZONTAL SEPARATION. FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL IN ACCORDANCE WITH SECTION 712. 708.1 GENERAL, THE FOLLOWING WALL ASSEMBLIES SHALL COMPLY WITH THIS SECTION. 2. WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AS REQUIRED BY SECTION 402.7.2
SECTION 709, FIRE PARTITIONS:	717.3.2 GROUP R-2. DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR-CEILING SPACES AND LOCATED ABOVE AND IN LINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATION.
SECTION 717, CONCEALED SPACE:	903.2.8 GROUP R, AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BLDG. WITH A GROUP R FIRE AREA.
SECTION 903 AUTOMATIC SPRINKLER SYSTEMS:	907.2.9 GROUP R-2 FIRE ALARM SYSTEM AND SMOKE ALARM SHALL BE INSTALLED IN GROUP R-2 OCCUPANCIES AS REQUIRED IN SECTION 907.2.9.1 AND 907.2.9.2. IN GROUP R-2 OCCUPANCIES REQUIRED BY SECTION 907 TO HAVE A FIRE ALARM SYSTEM, ALL DWELLING UNITS AND SLEEPING UNITS SHALL BE PROVIDED WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES ACCORDANCE WITH ICC A117.1
SECTION 907, FIRE ALARM AND DETECTION SYSTEMS:	
907.5.2.3.4 GROUP R-2.	

2009 I.B.C. SECTION 1107 DWELLING UNITS

- 1107.6.2.1.1 TYPE "A" UNITS, IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN (20) DWELLING UNIT OR SLEEPING UNITS, AT LEAST 2 PERCENT BUT NOT LESS THAN ONE OF THE UNITS SHALL BE A TYPE A UNIT. ALL TYPE R-2 UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS AND THE REQUIRED NUMBER OF TYPE A UNITS.
- NOTE: (6) TOTAL R-2 DWELLING UNITS ON SITE BA, NO R-2 UNITS ARE REQUIRED TO BE A TYPE "A" UNIT. (LESS THAN 20 UNITS).
- NOTE: (6) R-2 DWELLING UNITS ON SITE TO BE TYPE "B" UNIT.
- 1107.6.2.1.2 TYPE "B" UNITS, WHERE THERE ARE FOUR OR MORE DWELLING UNITS OR SLEEPING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE IN A SINGLE STRUCTURE. EVERY DWELLING UNIT AND SLEEPING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE "B" UNIT.

DESIGN CRITERIA

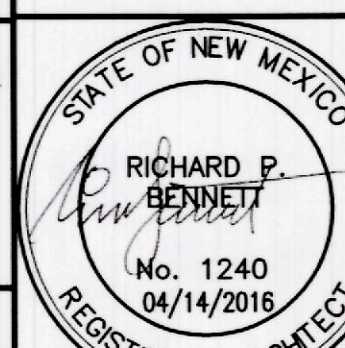
ROOF LIVE LOAD:	= EXISTING 20 PSF, NON-REDUCABLE
FLOOR DESIGN LIVE LOAD:	= EXISTING SLAB ON GRADE
WIND LOAD:	= 90 MPH
SITE CLASS:	= C
SEISMIC DESIGN CATEGORY:	= C

INDEX OF DRAWINGS

CIVIL C-1.0 SITE PLAN	ARCHITECTURAL A-1.0 1ST AND 2ND FLOOR DEMOLITION PLAN A-2.0 NEW 1ST AND 2ND FLOOR PLAN, KEYED NOTES AND GENERAL NOTES A-2.1 1ST AND 2ND DIMENSION AND WALL TYPE PLAN AND NOTES A-2.2 1ST AND 2ND FLOOR FLOOR FINISH PLAN A-2.3 1ST AND 2ND FLOOR REFLECTED CEILING PLAN A-3.0 ADA/ANSI NOTES AND TYPE "A" UNIT KITCHEN AND BATHROOM DETAILS A-4.0 BUILDING SECTION AND WALL SECTIONS. A-5.0 DOOR AND WINDOW SCHEDULE AND GENERAL NOTES
MECHANICAL M-1.0 HVAC PLAN	ELECTRICAL E-1.0 LIGHTING AND POWER PLAN
PLUMBING P-1.0 PLUMBING PLAN	PARKING REQUIREMENTS RESIDENTIAL C.O.A. GENERAL REGULATIONS 14-16-3-1 OFF-STREET PARKING REGULATIONS (24) RESIDENTIAL USE, EXCEPT COMMUNITY RESIDENTIAL PROGRAM AND EMERGENCY SHELTER, WHICH HAVE SEPARATE PARKING LISTING UNDER THIS DIVISION (A). (c) FOR EACH DWELLING SPACE WITH NET LEASABLE AREA OF LESS THAN 1,000 S.F. AND WHICH IS NOT COVERED BY EITHER DIVISIONS (c) OR (b) OF THIS DIVISION (24): ONE SPACE PER BATH BUT NOT LESS THAN ONE AND ONE-HALF SPACES. PARKING REQUIRED: (6) DWELLING UNITS = 6x1.5 = (9) SPACES ACCESSIBLE SPACES REQUIRED: (1) THRU (25) = (1) ACCESSIBLE SPACE REQUIRED PARKING PROVIDED: (8) 8'-6" x 20'-0" SPACES (9) 8'-6" x 20'-0" SPACES (9) TOTAL PARKING SPACES PROVIDED

CHRISTMANS APARTMENTS
SITE PLAN
ALBUQUERQUE, NM
PROJECT #1548

REVISION DATE



RBA
ARCHITECTURE
DESIGN
1104 First Ave. SW
Albuquerque, NM 87102
www.rbaa.com

DATE
03-21-2016

SHEET NUMBER
C-1.0