

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 15, 2022

Daniel Durar RA
Modulus Architects
100 Sun Ave. NE Suite 600
Albuquerque, NM 87109

Re: Champion Xpress
2100 Central Ave. SW
Traffic Circulation Layout
Architect's Stamp XX-XX-XX (J13-D216)

Dear Mr. Daniel,

Based upon the information provided in your submittal received 3-11-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking.
3. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
4. Identify all existing access easements and rights of way width dimensions.
5. Identify the right of way width, medians, curb cuts, and street widths on Central Ave., Rio Grande Blvd. and Merritt Ave.
6. Clarify existing property lines and proposed property lines.
7. Curb Return Access is recommended on Central Ave.
8. All existing drivepads need to be ADA accessible. Please updated them to current standard.
9. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

10. Existing ramp at the corner of Rio Grande Blvd and Merritt Ave need to be updated to current ADA standard.
11. Provide the width for the existing sidewalk.

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12. Provide dimensions and "Do Not Enter" sign for the BALOUT area.
13. Drive through facilities: Minimum 3 Vehicles stacking spaces shall be provided pursuant to Table 5-5-8 (Required Stacking spaces).
14. Provide ADA parking space
15. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

16. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
17. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of signs.
18. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
19. ADA curb ramps must be updated to current standards and have truncated domes installed.
20. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
21. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
22. Bicycle racks shall be sturdy and anchored to a concrete pad.
23. A 1-foot clear zone around the bicycle parking stall shall be provided.
24. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

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NM 87103

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25. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
26. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
27. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
28. All sidewalks along streets should be placed at the property line.
29. Provide a copy of Fire Marshal Approval.
30. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
31. All one-way drives shall have "One Way" signage. Please show detail and location of posted signs.
32. Provide "DO NOT ENTER" and "EXIT ONLY" signage for the existing drivepad off Merritt Ave.
33. Show the Intersection Sight Distance for Central Ave. and Rio Grande Blvd. and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
34. Show the clear sight triangle for Merritt Ave. and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
35. Provide details for all proposed signs and pavement marking.
36. Please specify the City Standard Drawing Number when applicable.
37. Work within the public right of way requires a work order with DRC approved plans.
38. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
39. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
40. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
41. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

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42. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

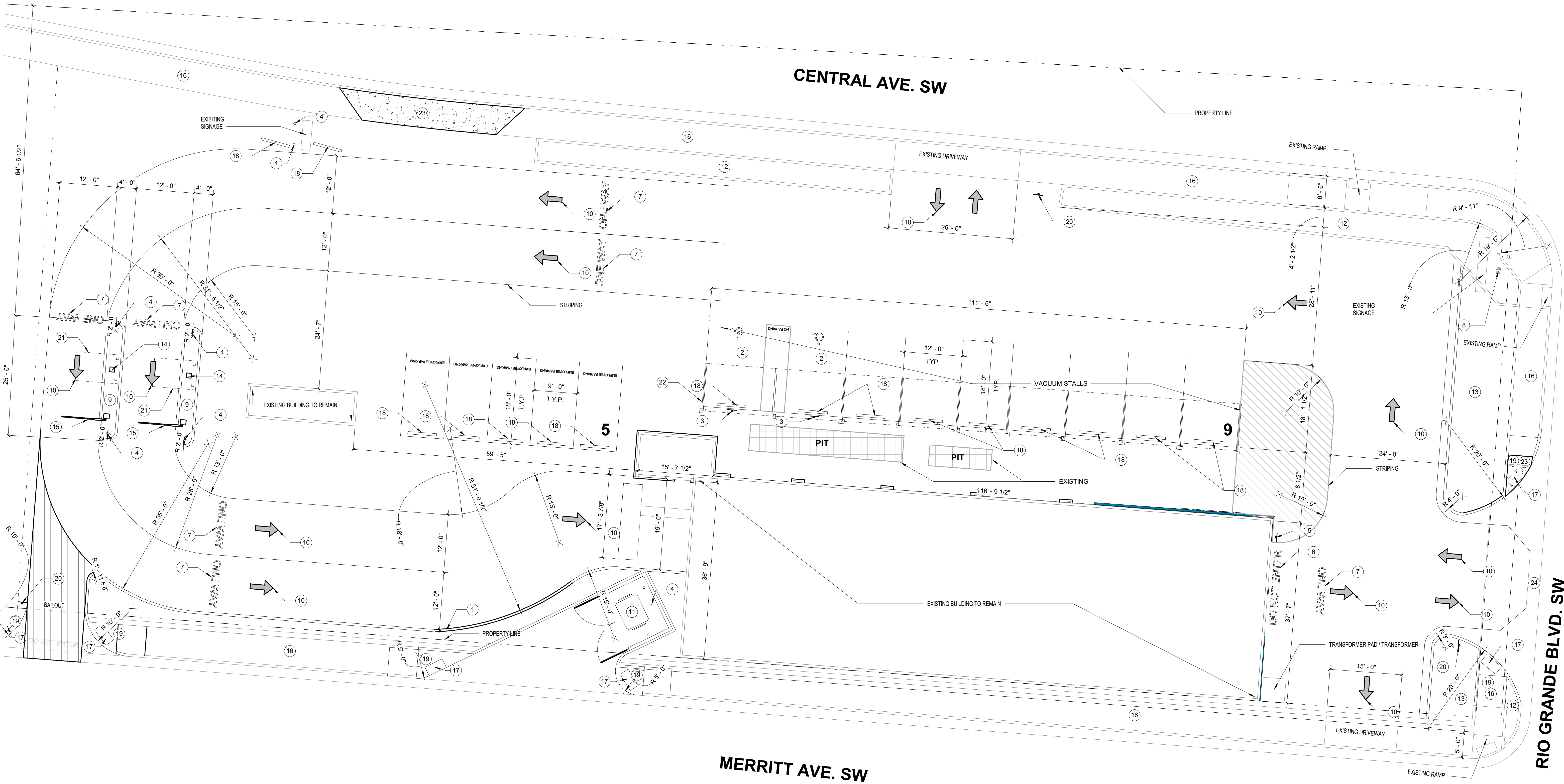
Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Albuquerque

NM 87103

MA via: email
C: CO Clerk, File

www.cabq.gov



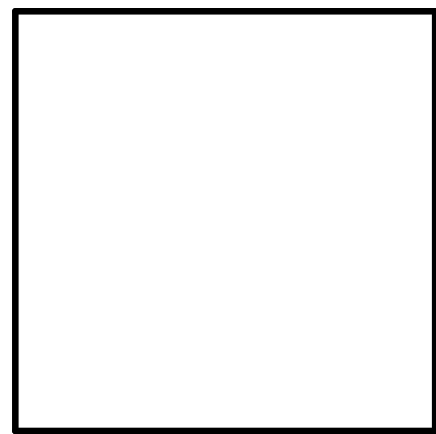
PARKING CALCULATIONS

SPACES REQUIRED:
CAR WASH: 2 SPACES PER 1,000 S.F.
133 SF = 2 SPACES
SPACES PROVIDED:
TOTAL CAR WASH: 2 SPACES
VEHICLE GRAND TOTAL PROVIDED: 5
GRAND TOTAL SPACES: 5

1 ARCHITECTURAL SITE
SCALE: 1" = 10'-0"

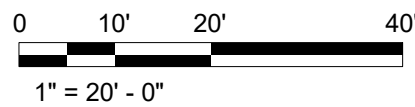
- GENERAL NOTES:
- PATCH ASPHALT AS NECESSARY
 - REFER TO A10 FOR DETAILS. NOT ALL DETAILS MAY APPLY TO THIS PROJECT
- KEYED NOTES:
- TYP. CURB RE: 8/G3
 - ADA PARKING RE: 2/G5
 - ADA SIGN RE: 11/G5
 - BOLLARD RE: 4/G3
 - "DO NOT ENTER" SIGN RE: 12A/G5
 - "DO NOT ENTER" MARKING RE: 7/G5
 - "ONE WAY" MARKING FONT SIZE COLOR AND STYLE TO MATCH DETAIL 7/G5
 - EXISTING FIRE HYDRANT
 - CONC. ISLAND RE: 9/G4 SIM.
 - PAVEMENT MARKING TO FOLLOW COA STANDARD RE: 8/G5
 - DUMPSTER ENCLOSURE RE: 4/G4
 - EXISTING LANDSCAPE AREA
 - NEW LANDSCAPE AREA
 - PAY STATION
 - BARRIER ARM
 - EXISTING SIDEWALK
 - DETECTABLE WARNING PER COA STANDARD DRAWING 2446
 - WHEEL STOP RE: 4/G5
 - CONCRETE RAMP PER COA DRAWING STANDARD 2446
 - STOP SIGN
 - P.O.S. PEMB CANOPY
 - VACUUM PEMB CANOPY
 - NEW CONC. SIDEWALK
 - VALLEY GUTTER SIMILAR TO COA STANDARD DRAWING 2420

PROJECT TITLE	CHAMPION XPRESS CARWASH	PROJECT MANAGER	JOB NO.	DRAWN BY:	DATE	SHEET
	2100 CENTRAL AVE., ALBUQUERQUE, NM 87104				3/8/2022	G3
SHEET TITLE	ARCHITECTURAL SITE PLAN					



MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION



MERRITT AVE. SW

1. PATCH ASPHALT AS NECESSARY
2. REFER TO A10 FOR DETAILS. NOT ALL DETAILS MAY APPLY TO THIS PROJECT

1. TYP. CURB RE: 8/3
2. ADA PARKING RE: 2/GS
3. ADA SIGN RE: 11/GS
4. BOLLARD RE: 4/GS
5. "DO NOT ENTER" SIGN RE: 12A/GS
6. "DO NOT ENTER" MARKING RE: 7/GS
7. "ONE WAY" MARKING FONT SIZE COLOR AND STYLE TO MATCH DETAIL 7/GS
8. EXISTING FIRE HYDRANT
9. CONC. ISLAND RE: 3/GA SIM
10. PAYMENT MARKING TO FOLLOW COA STANDARD RE: 8/GS
11. DUMPSITE ENCLOSURE RE: 4/GA
12. EXISTING LANDSCAPE AREA
13. NEW LANDSCAPE AREA
14. PAY STATION
15. BARRIER ARM
16. EXISTING SIDEWALK
17. DETECTABLE WARNING PER COA STANDARD DRAWING 2446
18. WHEEL STOP RE: 4/GS
19. CONCRETE RAMP PER COA DRAWING STANDARD 2446
20. STOP SIGN
21. P.O.S PEBB CANOPY
22. VACUUM PEBB CANOPY
23. NEW CONC. SIDEWALK
24. VALLEY GUTTER SIMILAR TO COA STANDARD DRAWING 2420

<div>PROJECT TITLE</div> <div>CHAMPION XPRESS CARWASH</div> <div>2100 CENTRAL AVE, ALBUQUERQUE, NM1 87104</div>		<div>JOB NO.</div> <div>PROJECT</div> <div>NUMBER</div> <div>DRAWN BY:</div>	
<div>DATE</div> <div>3/8/2022</div> <div>SCALE:</div>		<div>SHEET</div> <div>A00</div>	



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