

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 14, 2021

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 2336 Mountain Rd. NW  
Grading and Drainage Plan  
Engineer's Stamp Date: 05/06/21  
Hydrology File: J13D214**

Dear Mr. Soule:

Based upon the information provided in your submittal received 05/06/2021, the Grading and Drainage Plan is approved for Grading Permit.

Once the grading is complete, a pad certification will be required prior to release of Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter and the pad certification approval letter.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 2336 MOUNTAIN Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 279 MRGCD MAP 38

City Address: 2336 MOUNTAIN

Applicant: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: david@riograndeengineering.com

TYPE OF DEVELOPMENT: PLAT ☒ RESIDENCE DRB SITE ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: Yes ☒ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Weighted E Method

| Basin               | Area (sf) | Area (acres) | Treatment A |         | Treatment B |         | Treatment C |         | Treatment D |         | 100-Year, 6-hr.    |                |          | 100 yr 10-DAY  |  |
|---------------------|-----------|--------------|-------------|---------|-------------|---------|-------------|---------|-------------|---------|--------------------|----------------|----------|----------------|--|
|                     |           |              | %           | (acres) | %           | (acres) | %           | (acres) | %           | (acres) | Weighted E (ac-ft) | Volume (ac-ft) | Flow cfs | Volume (ac-ft) |  |
| Historical PROPOSED | 5001.00   | 0.115        | 0%          | 0       | 50%         | 0.057   | 50%         | 0.057   | 0%          | 0.000   | 0.915              | 0.009          | 0.31     | 0.009          |  |
|                     | 5001.00   | 0.115        | 0%          | 0       | 25%         | 0.029   | 33%         | 0.038   | 43%         | 0.049   | 1.542              | 0.015          | 0.42     | 0.019          |  |
|                     |           |              |             |         |             |         |             |         |             |         |                    |                |          |                |  |

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

First flush requirement

61 cubic feet

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm(zone2)

Ea= 0.62  
Eb= 0.8  
Ec= 1.03  
Ed= 2.33

Qa= 1.56  
Qb= 2.28  
Qc= 3.14  
Qd= 4.7

Developed Conditions

TOTAL VOLUME

HISTORICAL DISCHARGE 381 CF  
PROPOSED DISCHARGE 836 CF  
PROVIDED 857

This site is an redevelopment of a lot in a fully developed area. The site will conform to the valley flat area drainage scheme. The site will retain the increase in 100-year 10-day volume. The ponds will overflow to the street in the event of a storm exceeding the 100-year event. The surrounding are is flat, minor offsite flows are allowed to enter it and pass thru to the right of way. The first flush volume is retained on site.

EROSION CONTROL NOTES:

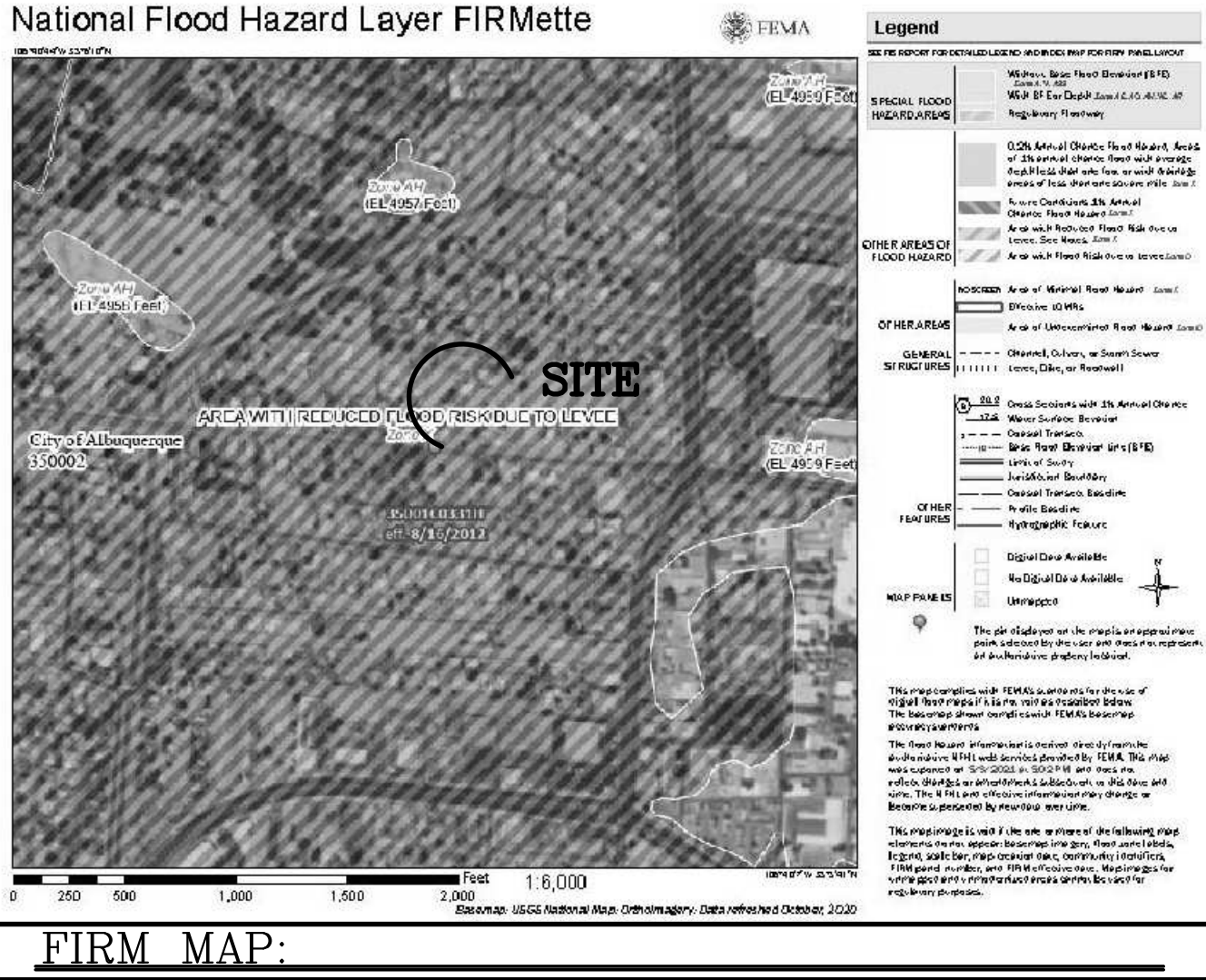
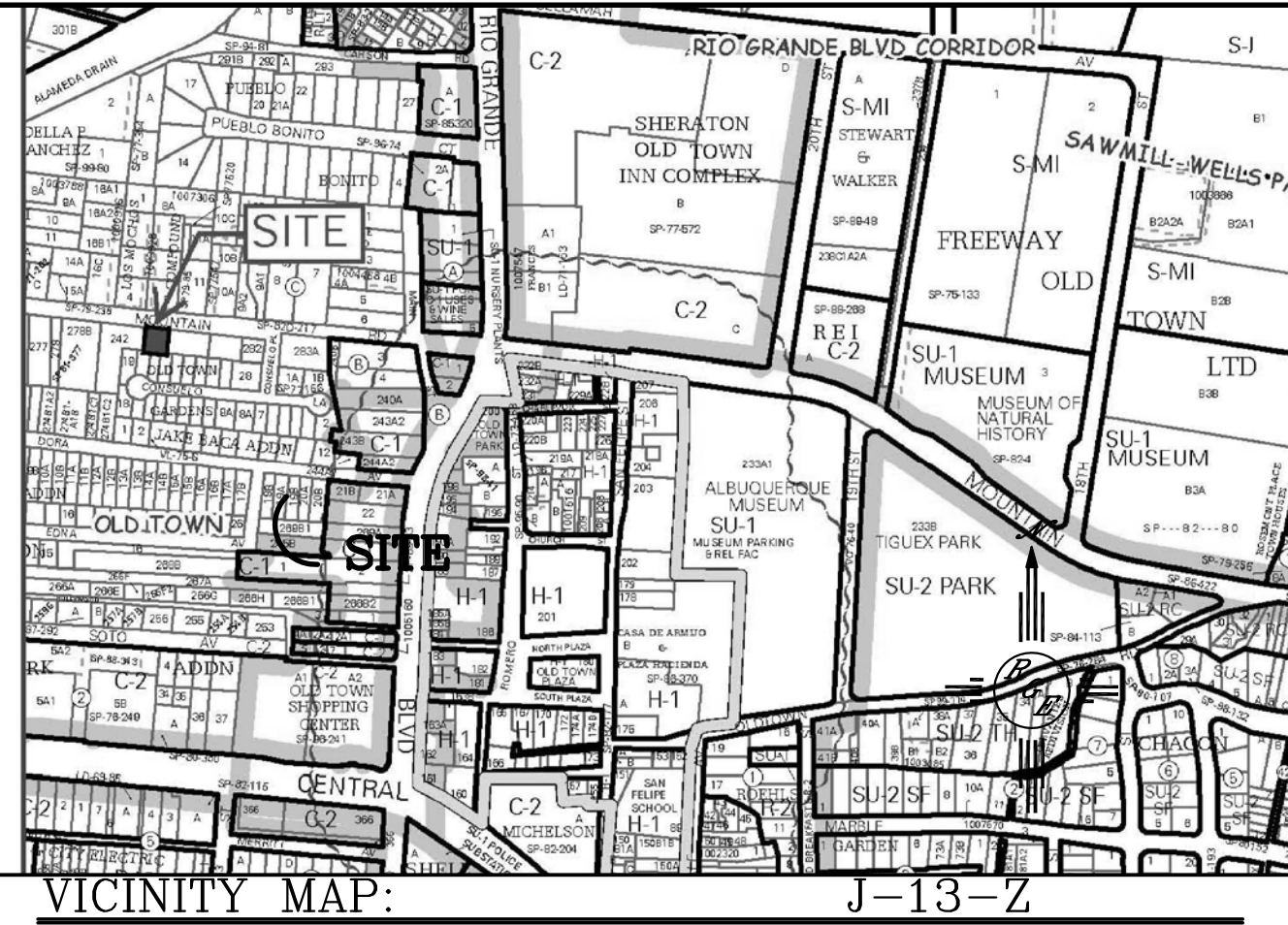
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

Lot 16, Block 5, Volcano Cliffs Subdivision, Unit 2

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

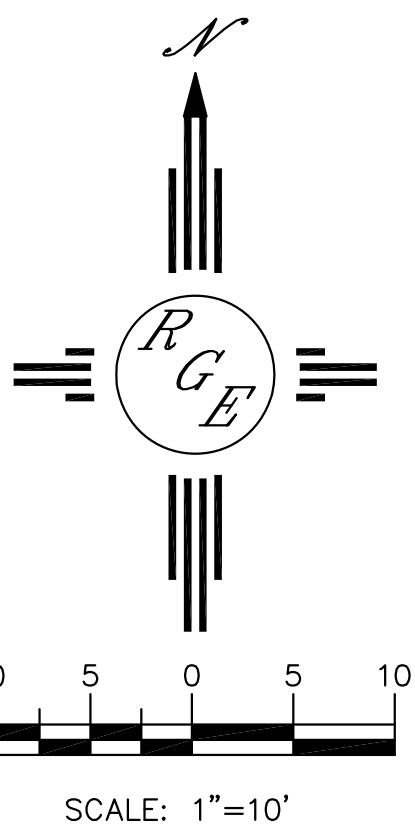
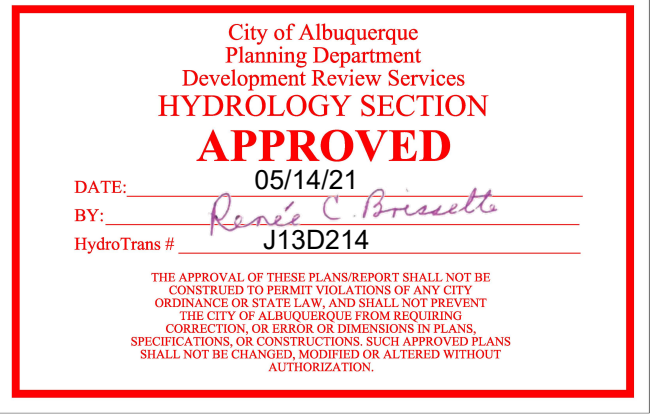
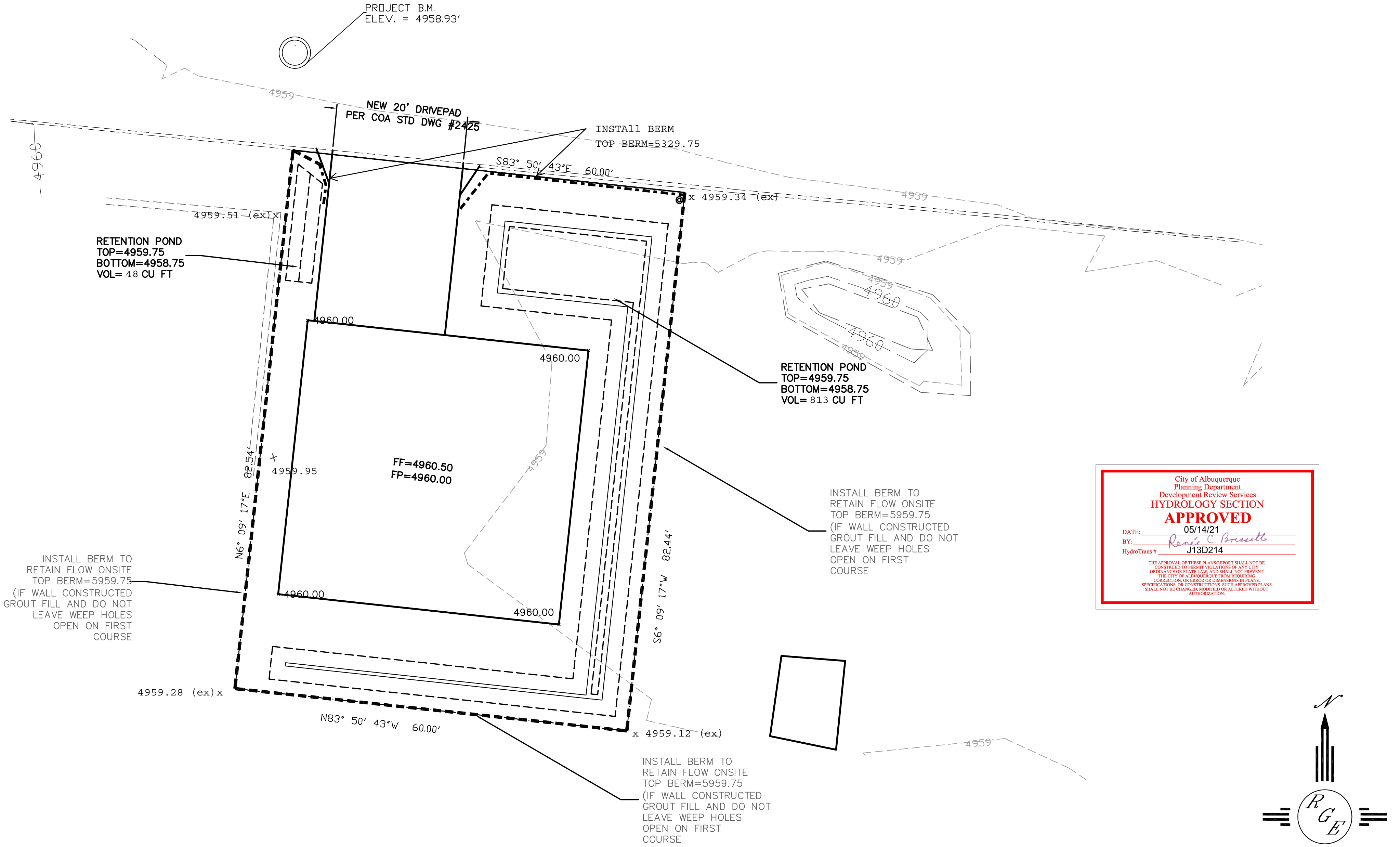
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

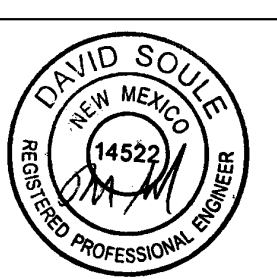
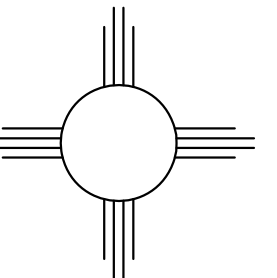
LEGEND

- XXXX--- EXISTING CONTOUR
- XXXX--- EXISTING INDEX CONTOUR
- XXXX--- PROPOSED CONTOUR
- XXXX--- PROPOSED INDEX CONTOUR
- XXXX--- SLOPE TIE
- + XXXX EXISTING SPOT ELEVATION
- + XXXX PROPOSED SPOT ELEVATION
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 4" PVC SD
- GRAVEL LINED SWALE
- === EXISTING CURB AND GUTTER
- BERM

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



|   |                           |                          |
|---|---------------------------|--------------------------|
| ENGINEER'S SEAL<br><br>5/6/21  | LOT 279 MOUNTAIN RD       | DRAWN BY: WCVJ           |
|   | GRADING AND DRAINAGE PLAN | DATE: 5-04-21            |
| <br>1606 CENTRAL AVENUE SE<br>SUITE 201<br>ALBUQUERQUE, NM 87106<br>(505) 872-0999 |                           | 210210047-LAYOUT-5-04-21 |
|   |                           | SHEET #                  |
|   |                           | JOB # 21021047           |