

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 11, 2024

Kenneth Myers, RA
Rembe urban design + development
1716 Central Ave. SW
Corrales, NM 87104

Re: The George Apartments
1701 Central Ave. NW
Traffic Circulation Layout
Architect's Stamp 01-31-24 (J13-D220)

Dear Mr. Myers,

The TCL submittal received 04-19-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **A SIGNED SHARED PARKING AGREEMENT BY THE PLANNING DIRECTOR IS A CONDITION OF RELEASING THE FINAL CO.**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

KEYED NOTES-SITE PLAN

- EXISTING SIDEWALK TO REMAIN
- NEW BIKE RACK PER DETAIL B3/TCL1
- NEW LIGHT POST PER DETAIL A3/TCL1
- EXISTING ROLL OVER CURB COA STANDARD DETAIL 2415B. REPAIR REPLACE AS REQUIRED.
- NEW LANDSCAPE AREA
- PROPOSED NEW ASPHALT PARKING AREA—PER COA STANDARDS ASPHALT TO SUPPORT A MINIMUM OF 75,000 PPF.
- EXISTING PMW ELECTRICAL POST TO REMAIN.
- PROPOSED PEDESTRIAN BUILDING ACCESS— MIN. 6'-0" WIDE
- PROPOSED HEADER CURB PER DETAIL B2/TCL1
- SIGNAGE— SEE DETAIL A5/TCL1
- NEW 8'-0" MIN. ADA VAN ACCESS ISLE—PROVIDE PAINTED 'NO PARKING' IN CAPITAL LETTERS PER 66-1-4.1.B NMSA 1978
- 3'-0" TALL UNIT COURTYARD WALLS
- 4'-0" TALL OPAQUE WALL AT PROPERTY LINES
- EXISTING SITE WALL TO REMAIN
- CURB RAMP PER DETAIL B4/TCL1— PROVIDE MINIMUM LANDING.
- AUTOMATED GATE— PROVIDE KNOX BOX FOR EMERGENCY ACCESS
- 6'-0" TALL WROUGHT IRON FENCE
- EXISTING CURB CUT TO BE REMOVED AND REPLACED WITH NEW SIDEWALK, CURB AND GUTTER PER DPM COA CITY STANDARD DWG 2430.
- PLANTED PONDING AREA PER CIVIL
- NEW CONCRETE HARDSCAPE— CROSS SLOPE MAXIMUM 2% IN ANY DIRECTION
- MINI SITE TRIANGLE PER DPM 7-4(i)(5)(V)
- NEW ON-STREET HC PARKING SPACE SEE DETAIL C2/TCL01

Residential Parking Calculations*	Unit Count	IDO notes	Total Req'd	Provided
Residential Units in MX-M, CPO-3	34	Table 5-5-2: DUUC-MS-PT= 1 space / DU = 1 space per unit =34 5-5(C)(5)(c)Reduction for Proximity to Transit=	34 23.8 22.8	
Total Residential Required			22	28
Accessible Spaces (HC)	28	Per 208.3 ADAAG for 26-50 off street spaces one standard accessible space, and one van space required	2	2
Motorcycle	34	IDO, table 5-5-4: 1-25=1, 26-54= 2: required	2	2
bike	34	IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater	3.4	4 exterior, 16 interior

Commercial Parking Calculations**	Square feet/ spaces req'd	IDO Notes	Total Req'd	Provided
Commercial Office Space in MX-M, CPO-3	1846	IDO, table 5-5-2: Office in PT zone=2.5/ 1,000 sf.	4.615	
Total Commercial Parking Required			4	4 spaces provided**
Accessible Spaces (HC)	28	Per 208.2 ADAAG for 1-25 off street spaces 1 van space required	1	1
Motorcycle	3	IDO, table 5-5-4: 1-25=1, 26-54= 1: required	1	1
bike	3	IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater	0.3	3 spaces provided

Notes:

*Residential parking provided on site

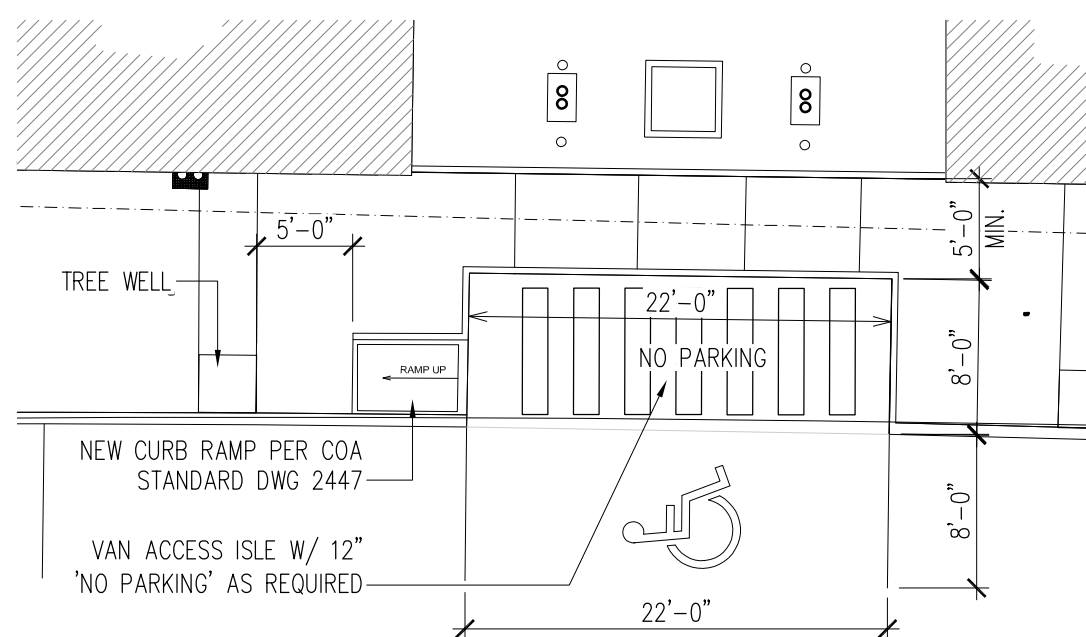
** Commercial Parking provided through shared parking agreement

at 1700 Central Ave. SW per IDO 5-5-F-1-b

PARKING FOR NON-RESIDENTIAL PARKING IN MIXED USE ZONES-

see sheet TCL2 for plan and calculations

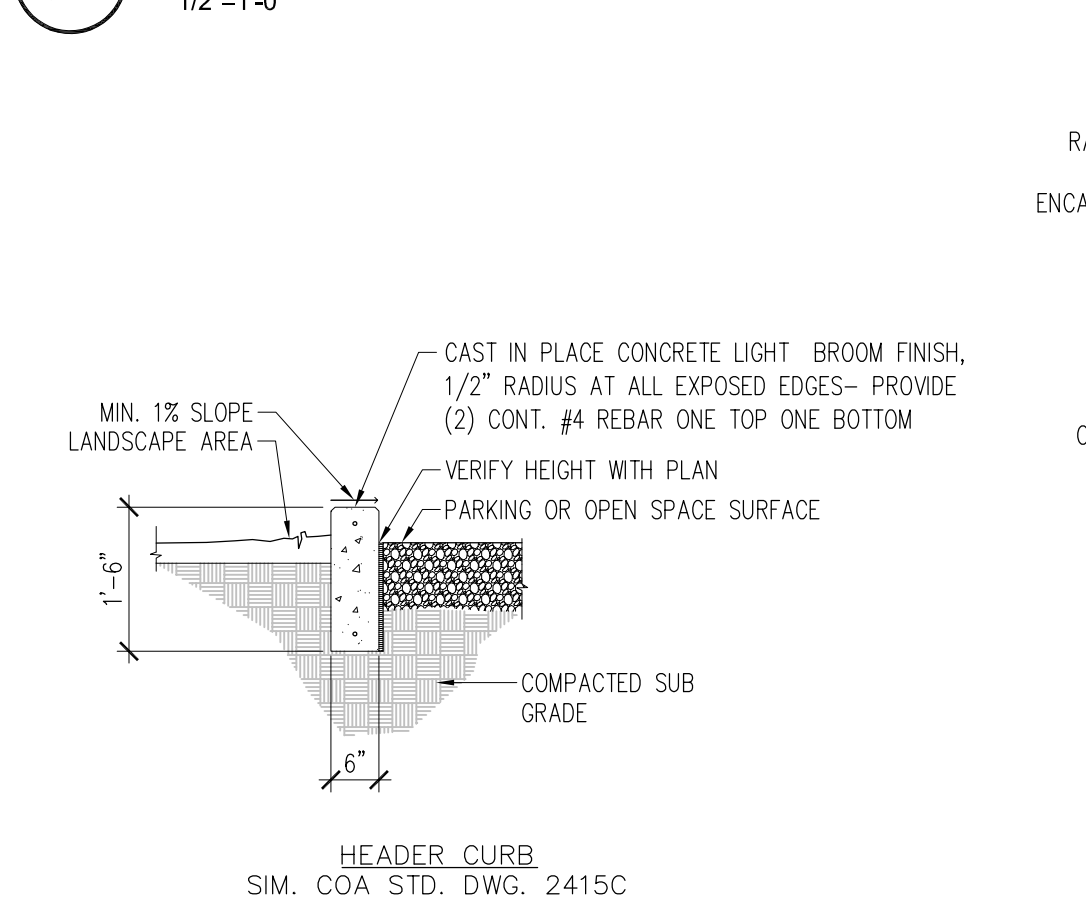
Per IDO 5-5-1-c Numbers are rounded down



*NOTE: WHERE 4 OR LESS PARKING SPACES ARE REQUIRED A SIGN IDENTIFYING THE ACCESSIBLE SPACE IS NOT REQUIRED

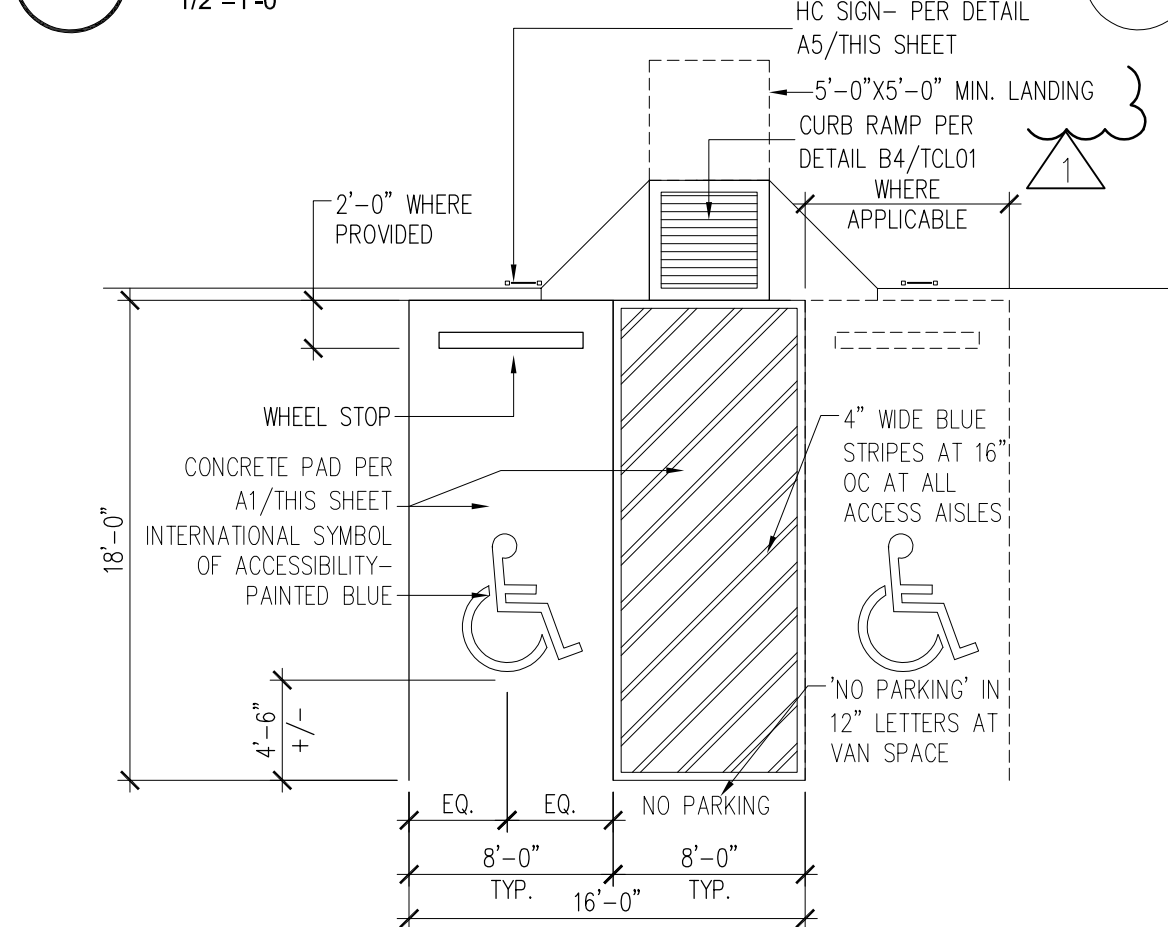
C2 ON-STREET HC SPACE

1/2"=1'-0"



B2 New Header Curb Detail

1/2"=1'-0"



A2 HC PARKING SPACE DETAIL

1/2"=1'-0"

SECTION

'STAPLE' STYLE BIKE
RACK: 1-1/2" SQUARE
WALL PAINTED STEEL
ENCASE IN 10" X 18" DEEP
CONCRETE PIER

4" THICK SIDEWALK
CORE DRILL FOR OR SET
RACK AS REQUIRED

MIN. 1% SLOPE
LANDSCAPE AREA

CAST IN PLACE CONCRETE LIGHT BROOM FINISH,
1/2" RADIUS AT ALL EXPOSED EDGES- PROVIDE
(2) CONT. #4 REBAR ONE TOP ONE BOTTOM

VERIFY HEIGHT WITH PLAN
PARKING OR OPEN SPACE SURFACE

COMPACTED SUB
GRADE

HEADER CURB
SIM. COA STD. DWG. 2415C

HC SIGN- PER DETAIL
A5/THIS SHEET

5'-0" X 6'-0" MIN. LANDING
CURB RAMP PER
DETAIL B4/TCL01

WHERE
APPLICABLE

4" WIDE BLUE
STRIPES AT 16"
OC AT ALL
ACCESS AISLES

NO PARKING IN
12" LETTERS AT
VAN SPACE

WHEEL STOP
CONCRETE PAD PER
A1/THIS SHEET

INTERNATIONAL SYMBOL
OF ACCESSIBILITY-
PAINTED BLUE

3" EXPANSION JOINT MATERIAL

SLOPE PAD AWAY
FROM CONSTRUCTION

PARKING BLOCK

PREPARED SUBSOL

THICKENED SLAB W/ (2) CONT. #4
REBAR AT PERIMETER- TOOLED
RADIUS AT EDGE- 4" SLAB W/
MED. BROOM FINISH- SLOPE TO
DRAIN AWAY FROM STRUCTURE

NEW PARKING LOT AREA

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