

CITY OF ALBUQUERQUE



August 10, 2017

Eric Haskin
Lloyd and Associates Architects
312-A West San Francisco St.
Santa Fe, NM 87501

Re: Art Barn
1904 Bellamah NW
Traffic Circulation Layout
Architect's Stamp XX-XX-XX (J13D205)

Dear Mr. Haskin,

Based upon the information provided in your submittal received 8-1-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Please include a copy of your shared parking agreement with the adjacent property owner.
3. On-Street parking credit to fulfill zoning's parking requirement must be requested and approved by the Traffic Engineer, Racquel Michel prior to TCL approval. The application requires at least 45 working days. On-street parking credit is based on available parking along public right-of-ways fronting the property. The business will only be granted 50% credit for available street parking.
4. All ADA accessible ramp in COA R.O.W. shall have detectible warning surface that meet COA standard.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

MA/LP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: ART BARN Building Permit #: 2017-23175 Hydrology File #: J13D205
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT "A" LANDS OF STEWART-WALKER
City Address: 1904 BELLAMAH NW, ALBUQUERQUE, 87104

Applicant: ERL HASKINS, LLOYD + ASSOC. Contact: ERL HASKINS
Address: 321-A W. SAN FRANCISCO ST, SANTA FE, NM 87501
Phone#: 505-252-8325 Fax#: _____ E-mail: erl@lloyd-architects.com
Other Contact: _____ Contact: _____

Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

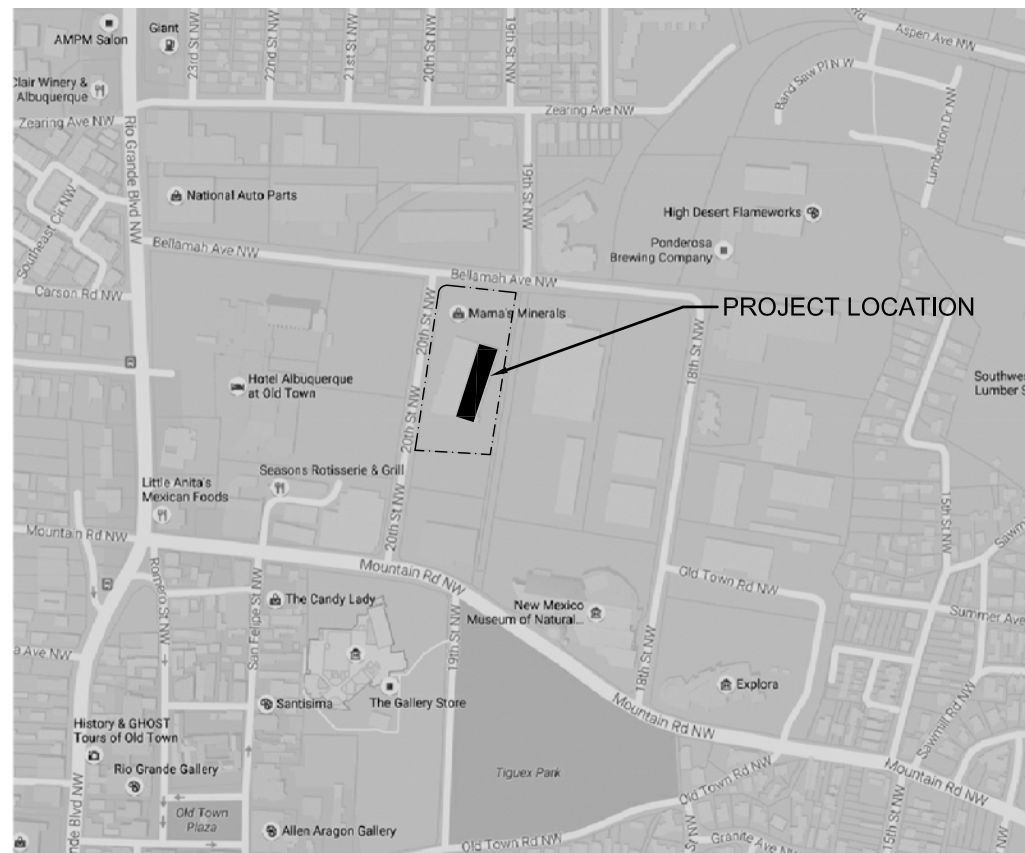
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8-1-2017 By: _____

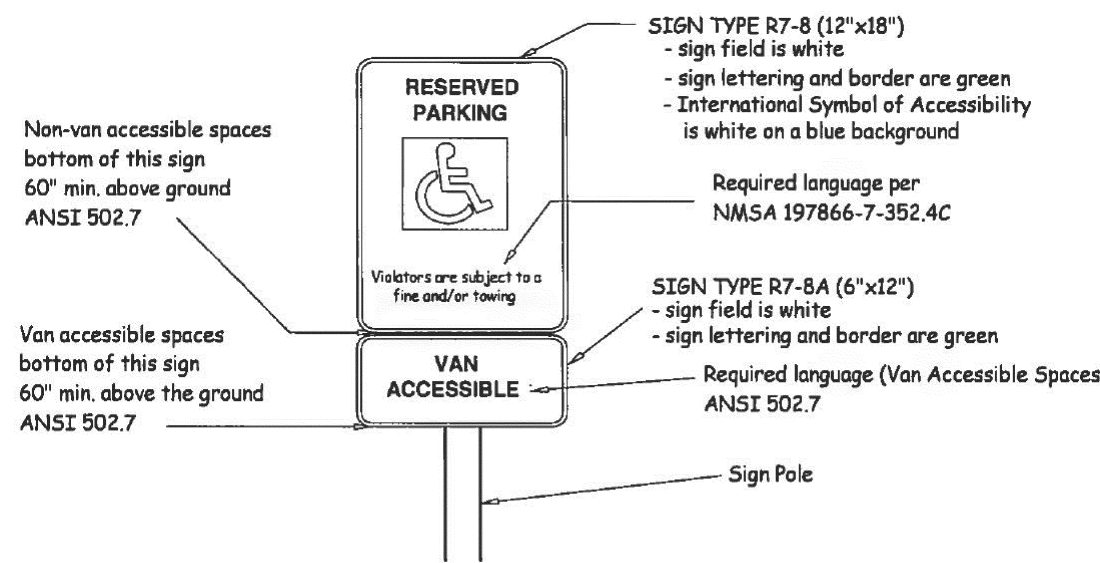
COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



D1 LOCATION MAP
NOT TO SCALE



D2 TYPICAL PARKING SIGN
NOT TO SCALE

REQUIRED PARKING:
PER CITY ZONING CODE, RETAIL AND SERVICE USES:
1 SPACE PER 200 SF OF NET LEASABLE AREA.
27,936 SF / 200 = 140 SPACES REQUIRED, 109 SPACES PROVIDED ON SITE.

PER 14-16-3-1, AN ON-STREET PARKING CREDIT MAY BE USED WHERE PARKING SPACES ARE PROVIDED ON A PUBLIC STREET AND ABUT THE PROPERTY.

24 ON-STREET PARKING SPACES ARE PROVIDED THAT ABUT THE PROPERTY, 12 (50%) MAY BE COUNTED TOWARD THE PARKING REQUIREMENT. NOTE: THESE SPACES ARE NOT CURRENTLY STRIPED, AND STRIPING THEM IS NOT PART OF THIS PROJECT. THEY ARE SHOWN FOR COUNT PURPOSES ONLY.

THE REMAINDER OF THE PARKING REQUIREMENT (19 SPACES, 14% OF REQUIREMENT) SHALL BE MET BY DIRT LOT DIRECTLY SOUTH OF PROPERTY. DIRT LOT CONTAINS 104 UNASSIGNED SPACES, IS NOT CURRENTLY BEING USED, AND IS UNDER SAME OWNERSHIP AS ART BARN.

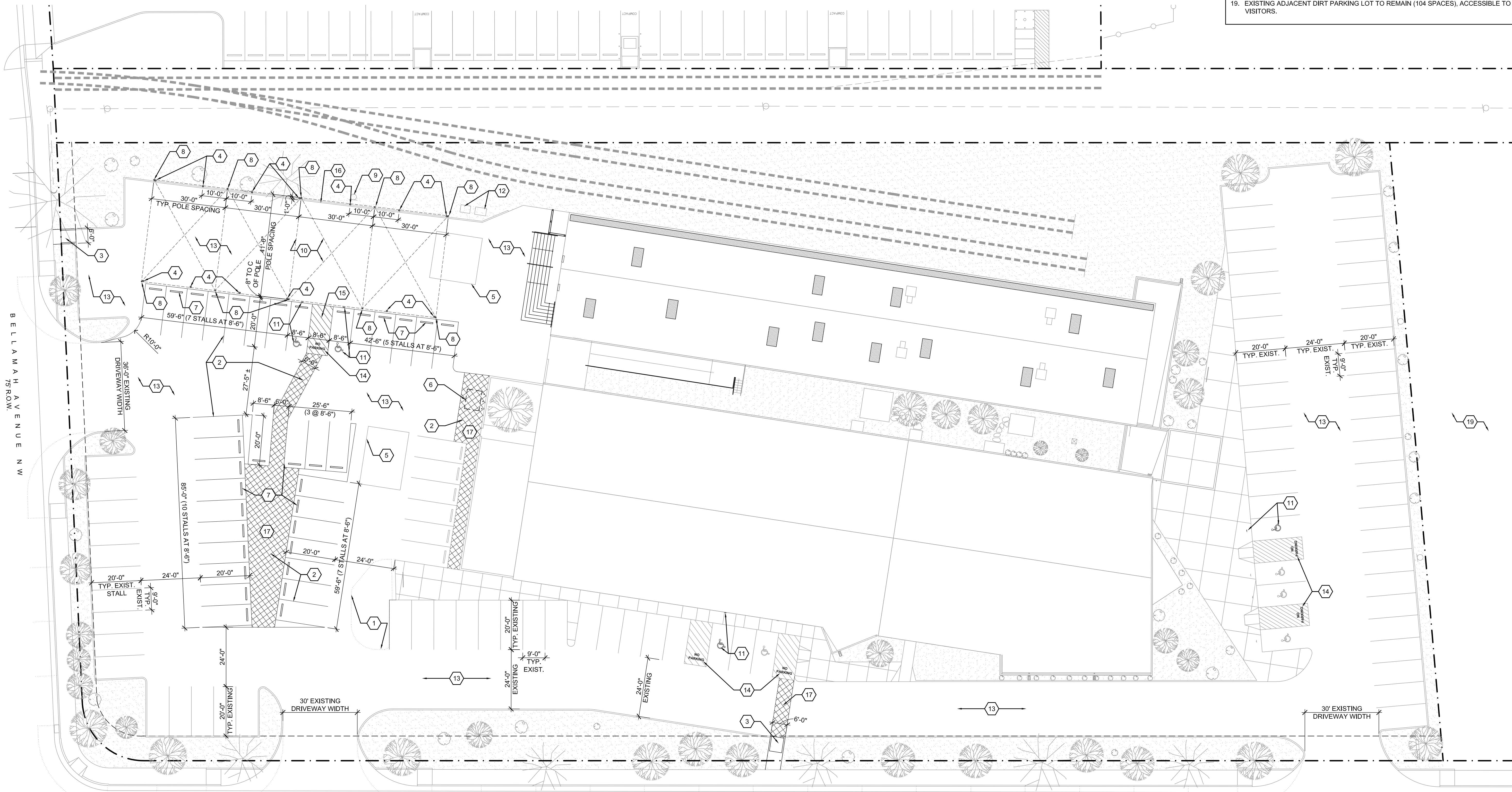
8 DISABLED PARKING SPACES ARE REQUIRED AND PROVIDED.

GENERAL SHEET NOTES

- ALL BUILDINGS ARE EXISTING. ALL PAVING AND LANDSCAPING IS EXISTING TO REMAIN. PARKING STRIPING IS BEING PARTIALLY RECONFIGURED.
- ALL LANDSCAPING IS EXISTING TO REMAIN.
- WITH THE EXCEPTION OF A SMALL PATCHED AREA, ALL ASPHALT IS EXISTING TO REMAIN. EXISTING GRADING AND DRAINAGE WILL REMAIN UNCHANGED.
- EXISTING ITEMS ARE SHOWN WITH GRAY LINES, NEW ITEMS ARE SHOWN WITH BLACK LINES.

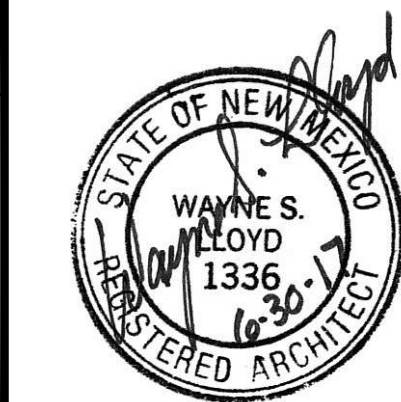
SHEET KEYED NOTES

- PROVIDE NEW ASPHALT PATCH IN AREA SHOWN, FEATHER INTO EXISTING ASPHALT.
- NEW PAINT STRIPING.
- NEW CONCRETE SIDEWALK AND CURB RAMP, 1:12 MAX SLOPE, 6'-0" MIN. WIDTH.
- STEEL BOLLARD WITH INTEGRATED ELECTRICAL RECEPTACLES, SEE ELECTRICAL.
- EXISTING CONCRETE SLAB AT GRADE TO REMAIN.
- RELOCATE EXISTING DUMPSTER TO LOCATION SHOWN.
- CONCRETE CURB STOP.
- POLE TO SUPPORT STRINGS OF LIGHTS (LIGHTS BY OWNER). SEE E4/S-301 FOR DETAIL.
- EXISTING AREA LIGHTING TO REMAIN.
- LOCATION OF STRINGS OF LIGHTS (BY OWNER).
- PROVIDE NEW PAINTED DISABLED PARKING SYMBOL AND SIGNAGE. NEW SIGNAGE SHALL BE PER D2/TCL. WHERE PRESENT, EXISTING SYMBOLS AND SIGNAGE MAY REMAIN IF IN SERVICEABLE CONDITION.
- EXISTING TRANSFORMERS TO REMAIN.
- EXISTING ASPHALT PARKING SURFACE TO REMAIN.
- PROVIDE PAINTED LETTERING IN STRIPED ACCESS AISLE: "NO PARKING." LETTERS SHALL BE CAPITAL, AT LEAST 12" HIGH, 2" WIDE, PLACED SO AS TO BE CLOSE AS TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED.
- PROVIDE DIAGONAL PAINT STRIPING AT ADA ACCESS AISLE, BLUE COLOR.
- EXISTING CURB, BASIS OF DIMENSIONS.
- AT CROSS-HATCHED AREA, DESIGN AND COLOR OF PAINT SHALL BE APPROVED BY OWNER. COLOR(S) SHALL CONTRAST WITH ASPHALT.
- EXISTING UNSTRIPED ON-STREET PARKING TO REMAIN. LINES SHOWN ARE FOR REFERENCE AND TO DEMONSTRATE PARKING COUNT ONLY. DO NOT STRIPE PARKING.
- EXISTING ADJACENT DIRT PARKING LOT TO REMAIN (104 SPACES), ACCESSIBLE TO VISITORS.



A1 TRAFFIC CIRCULATION LAYOUT
1" = 20'-0"

Lloyd & Associates
ARCHITECTS



ART BARN
1904 BELLAMAH NW
ALBUQUERQUE, NEW MEXICO 87104

Date 8-1-2017

Revised

Drawn by EH
Checked by EH

Sheet Title
TRAFFIC
CIRCULATION LAYOUT

Job Number 1705

Sheet No.

TCL