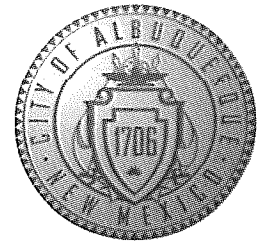


CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 12, 2022

Daniel Durar RA
Modulus Architects
100 Sun Ave. NE Suite 600
Albuquerque, NM 87109

Re: Champion Xpress
2100 Central Ave. SW
Traffic Circulation Layout
Architect's Stamp XX-XX-XX (J13-D216)

Dear Mr. Daniel,

Based upon the information provided in your submittal received 4-1-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Property line showed on site plan is incorrect. Per the GIS, property line must be placed at the back of the sidewalk.
3. Key note 19: please verify what type of ramp you will use? The parallel, corner, or the perpendicular ramp?
4. What is the status of the 6' pedestrian path way from the public sidewalk to the building entrance? Is it flush all the way long? Please provide details.
5. What is the status of the 6' ADA path way form the ADA aisle to the building entrance? Please provide details.
6. Show the building entrance on the site plan.
7. Reference COA std dwg for the Driveway entrance off Central Ave. and provide the radius.
8. See attached for the new Bicycle Rack Requirements.
9. All sidewalks along streets should be placed at the property line.
10. Provide a copy of Fire Marshal Approval.
11. Show the Intersection Sight Distance for Central Ave. and Rio Grande Blvd. and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
12. Show the clear sight triangle for Merritt Ave. and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
13. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic

PO Box 1293

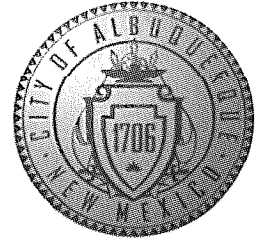
Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

14. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

Albuquerque

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

NM 87103

www.cabq.gov

MA via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Champion Xpress **Building Permit #:** NA **Hydrology File #:** NA

DRB#: NA **EPC#:** NA **Work Order#:** NA

Legal Description: MRGCD MAP 38 TR 366 & NLY PORTION BLK 4 TRACTION PARK & CITY ELECTRIC ADD N EXC WLY PORCONT 29,703 SQ FT

City Address: 2100 Central Ave SW, Albuquerque, NM 87102

Applicant: Modulus Architects & Land use planning **Contact:** 505-338-1499

Address: 100 Sun Ave, NE. Suite 600, Albuquerque, NM, 87109

Phone#: 505-338-1499 **Fax#:** **E-mail:** dduran@modulusarchitects.com

Other Contact: **Contact:**

Address:

Phone#: **Fax#:** **E-mail:**

TYPE OF DEVELOPMENT: ☒ PLAT (# of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes ☐ No

DEPARTMENT ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

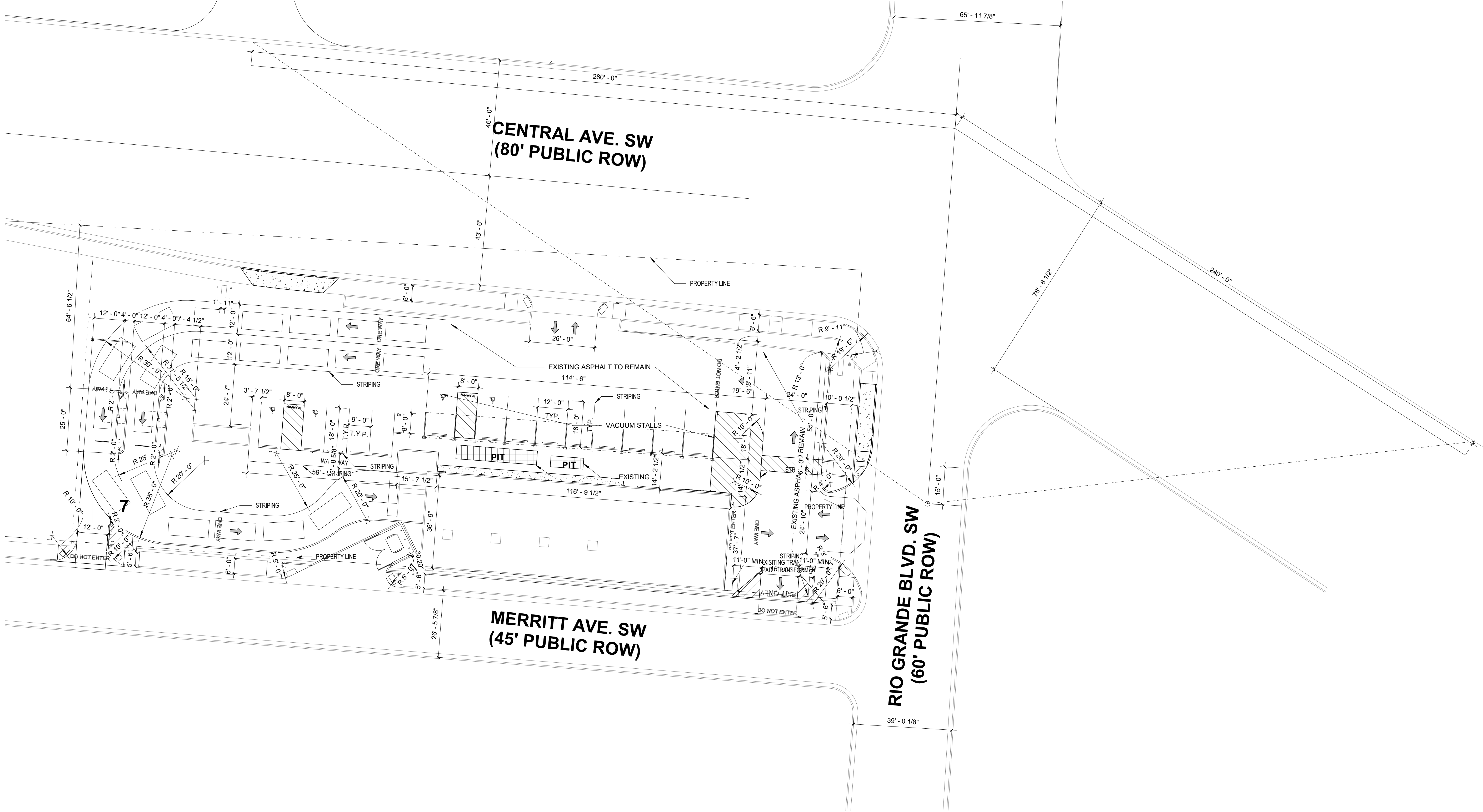
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 3/30/2022 **By:** Daniel Duran

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:



1 OVERALL SITE PLAN
SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION

PROJECT TITLE CHAMPION XPRESS CARWASH		JOB NO. 2100 CENTRAL AVE, ALBUQUERQUE, NM 87104		DRAWN BY:	
PROJECT MANAGER		PROJECT NUMBER		SHEET TITLE	
				OVERALL SITE PLAN	

DATE 3/29/2022	SHEET G3
SCALE:	

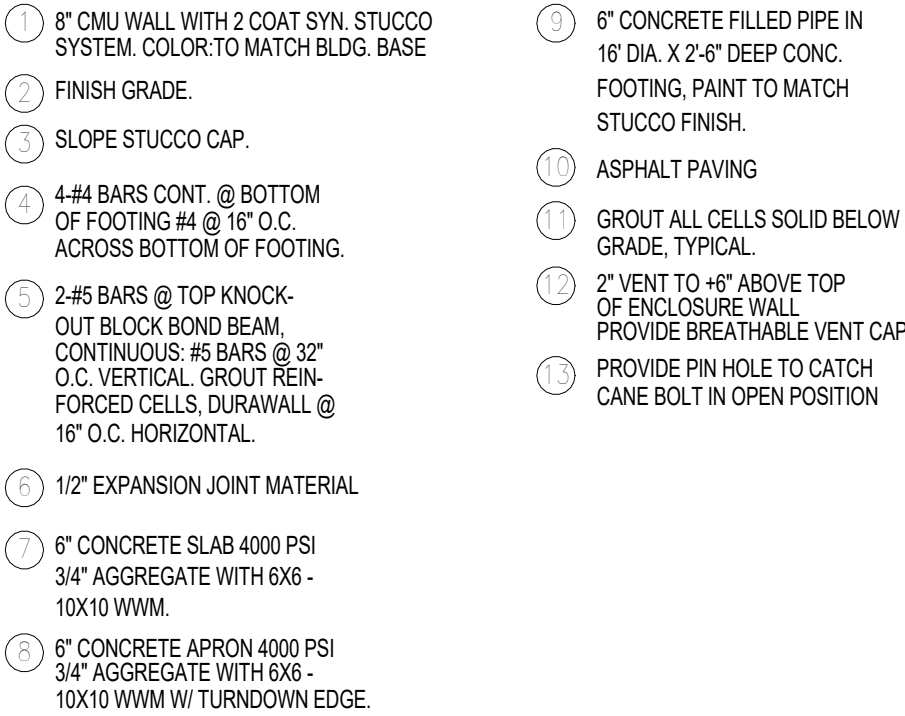
**MODULUS ARCHITECTS**

100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION



DATE 3/29/2022	SHEET G4
SCALE:	

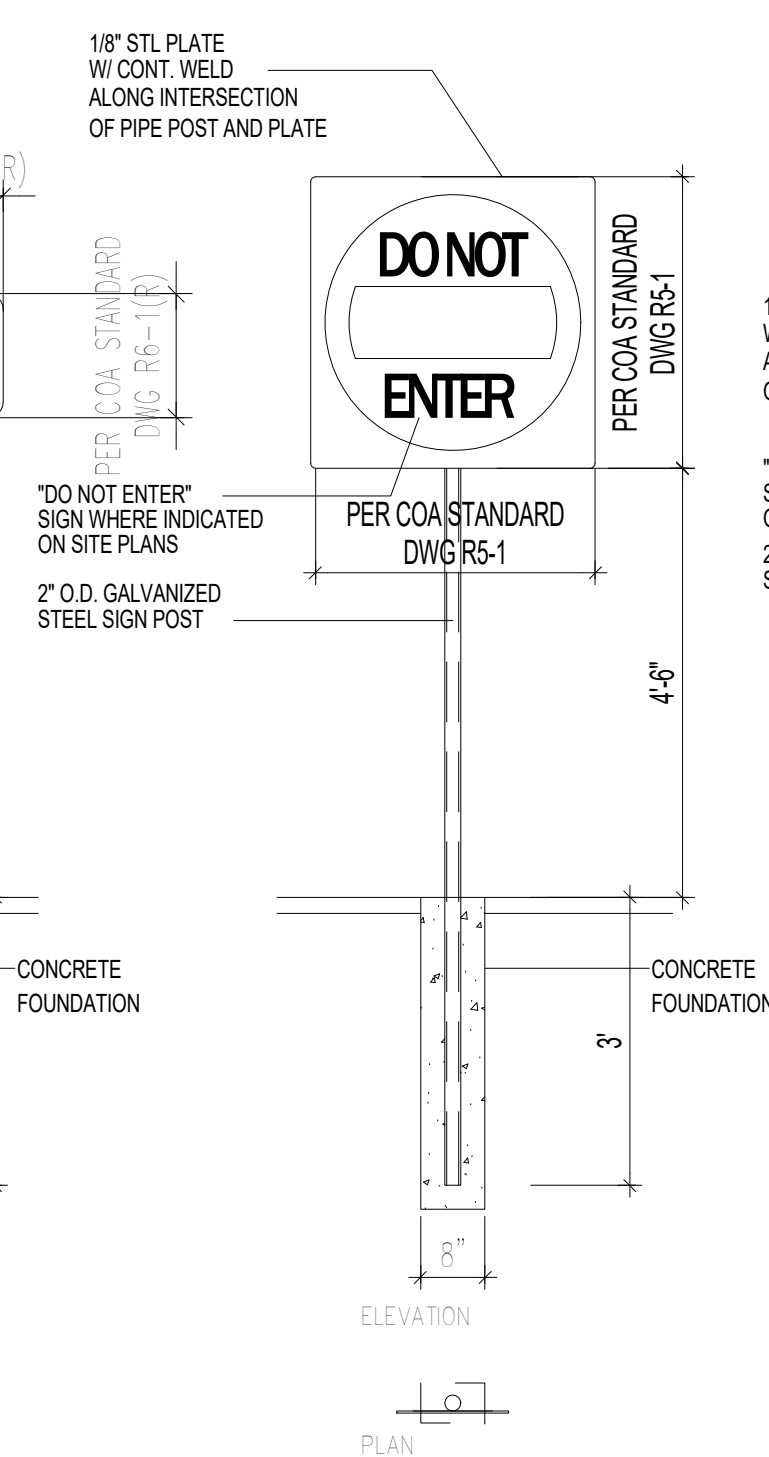


100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

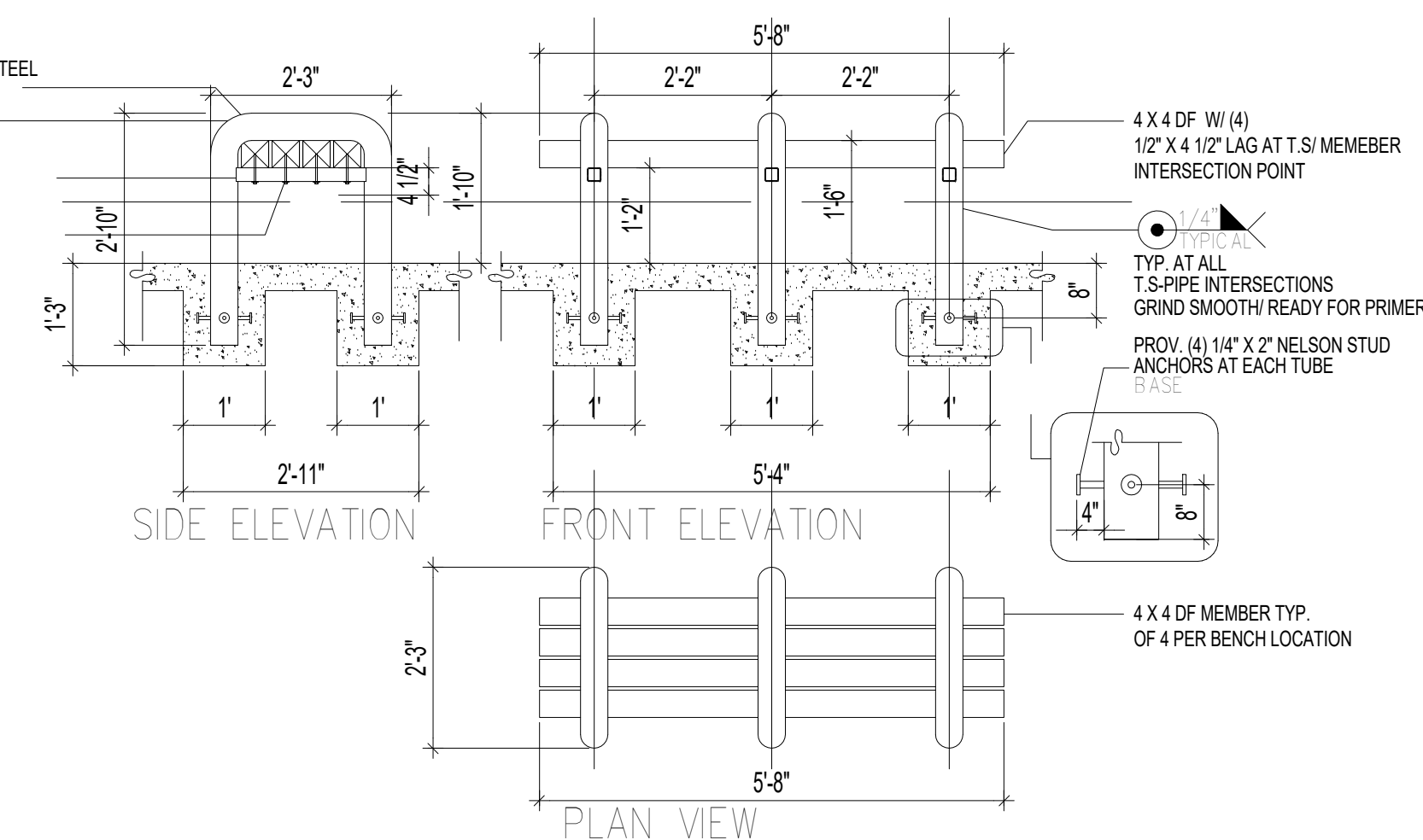
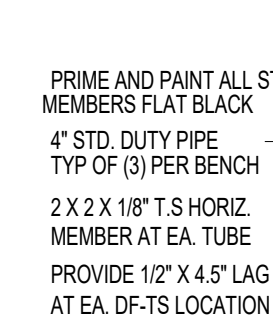
DATE 3/29/2022	SHEET G5
SCALE:	

REV	DATE	BY	REVISION

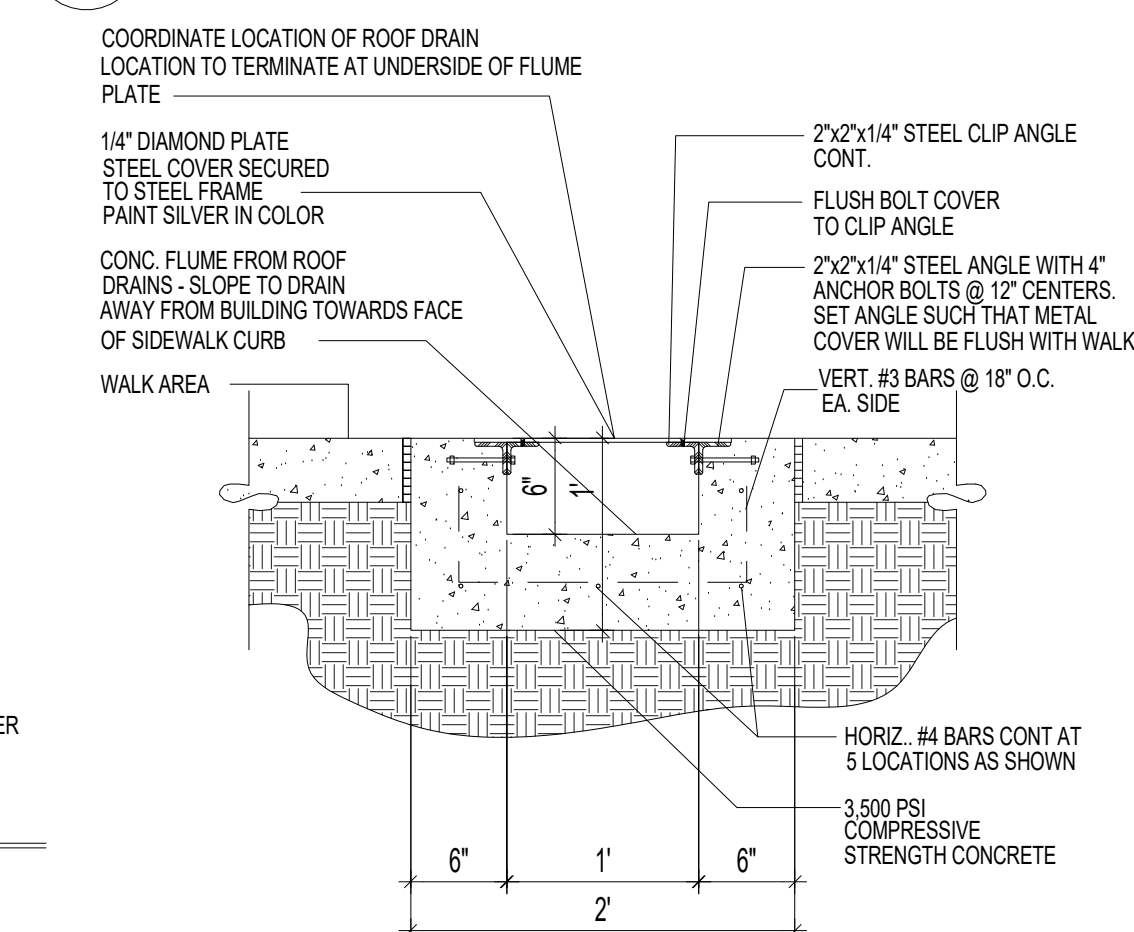
12 MISC. SIGNAGE
N.T.S



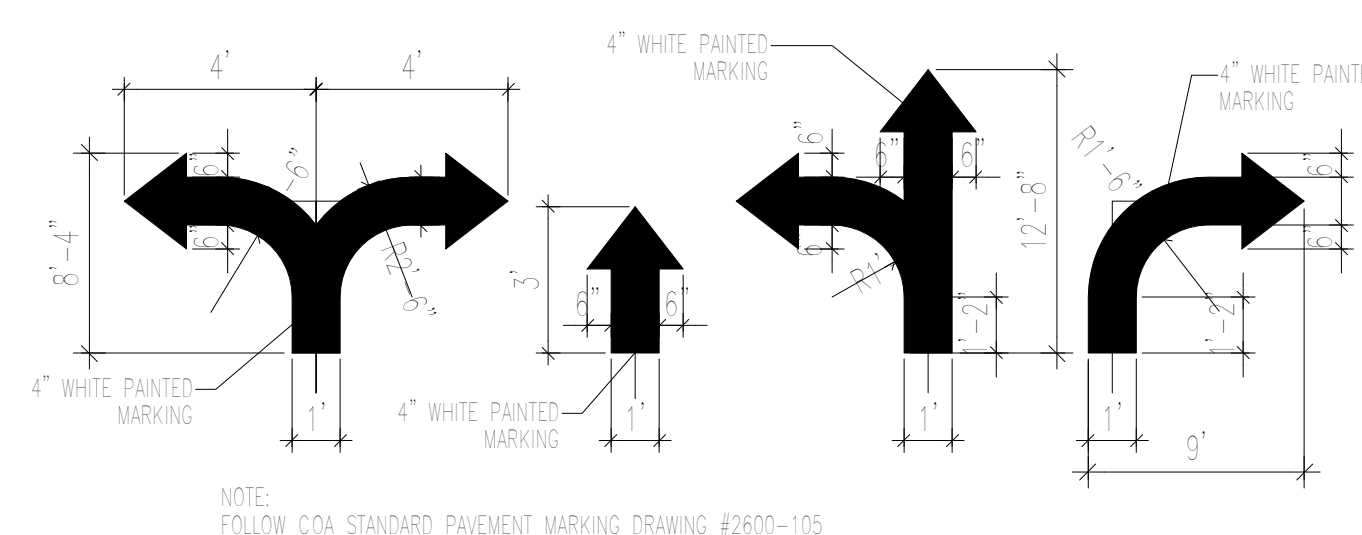
12A MISC. SIGNAGE
N.T.S.



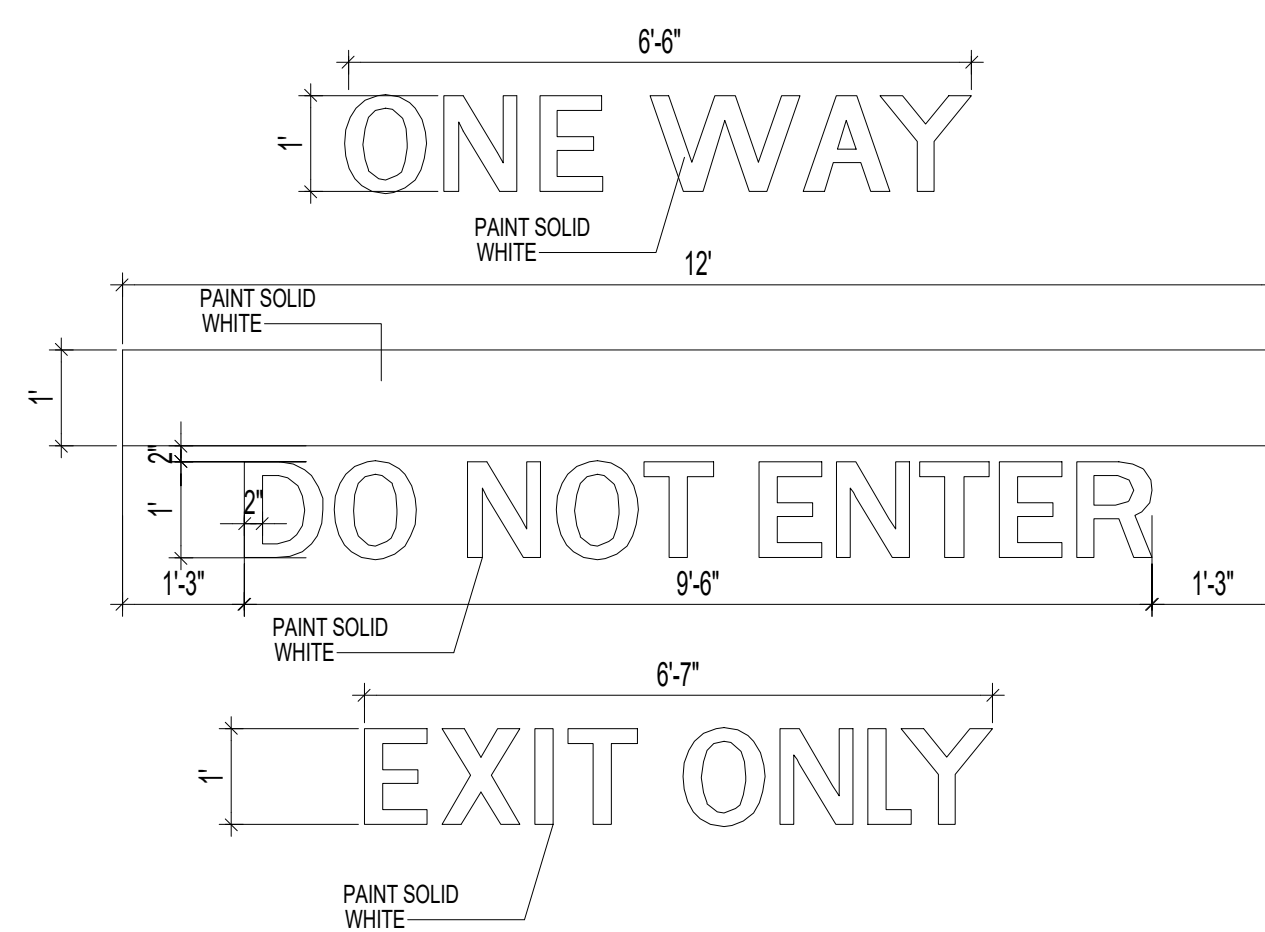
10 BENCH DETAIL
N.T.S



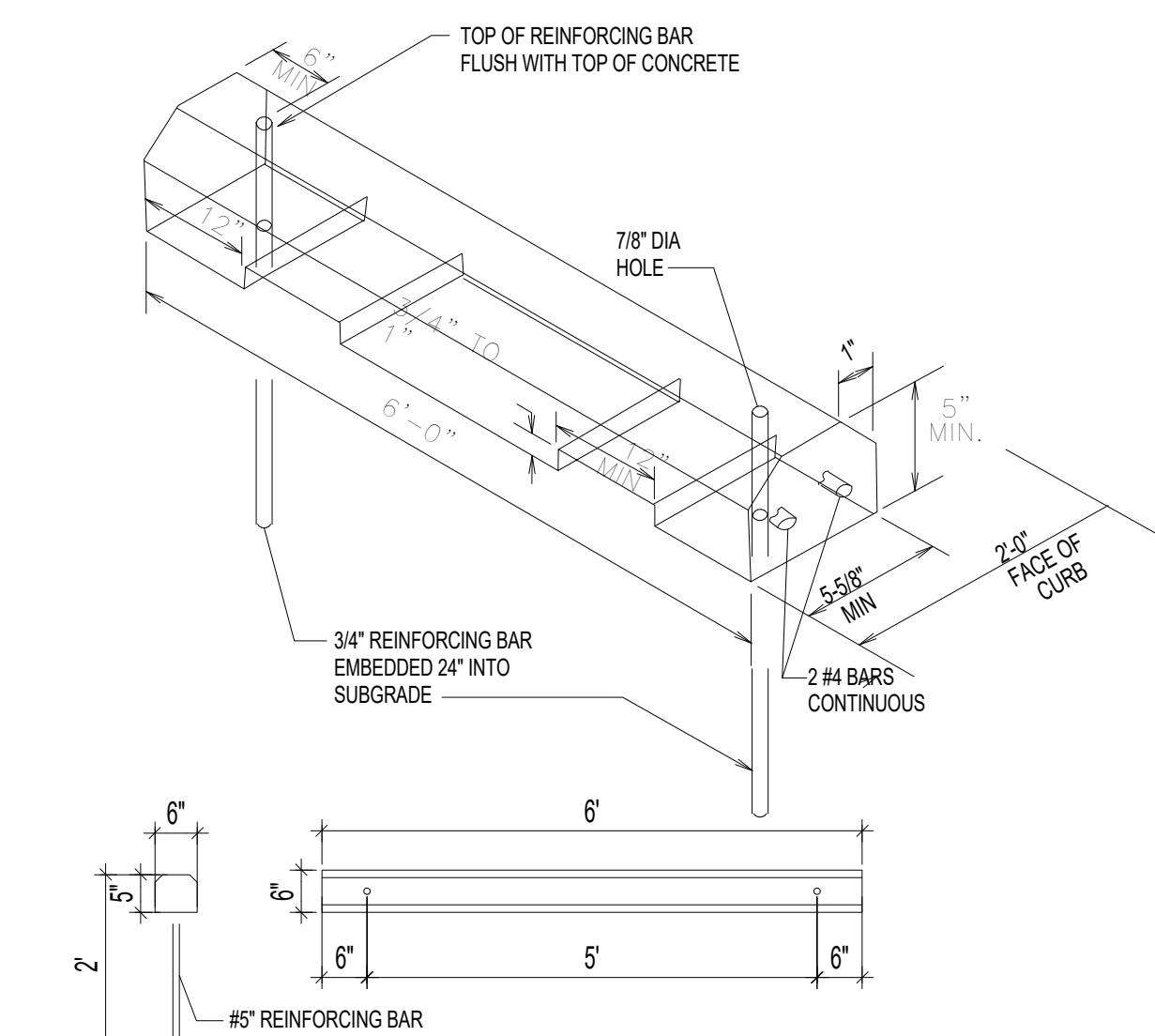
5 CONCRETE FLUME DETAIL



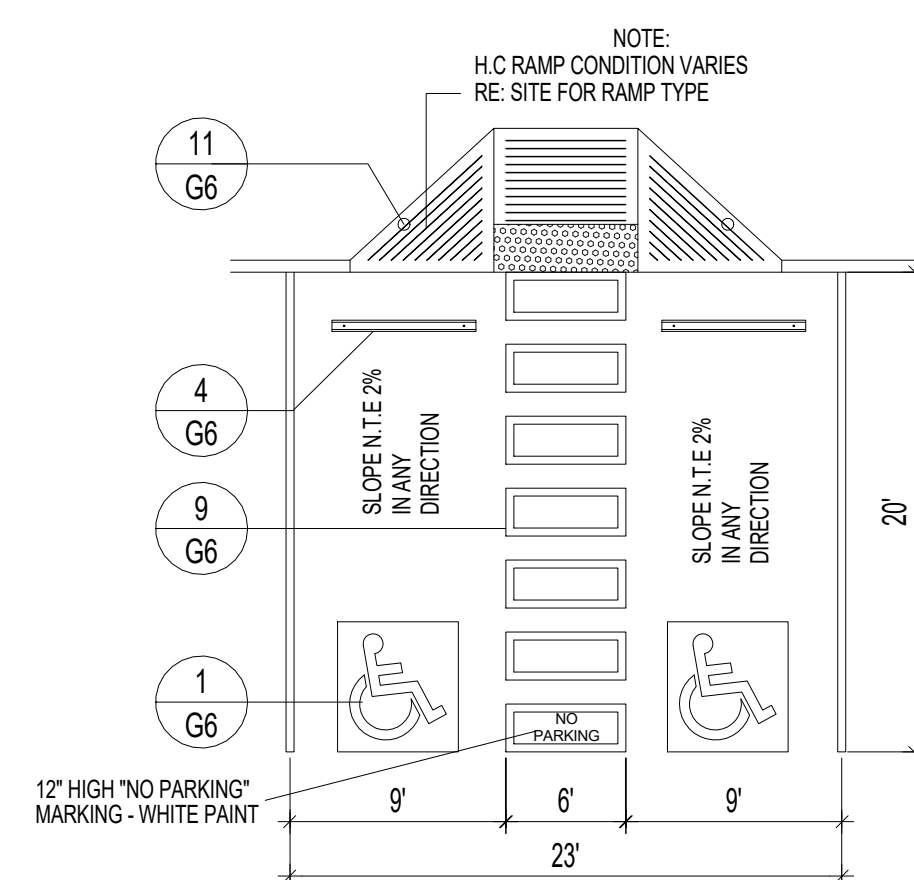
8 SITE DIRECTIONAL PAINT DETAIL
N.T.S



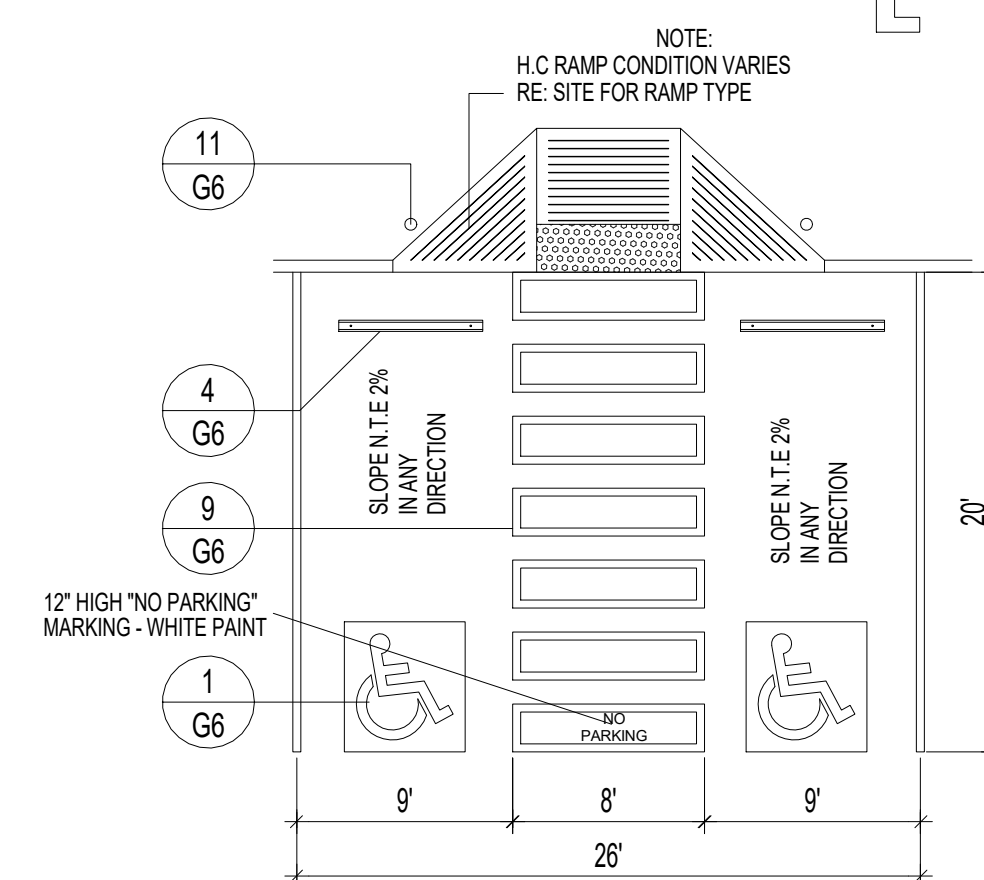
7 SITE DIRECTIONAL PAINT DETAIL
N.T.S.



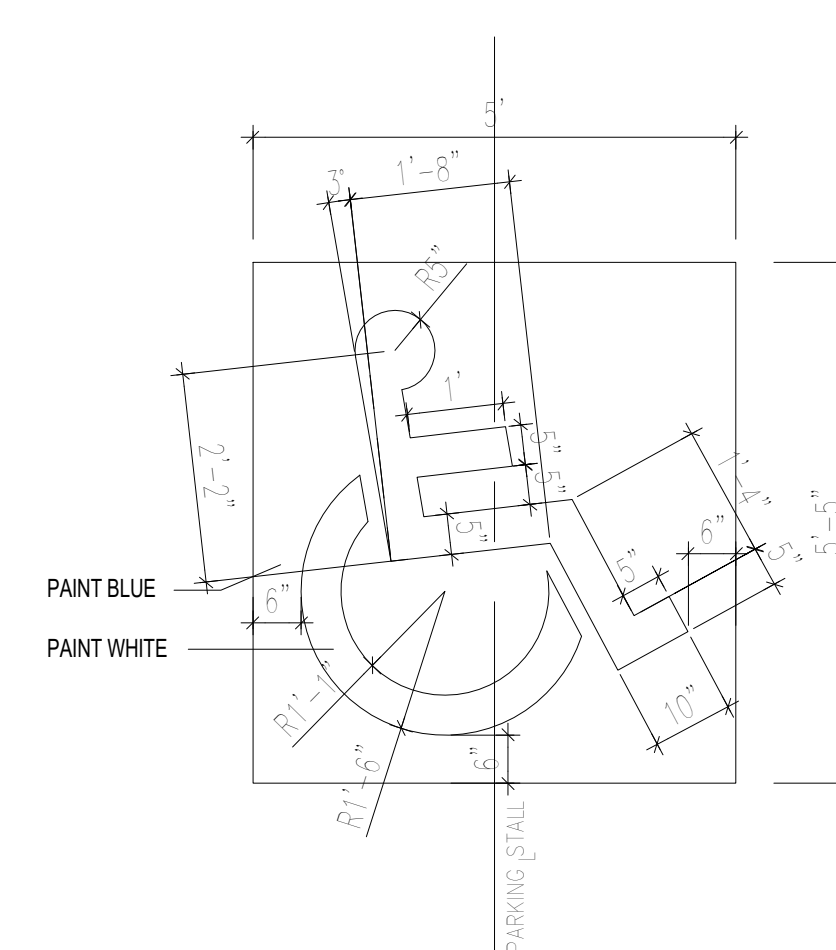
4 WHEEL STOP
N.T.S



3 H.C PARKING PLAN DETAIL
N.T.S.



2 H.C PARKING PLAN DETAIL (VAN ACCESIBLE)
NTS



1 H.C SIGNAGE
N.T.S

DATE 3/29/2022	SHEET G6
SCALE:	

NOT FOR CONSTRUCTION

PROJECT TITLE

CHAMPION XPRESS CARWASH

2100 CENTRAL AVE. ALBUQUERQUE. NM1 87104

PROJECT MANAGER	JOB NO.	DRAWN BY:
-----------------	---------	-----------

	Pr
Pr	

SHEET TITLE
SITE DETAILS

MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



Architect's Response Letter

Project: Champion Xpress
Date Issued: 30th March, 2022
Issued by: Daniel Duran
Modulus Architects

To: COA Development Review Services
Attention: Marwa Al-najjar

Ms. Al-najjar,

Per your comments, below I have listed my response in red under each comment.

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks. **Vicinity map provided on page G3A**
2. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking. **Number of parking spaces has been provided in parking calculations on sheet G3A**
3. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico. **Stamped by Steven Dunbar**
4. Identify all existing access easements and rights of way width dimensions. **No Easements were shown in the survey.**
5. Identify the right of way width, medians, curb cuts, and street widths on Central Ave., Rio Grande Blvd. and Merritt Ave. **All right of way widths, medians, curb cuts and street widths are identified and dimensioned.**
6. Clarify existing property lines and proposed property lines. **Property line is shown on sheet G3A.**
7. Curb Return Access is recommended on Central Ave.
8. All existing drive pads need to be ADA accessible. Please updated them to current standard. **All drive pads are ADA accessible and those that are not have been updated to current standards.**
9. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'

Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

10. Existing ramp at the corner of Rio Grande Blvd and Merrit Ave need to be updated to current ADA Standard. **Ramp is updated to ADA Standard.**
11. Provide the width for the existing sidewalk. **Width is provided for each existing side walk.**
12. Provide dimensions and "Do Not Enter" sign for the BAILOUT area. **Signage and dimensions for bailout lane have been noted.**
13. Drive through facilities: Minimum 3 Vehicles stacking spaces shall be provided pursuant to table 5-58 (Required Stacking spaces). **Stacking spaces have been provided on site plan**
14. Provide ADA parking space. **ADA parking has been provided and dimensioned**
15. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'
16. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide. **Both areas with ADA accessible spaces include an 8'-0" accessible aisle.**
17. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing"**. Please call out detail and location of signs. **Both areas with ADA accessible parking have parking signs and the detail can be seen on sheet G6**
18. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978) **ADA access aisles have NO PARKING on each.**
19. ADA curb ramps must be updated to current standards and have truncated domes installed. **All curb ramps are up to current standard and have truncated domes.**
20. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code. **Motorcycle Parking sign key noted as number 31**
21. All bicycle racks shall be designed according to the following guidelines: **Bicycle rack detail can be found on sheet G6.**
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.

- f. Each bicycle parking space is accessible without moving another bicycle.
22. Bicycle racks shall be sturdy and anchored to a concrete pad. **Bicycle rack detail can be found on sheet G6.**
 23. A 1-foot clear zone around the bicycle parking stall shall be provided. **Bicycle rack detail can be found on sheet G6.**
 24. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide. **Bicycle rack detail can be found on sheet G6.**
 25. Per the DPM, a 6ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please Clearly show this pathway and provide details. **6'-0" pedestrian pathway located to the east of the site.**
 26. Per DPM, a 6ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. **Pedestrian walk way located in front of employee parking in order to access office.**
 27. ADA accessible pedestrian pathway should not be places behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible. **ADA accessible pedestrian pathway is located in between both buildings in front of employee parking.**
 28. All sidewalks along streets should be placed at the property line. **All sidewalks are existing.**
 29. Provide a copy a Fire Marshal Approval. **Waiting for Fire Marshal Approval**
 30. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles. **Existing asphalt to remain. Patch work to be done where necessary.**
 31. All one-way drives shall have "One Way" signage. Please show detail and location of posted signs. **All one way drives have "ONE WAY" signage. Detail can be found on sheet G6.**
 32. Provide "DO NOT ENTER" and "EXIT ONLY" signage for the existing drive pad off Merritt Ave. **"DO NOT ENTER" and "EXIT ONLY" signage provided for existing drive pad off Merritt Ave.**
 33. Show the Intersection Sight Distance for Central Ave. and Rio Grande Blvd. and add the following note to the plane: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured for the gutter pan) will not be acceptable in the clear sight triangle." **Intersection site distances are depicted on the overall site plan sheet G3 With dashed lines.**
 34. Show the clear sight triangle for Merritt Ave. and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle. **Site triangles are shown on plan with the minimum 11' – 0". Note has been added to general notes on sheet G3**
 35. Provide details for all proposed signs and pavement marking. **All details for proposed signs and pavement markings are found on sheet G6**
 36. Please specify the City Standard Drawing Number when applicable. **All numbers stated in the keyed notes refer back to the City Standard Drawings.**
 37. Work within the public right of way requires a work order with DRC approved plans. **All work within public right of way will not require DRC approved plans because it does not meet any of the DRC jurisdiction conditions.**

38. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order." **Noted in General Notes on sheet G3**
39. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing. **Unused curb cut on the north west of the site to be replaced with new sidewalk.**
40. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing. **Noted in General Notes on sheet G3**
41. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**). **Waiting for Traffic Study.**
42. Please provide a letter of response for all comments given.