



ZONE ATLAS J-13-Z

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS LOT CONSOLIDATION (TO CREATE ONE LOT FROM THREE LOTS) AND TO GRANT ANY EASEMENTS AND VACATE ALL EASEMENTS AS SHOWN HEREON

NOTES:

1. BEARINGS ARE GRID BASED—NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES
3. ALL SET POINTS ARE IDENTIFIED AS "SET" ARE 5/8" REBAR WITH BLUE PLASTIC CAP STAMPED "S 1002" AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED
4. BEARINGS AND DISTANCES IN () ARE RECORD
5. FEMA FLOOD ZONE DESIGNATION: ZONE X

SUBDIVISION DATA:

ORD#
ZONE ATLAS INDEX NO. J-13
DATE OF FIELD SURVEY: JANUARY, 2019; APRIL 2022
TOTAL NO. OF TRACTS EXISTING: 3
TOTAL NO. OF LOTS CREATED: 1
TOTAL ACRES: 0.5767 ACRES
DOCUMENTS USED:

PLAT OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.R.G.C.D. MAP 38, RECORDED JANUARY 2019 AND AUGUST 2020
16TH STREET RIGHT OF WAY SURVEY BY WILSON AND COMPANY, DOC#2016050793
ALTAIRAM SURVEY BY QUEST SURVEYS OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.R.G.C.D. MAP 38, UNRECORDED

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4.7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SHEET INDEX

PAGE 1 COVER
PAGE 2 SUBDIVISION PLAT

LEGAL DESCRIPTION:

BEING A REPLAT OF PORTION OF TRACTS 107-B, 107-C, TOGETHER WITH TRACT 106-A FOUND IN M.R.G.C.D. MAP 38, WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES, EASEMENTS FOR ELECTRIC TRANSFORMER SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/ SWITCHGEAR DOORS AND (5) FEET ON EACH SIDE.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QUEST CORPORATION D.B.A. CENTURY LINK QC, FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTOR", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, ABOVEGROUND OR SUBSURFACE, HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

FREE CONSENT AND VACATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS SHOWN HEREON AND HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS AND DEDICATE ALL PUBLIC EASEMENTS SHOWN HEREON AND VACATED AS EASEMENTS SHOWN. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY:

OWNER(S)

ACKNOWLEDGMENT

STATE OF New Mexico
COUNTY OF Bernalillo

THIS INSTRUMENT WAS FORWARDED BEFORE ME ON THIS 10th DAY OF February, 2023, BY Shirley Pineda

NOTARY PUBLIC: Shirley Pineda
MY COMMISSION EXPIRES: 12/07/2025

STATE OF NEW MEXICO
NOTARY PUBLIC
Fidelity Number:
Commission Number: 121272

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #: 1030582841373108 10130582841373109 10130582841373110

BERNALILLO COUNTY TREASURER'S OFFICE:

SURVEYOR'S CERTIFICATE:

I, DAVID P. ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID P. ACOSTA, NMPS NO. 21082
DATE: 02/07/2023

PLAT OF TRACT A

THE PEARL ADDITION

BEING A REPLAT OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO FEBRUARY 2023

PROJECT NUMBER: PR-2022-006844 APPLICATION NUMBER: SD-2023-00060

CITY APPROVALS:

Loren N. Barendseover P.S.

DATE

Ernest Alvarez

DATE

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

Jun 9, 2023

M.R.G.C.D.

DATE

Willy Pineda

DATE

M.R.G.C.D.

DATE

PARKS AND RECREATION DEPARTMENT

Hydrology Jun 8, 2023

Willy Pineda

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M.R.G.C.D.

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THE PEARL ADDITION
BEING A REPLAT OF TRACTS 107-B, 107-C
TOGETHER WITH TRACT 106-A
N PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY 2023

DOC# 2023840718

TRACT A BLOCK 14
PEREA ADDITION
FILED: 4/28/97
BK. 97S, PG. 43

16TH STREET, N.W.
60' R.O.W. DOC#2018050793
ROW SURVEY OF 16TH STREET BY
WILSON AND COMPANY

SOUTHERLY PORTION OF
ABANDONED DITCH
FINAL DECREE IN
BERNALILLO COUNTY DISTRICT
MISC VOL 152, FOLIO 418-42
CROSS HATCHED AREA

PALOMA RAMIREZ
TRACT 107A
MRG.C.D. MAP NO. 38
07/13/2005, BK. A100, PG. 52
DOCUMENT NO. 2005100355

(N47°44' 33"E) (259.72')
N51° 44' 17"E 259.72'

TRACT A
REA= 25121.052 SQ. FT
0.5767 ACRES TOTAL

ELIMINATED
BY THIS PLAT

EXISTING EASEMENT
AS SHOWN ON MORTGAGE
DEED, BOOK A70 PAGE 4145
CREATED FOR THE BENEFIT
OF TRACTS 107B AND 107C
VACATED BY THIS PLAT
(CROSS HATCHED AREA)

CL 7 PUBLIC UTILITY
EASEMENT DEDICATED
BY THIS PLAT

FOUND LS CA

EDWARD M. GARCIA
TRACT 105-A
MRG.C.D. MAP NO. 38
03/11/1988, VOL. 799, FOLIO 103

4' PUBLIC SIDEWALK EASEMENT
DEDICATED BY THIS PLAT

N38° 02' 47"W (55.21')
 (N37° 40' 22"W)
 CENTRAL AVENUE, N.W.
 (80' R-W)

CONTROL STATION DATA
ACS MONUMENT: 12_J13
N.M. CENTRAL ZONE
GEO POSITION (NAD 1983)
NORTHING : 1489275.084 us survey feet
EASTING : 1517168.92 us survey feet
NAVD 1988 ELEVATIONS
ORTHO HEIGHT: 4957.502 us survey feet
GROUND TO GRID= 0.999684167
MAPPING ANGLE= -0 14' 12.73"

Parcel Line Table				
Line #	Length	Direction		
L1	0.62	N55° 18' 41"E	(S55°41'06"W	(1.78')
L2	23.64	S41° 01' 58"E	(S40°39'31"E	23.64')
L3	27.02	S35° 51' 25"E	(S35°29' 00"E	27.02')
L4	34.16	N36° 58' 16"W	(S36°57' 57"E	34.16')

PR-2022-006844-SD-2023-00060

CONSTRUCTION SURVEY TECHNOLOGIES, INC.
PO BOX 85395
ALBUQUERQUE, NM 87193
505-917-8921

PAGE 2 OF 2



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: The Pearl Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: J-13-Z DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Being a replat of portions of tracts 107-B, 107-C, together with tract 106-A Rembe Addition found in MRGCD map 38 within projected section 18, T 10 N R3 E NMPM Town of Albuquerque Grant City of Albuquerque Bernalillo County, New Mexico

City Address: 1701 Central NW, 1623 Central NW

Applicant: Rembe Design and Development Contact: Kenneth Myers

Address: 1718 Central Ave SW, Albuquerque, NM 87104

Phone#: 518-364-9914 Fax#: _____ E-mail: design@rembedesign.com

Development Information

Build out/Implementation Year: 2023 Current/Proposed Zoning: MX-M/R-1A

Project Type: New: (X) Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: (X) Office: () Retail: () Mixed-Use: ()

Describe development and Uses:

New 34 unit apartment building- Project to include 28 parking spaces for Residential use to access from 16th St.
Building to include 1700 sf. of commercial space which will not be parked or accessed on this site from 16th St., but will park at 1716 Central SW.
through shared parking agreement. Pedestrian access to Commercial and residential space accessed from Central Ave.

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 25,000 sf. Residential, 1700 sf. Commercial

Number of Residential Units: 34 units-28 Parking spaces

Number of Commercial Units: 2- Access from Central Ave. Only No access provided from 16th. st.

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* _____

Driveway(s) Located on: Street Name 16th St.

Adjacent Roadway(s) Posted Speed: Street Name 16th Posted Speed Not Posted

Street Name Central Ave. Posted Speed 30 MPH

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Mainstreet Corridor
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Premium Transit Corridor
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: _____ Volume-to-Capacity Ratio: _____
(if applicable)

Adjacent Transit Service(s): ART Service, Bus Stop Nearest Transit Stop(s): West Downtown, ART stop, Old Town, ART Stop, Bus Stop 4407

Is site within 660 feet of Premium Transit?: yes

Current/Proposed Bicycle Infrastructure: Current bike route along Central Ave.- No Additional Proposed
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: 6'-0" current sidewalk with additional 4'-0" of easement proposed at Central Ave. 10' wide proposed

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒ Borderline []

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes: No TIS required. Development is on a Main Street Corridor and within 660 feet of a Premium Transit Center. The Traffic Scoping form (TSF) satisfies the traffic study requirements.

M. P. E.
TRAFFIC ENGINEER

3/22/2023
DATE

Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.