

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

July 19, 2024

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 2336 Mountain Rd. NW**  
**Permanent C.O. – Accepted**  
**Engineer's Certification Date: 07/10/24**  
**Engineer's Stamp Date: 05/06/21**  
**Hydrology File: J13D214**

Dear Mr. Soule:

PO Box 1293

Based on the Certification received 07/10/2024 and site visit on 07/19/2024, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 2336 MOUNTAIN Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 279 MRGCD MAP 38

City Address: 2336 MOUNTAIN

Applicant: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: david@riograndeengineering.com

TYPE OF DEVELOPMENT: PLAT ☒ RESIDENCE DRB SITE ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLICATION  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: Yes ☒ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

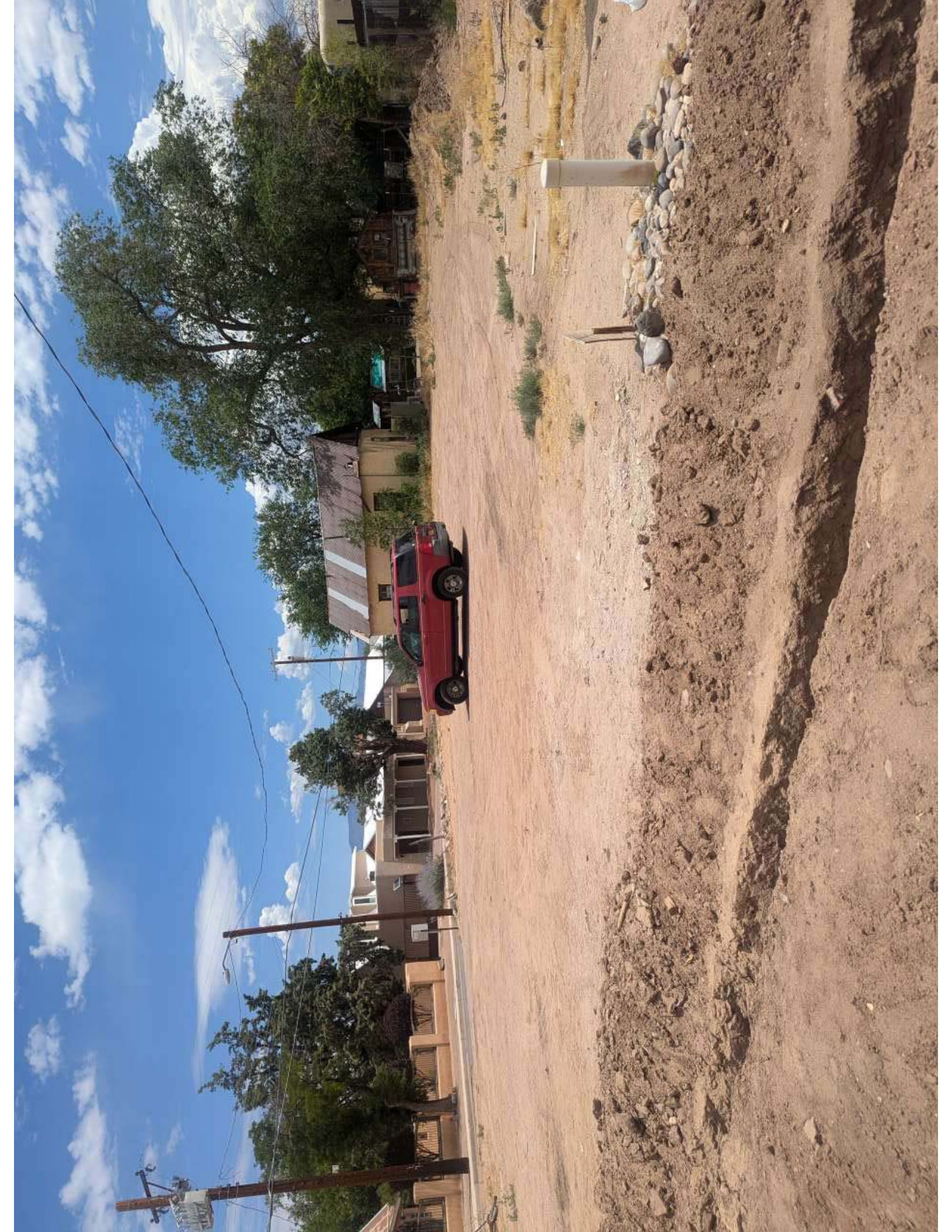
DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





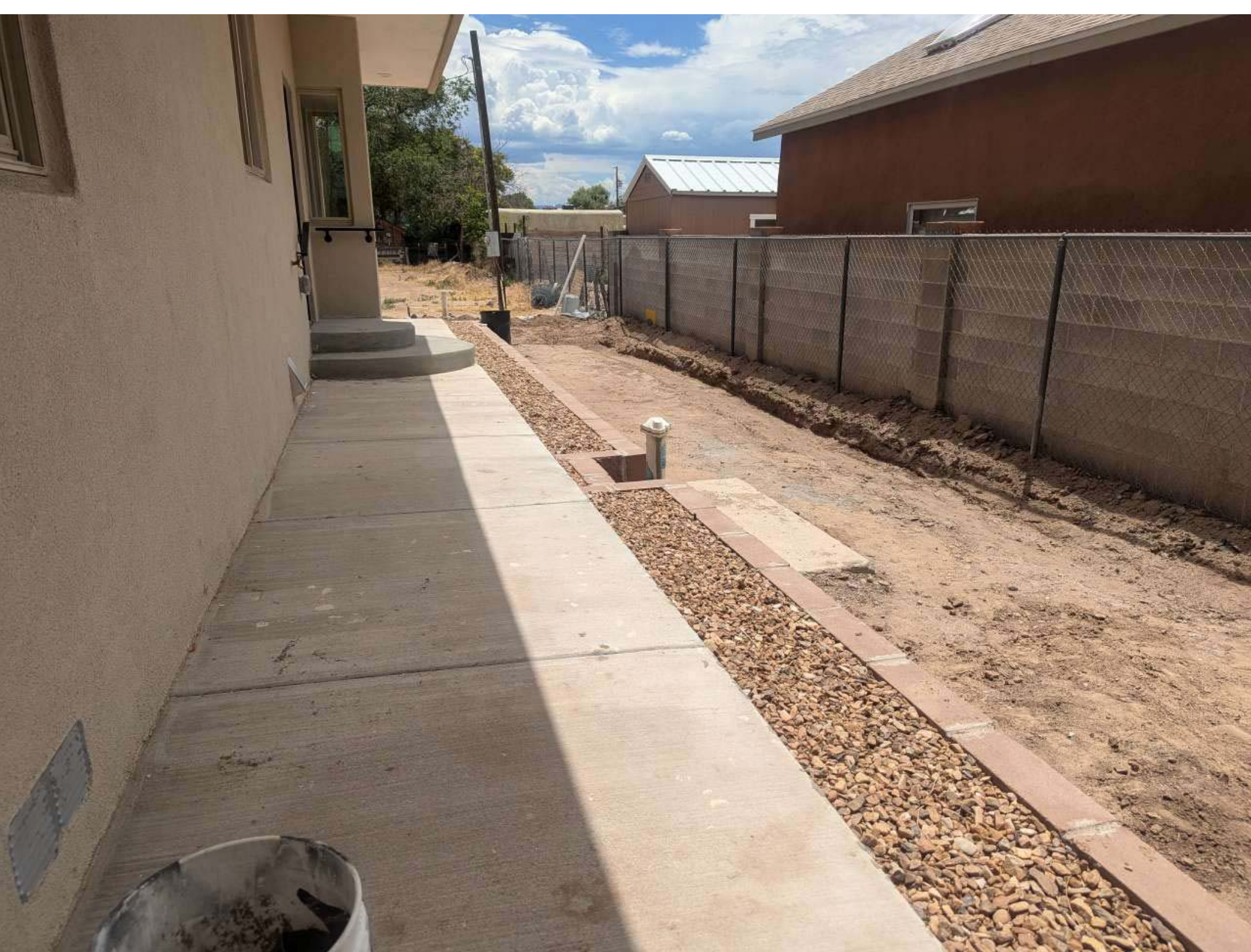




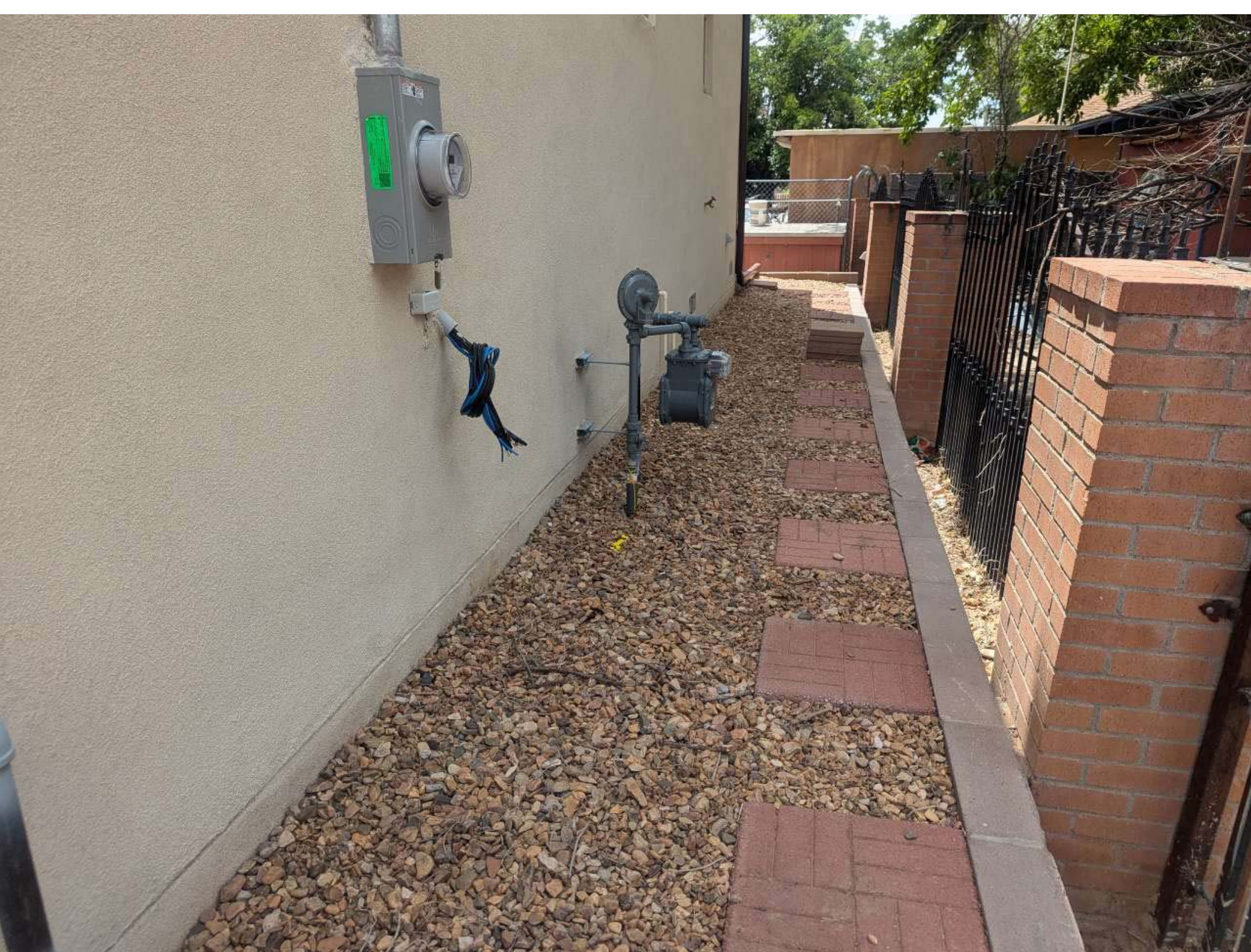






























Weighted E Method

Basin	Area (sf)	Area (acres)	100-Year, 6-hr.				Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	100 yr 10-DAY Volume (ac-ft)
			Treatment A (acres)	Treatment B (acres)	Treatment C (acres)	Treatment D (acres)				
Historical	5001.00	0.115	0%	0	50%	0.057	0%	0.009	0.31	0.009
PROPOSED	5001.00	0.115	0%	0	25%	0.029	33%	0.038	43%	0.049

Equations:

Weighted E = Ea\**A*a + Eb\**A*b + Ec\**A*c + Ed\**A*d / (Total Area)

Volume = Weighted D \* Total Area

First flush requirement

61 cubic feet

Flow = Qa \* *A*a + Qb \* *A*b + Qc \* *A*c + Qd \* *A*d

Where for 100-year, 6-hour storm(zone2)

Ea= 0.62  
Eb= 0.8  
Ec= 1.03  
Ed= 2.33

Qa= 1.56  
Qb= 2.28  
Qc= 3.14  
Qd= 4.7

Developed Conditions

TOTAL VOLUME

HISTORICAL DISCHARGE 381 CF  
PROPOSED DISCHARGE 836 CF  
PROVIDED 857

This site is an redevelopment of a lot in a fully developed area. The site will conform to the valley flat area drainage scheme. The site will retain the increase in 100-year 10-day volume. The ponds will overflow to the street in the event of a storm exceeding the 100-year event. The surrounding are is flat, minor offsite flows are allowed to enter it and pass thru to the right of way. The first flush volume is retained on site.

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 5/6/21

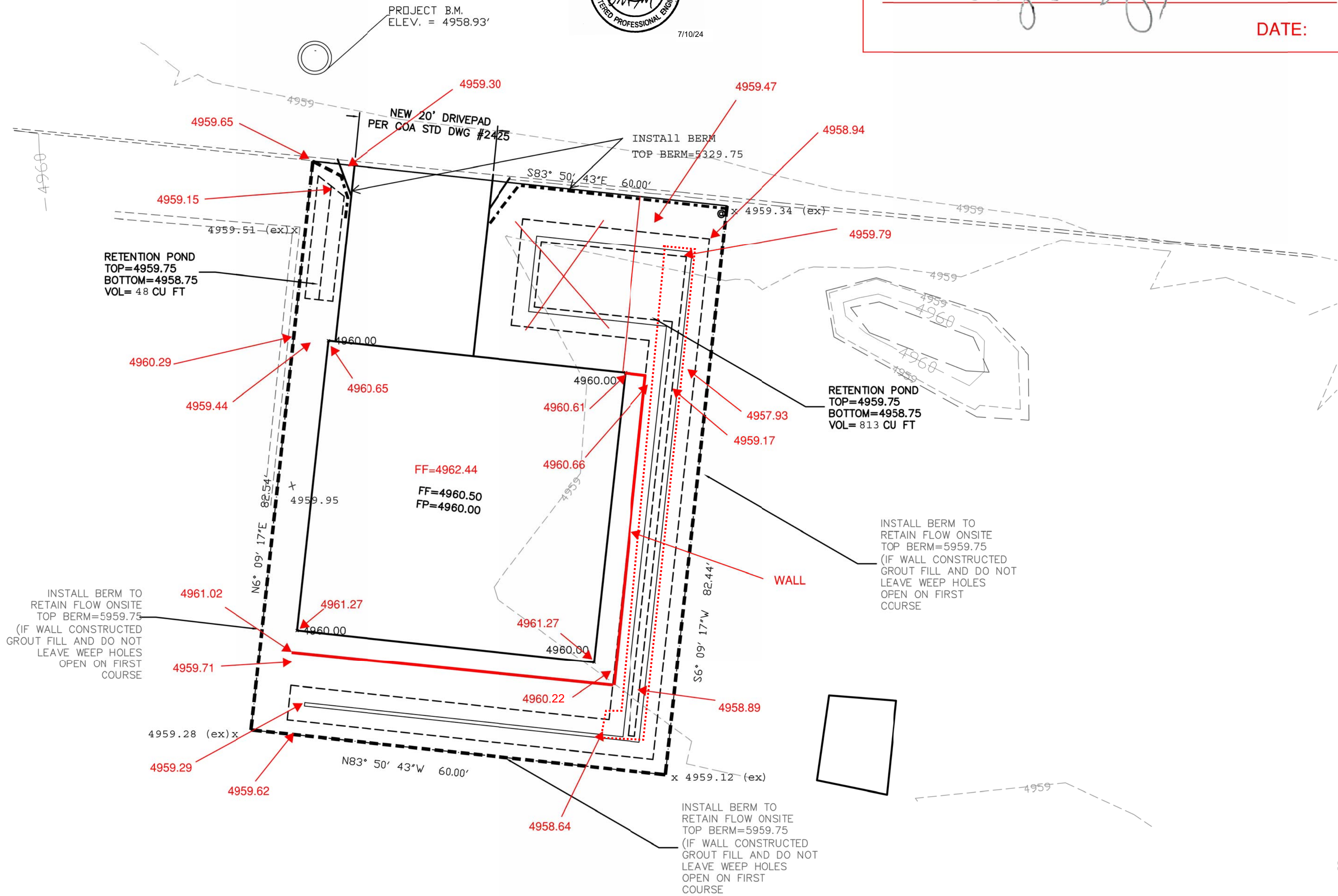


8/31/21

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 5/6/21. The certification is submitted in support of a request for **CERTIFICATE OF OCCUPANCY**. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project.



7/10/24

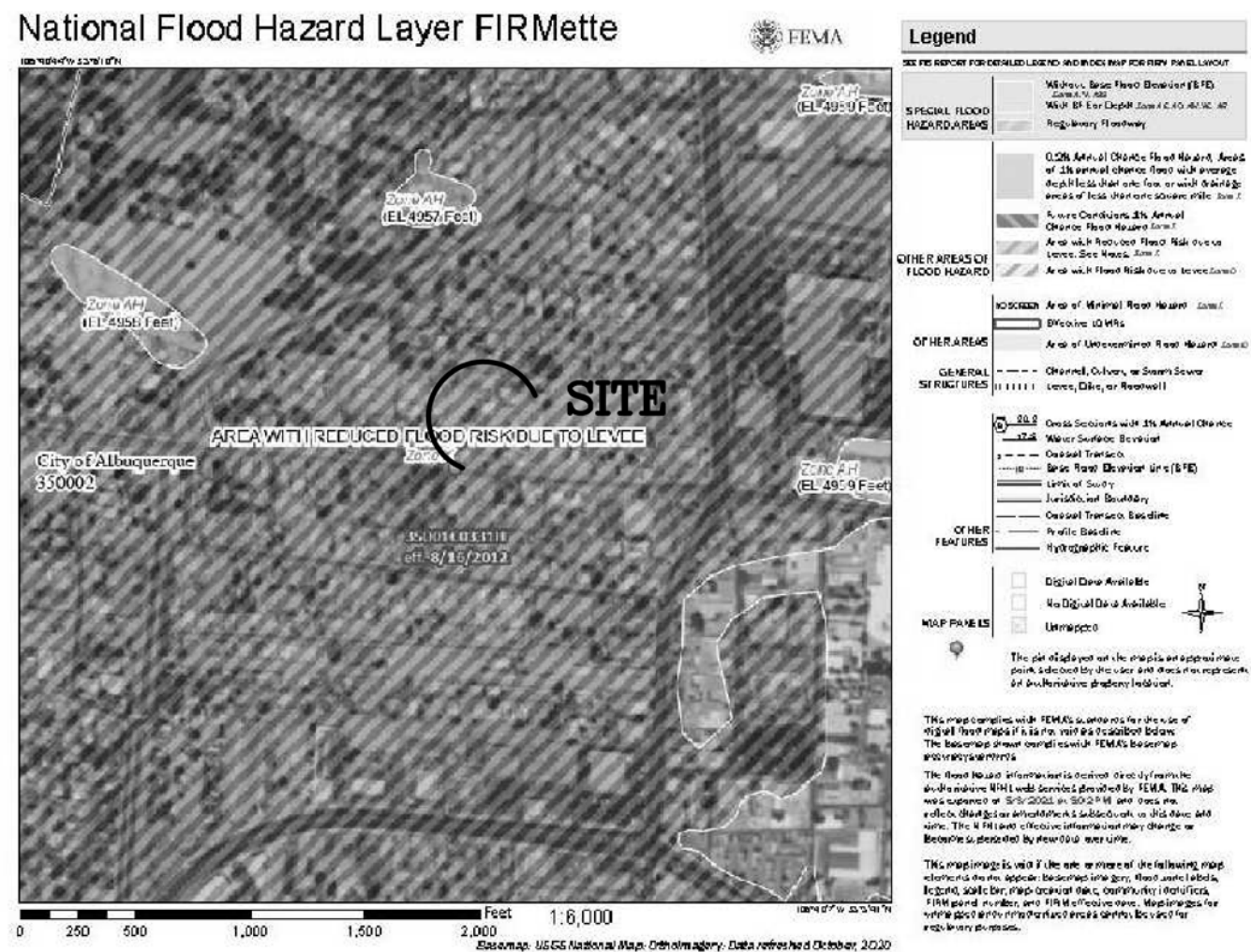
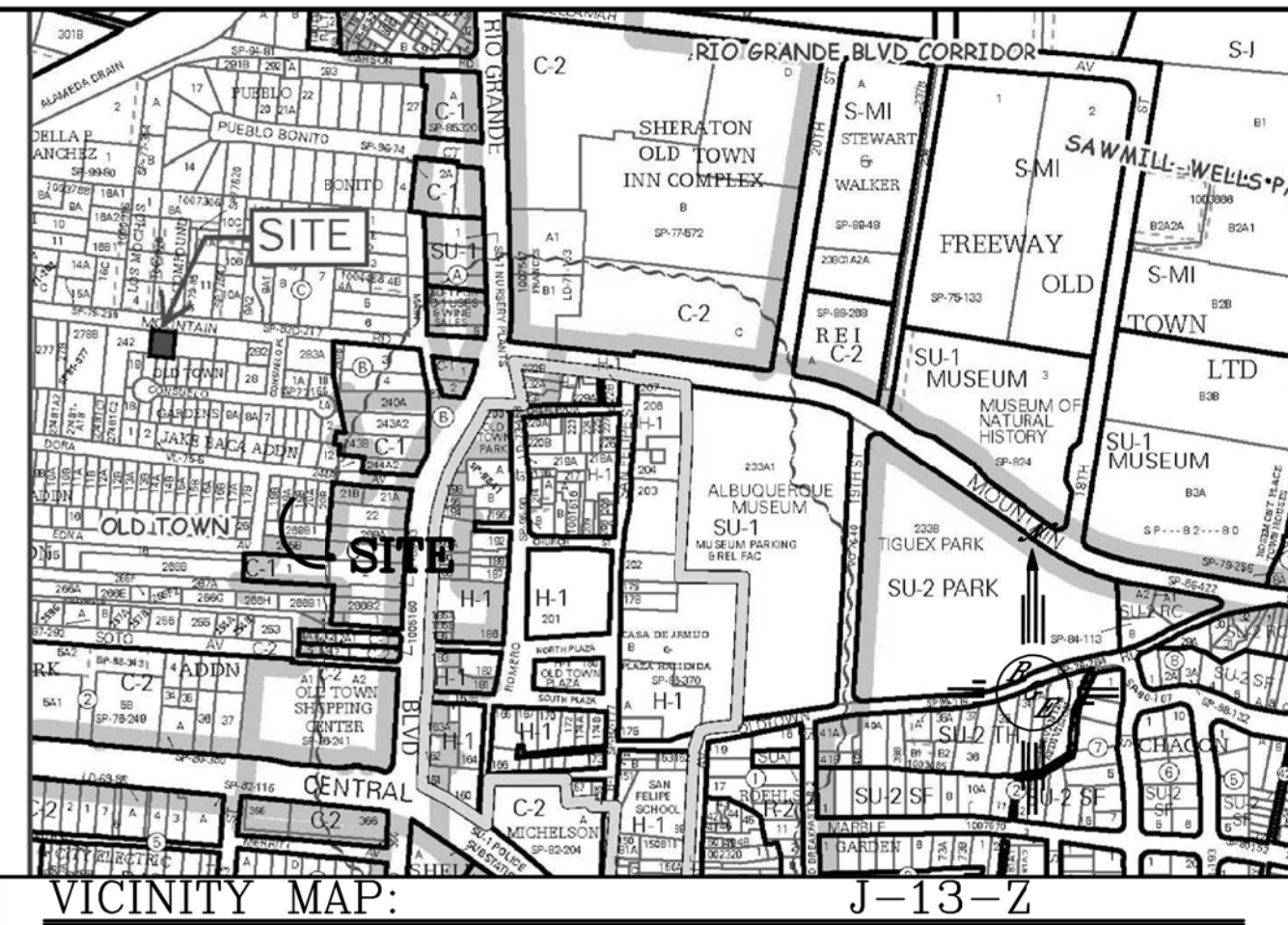


CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



FIRM MAP:

LEGAL DESCRIPTION:

LOT 279 MRGCD MAP 38

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

LEGEND

- XXXX--- EXISTING CONTOUR
- XXXX--- EXISTING INDEX CONTOUR
- XXXX--- PROPOSED CONTOUR
- XXXX--- PROPOSED INDEX CONTOUR
- XXXX--- SLOPE TIE
- + XXXX EXISTING SPOT ELEVATION
- + XXXX PROPOSED SPOT ELEVATION
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 4" PVC SD
- GRAVEL LINED SWALE
- === EXISTING CURB AND GUTTER
- BERM

ENGINEER'S SEAL  5/6/21 DAVID SOULE P.E. #14522	LOT 279 MOUNTAIN RD	DRAWN BY: WCVJ
	GRADING AND DRAINAGE PLAN	DATE: 5-04-21
 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999		210210047-LAYOUT-5-04-21
		SHEET #
		JOB # 21021047