

CITY OF ALBUQUERQUE



Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

December 10, 2024

Ken Myers
Rembe Urban Design + Development
1716 central Ave. SW
Albuquerque, NM 87104

**Re: The George
1701 Central Ave
Traffic Circulation Layout
Engineer's/Architect's Stamp 11-25-24 (J13D220)**

Dear Mr. Myers,

The revised TCL submittal received 11-25-2024 is approved for Building Permit by transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for login and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

KEYED NOTES-SITE PLAN

- EXISTING SIDEWALK TO REMAIN
- NEW SIDEWALK PER GENERAL NOTES
- NEW LIGHT POST PER DETAIL B2/TCL1
- EXISTING ROLL OVER CURB COA STANDARD DETAIL 2415B. REPAIR REPLACE AS REQUIRED.
- NEW LANDSCAPE AREA
- PROPOSED NEW ASPHALT PARKING AREA—PER COA STANDARDS ASPHALT TO SUPPORT A MINIMUM OF 75,000 PPF.
- EXISTING PNM ELECTRICAL POST TO REMAIN.
- PROPOSED MOTOR CYCLE PARKING PER DETAIL A3/TCL01
- PROPOSED HEADER CURB PER DETAIL B3/TCL1
- SIGNAGE— SEE DETAIL B1/TCL1
- NEW 8'-0" MIN. ADA VAN ACCESS ISLE—PROVIDE PAINTED 'NO PARKING' IN CAPITAL LETTERS PER 66-1-4.1.B NMSA 1978
- NOT USED
- 4'-0" TALL OPAQUE WALL AT PROPERTY LINES
- EXISTING SITE WALL TO REMAIN
- CURB RAMP PER DETAIL A4/TCL01— PROVIDE MINIMUM LANDING.
- AUTOMATED GATE— PROVIDE KNOX BOX FOR EMERGENCY ACCESS
- NOT USED
- EXISTING CURB CUT TO BE REMOVED AND REPLACED WITH NEW SIDEWALK, CURB AND GUTTER PER DPM COA CITY STANDARD DWG 2430.
- PLANTED PONDING AREA PER CIVIL
- NEW HARDSCAPE— CROSS SLOPE MAXIMUM 2% IN ANY DIRECTION
- MINI SITE TRIANGLE PER DPM 7-4(1)(5)(V)
- NEW BIKE RACK PER DETAIL C1/TCL1

GENERAL NOTES

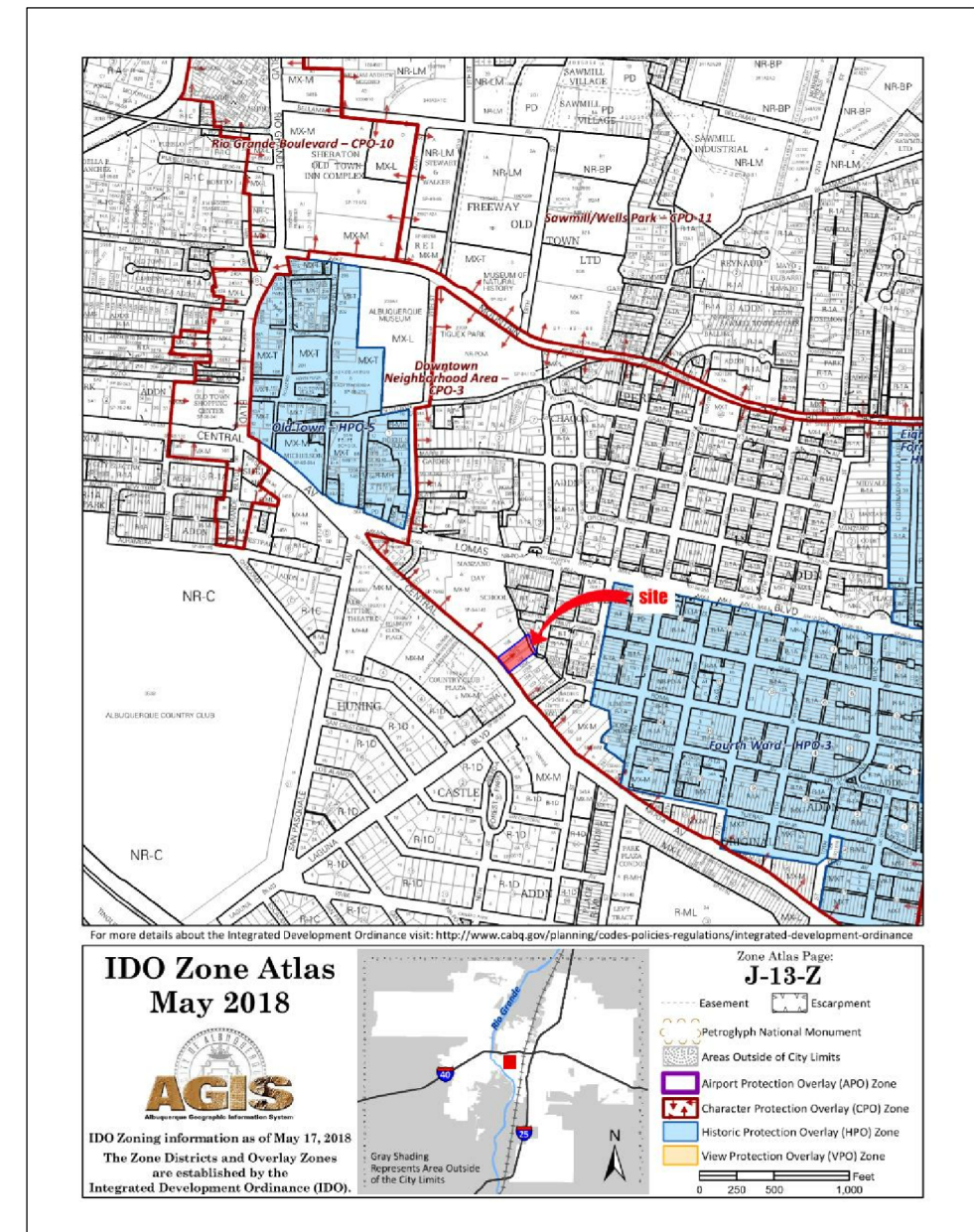
- PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM—MAXIMUM ADA PARKING SPACE SLOPE 5.2% IN ALL DIRECTIONS.
- ALL NEW CURB AND GUTTER (IF REQUIRED) PER COA STANDARD DRAWINGS #2415A—TYPICAL
- ALL NEW PUBLIC SIDEWALK (IF REQUIRED) PER COA STANDARD DRAWING 2430
- NEW DRIVE PAD PER COA STANDARD DRAWING #2425
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND GUTTER PER COA STANDARD DETAIL 2430 AND 2415A
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS— SIGNS WALLS TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL— MEASURED FROM GUTTER PAN WILL NOT BE ACCEPTABLE IN CLEAR SIGHT TRIANGLE.
- PER DPM 7-5(K)(2) VEHICLES MAY OVERHANG WALKWAYS AND LANDSCAPE AREA AS LONG AS THE OVERHANG DOES NOT NEGATIVELY IMPACT THE PROPOSED LANDSCAPE, OR REDUCE THE REQUIRED PEDESTRIAN ACCESS ROUTE TO LESS THAN 4 FEET WIDE, THE MAXIMUM OVERHANG OF PARKING SPACES ARE 2 FEET FOR STANDARD PARKING AND 1.5 FEET FOR SMALL CAR SPACES
- LANDSCAPE AREAS IN FRONT OF PARKING SPACES TO HAVE LOW GROUND COVER AS TO NOT INTERFERE WITH 24" CAR OVERHANG.

PROJECT INFORMATION

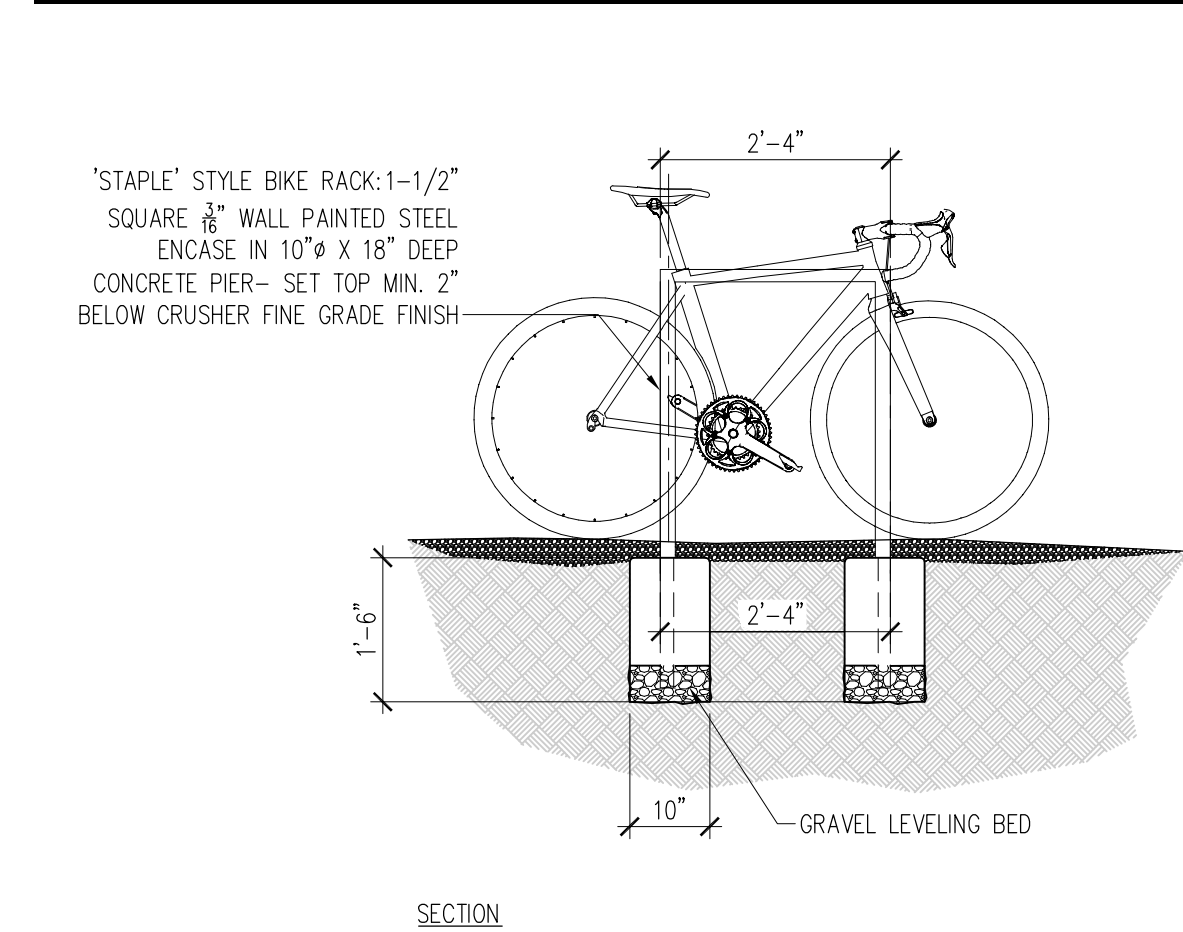
ADDRESS: 1701 CENTRAL SW AVE. ALBUQUERQUE, NM 87104
 UPL: 101305828413731068
 LEGAL DESCRIPTION: TRACT 106 & A PORTION OF ABANDONED ALBUQUERQUE DITCH MRGD MAP#SS CONT 0.3222 AC W/L and MAP 38 TRACT 107B and 107C. MX-M
 ZONING: MX-M
 ASSOCIATED PR#: PR-2023-008387

GROUND SURFACE LEGEND

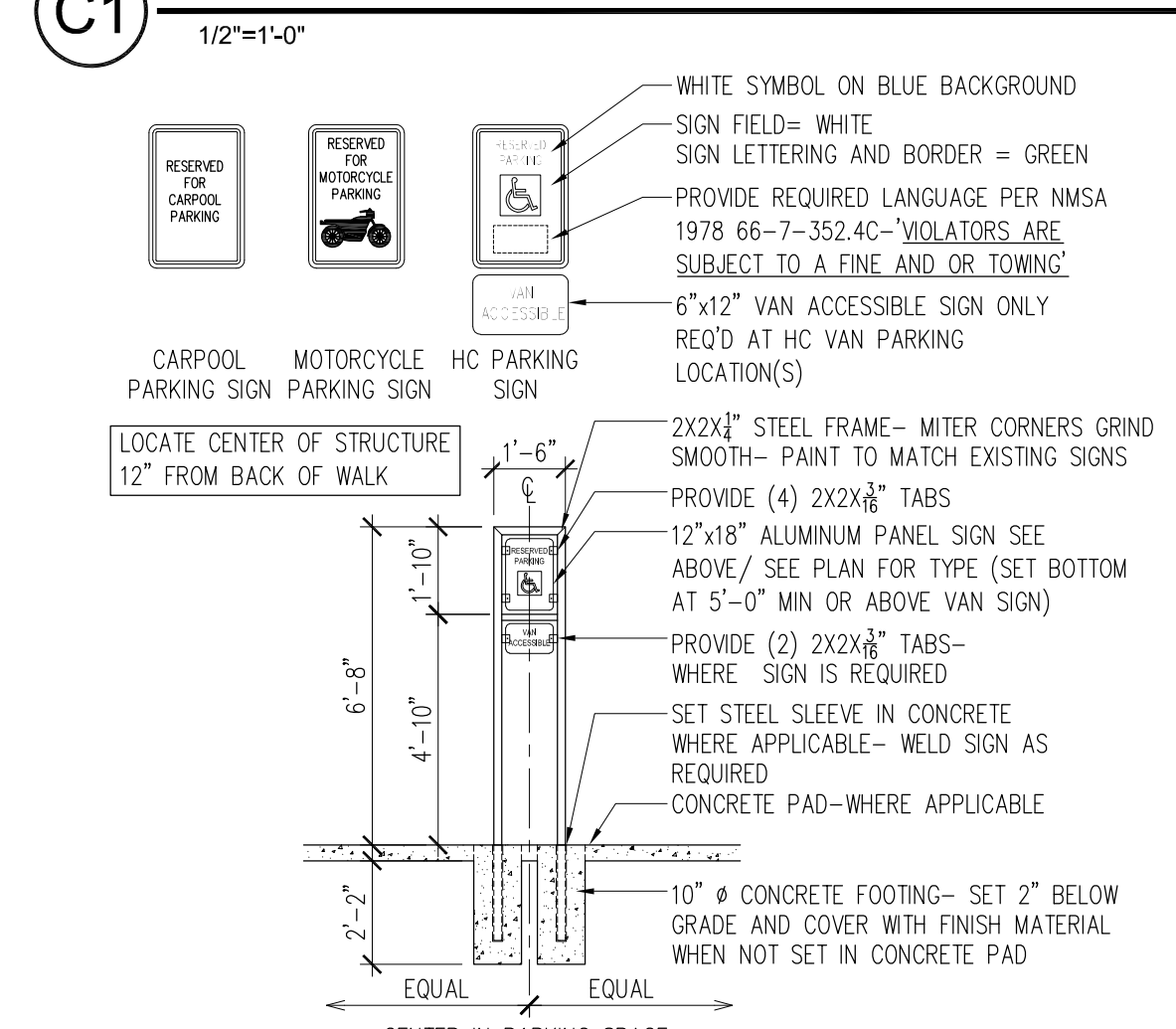
- NEW CONCRETE HARDSCAPE— FINISH TO MEET DPM STANDARDS
- NEW LANDSCAPING
- NEW ASPHALT PER GENERAL NOTES



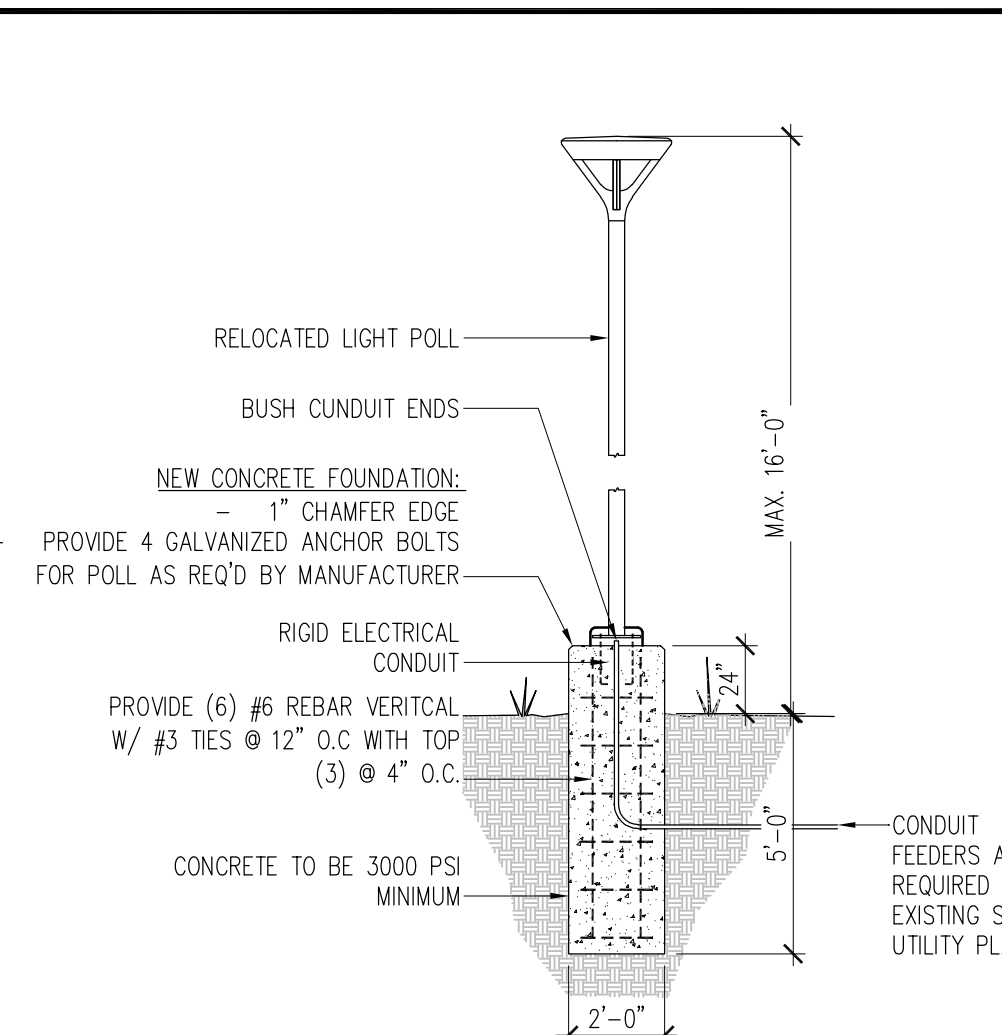
Residential Parking Calculations*	Unit Count	IDO notes	Total Req'd	Provided
Residential Units in MX-M, CPO-3	37	Table 5-5-2: DUUC-MS-PT= 1 space / DU = 1 space per unit +37	37	
		5-5(C)(5)(d)Reduction for Proximity to Transit (30% reduction)	25.9	
		5-5-C-6-a Electric Vehicle Charging Credit	2	
Total Residential Automobile Parking Spaces Required			23	27
MotorCycle bike	37	IDO, table 5-5-4: 1-25=1, 26-54= 2: required	2	2
		IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater	3.7	24 Interior
Total Commercial Automobile Parking Spaces Required			2	2
Commercial Office Space in MX-M, CPO-3	646	IDO, table 5-5-2: Office in PT zones=2.5/1,000 sf.	2.5	
Total Commercial Automobile Parking Spaces Required			2	1
MotorCycle bike		IDO, table 5-5-4: 1-25=1, 26-54= 1: required	1	1
Accessible Spaces (HC)	32	IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater	3	3 exterior provided
Total automobile Parking spaces Required		Per 208-2 ADMS: for 28-30' off street spaces 2 HC spaces required, 1 van space required	25	27



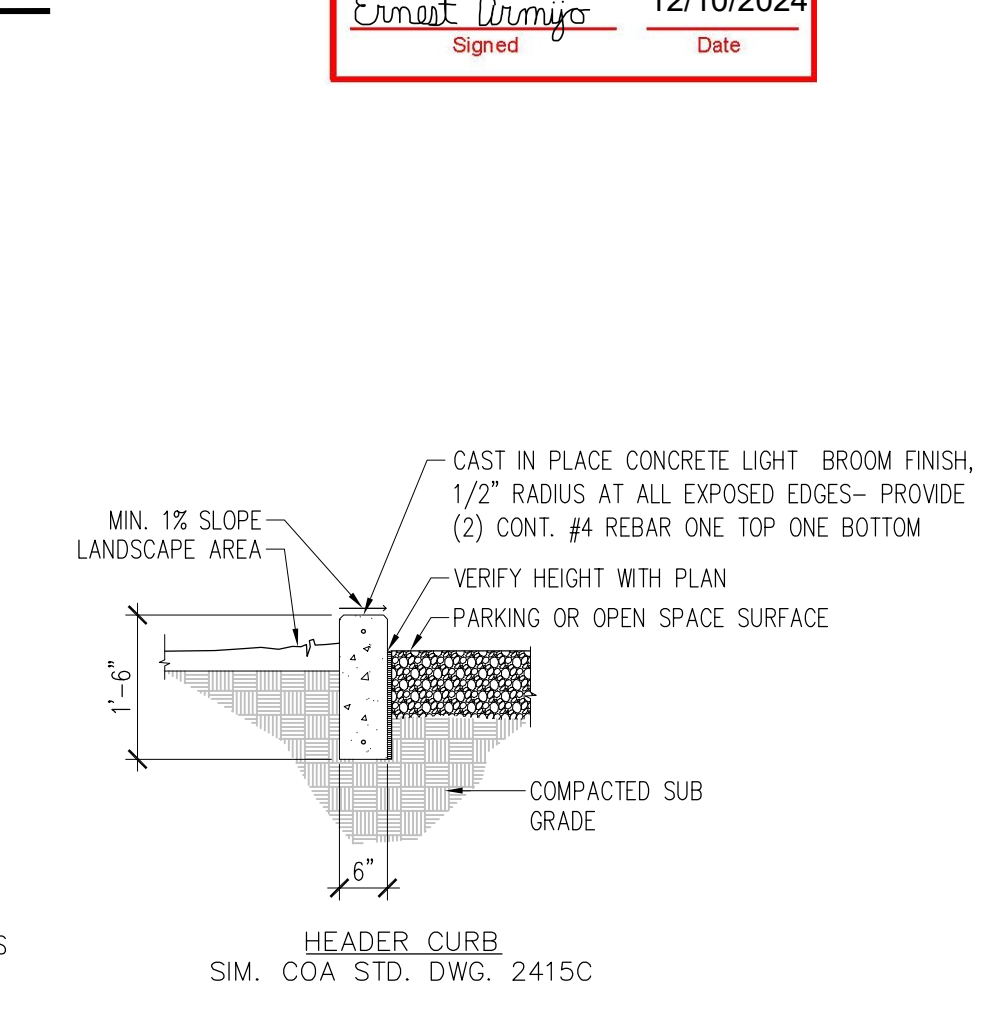
C1 BIKE RACK DETAIL
1/2"=1'-0"



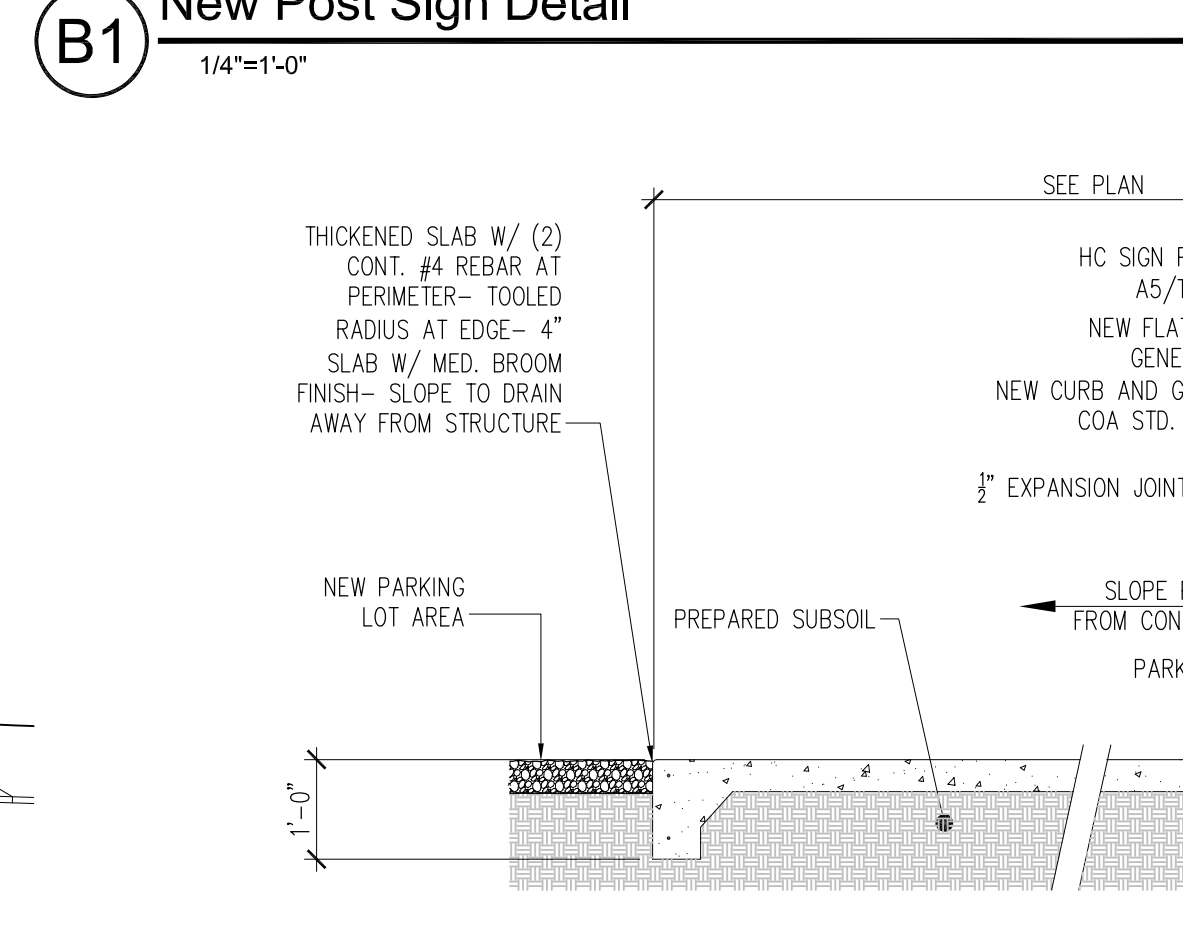
B1 New Post Sign Detail
1/4"=1'-0"



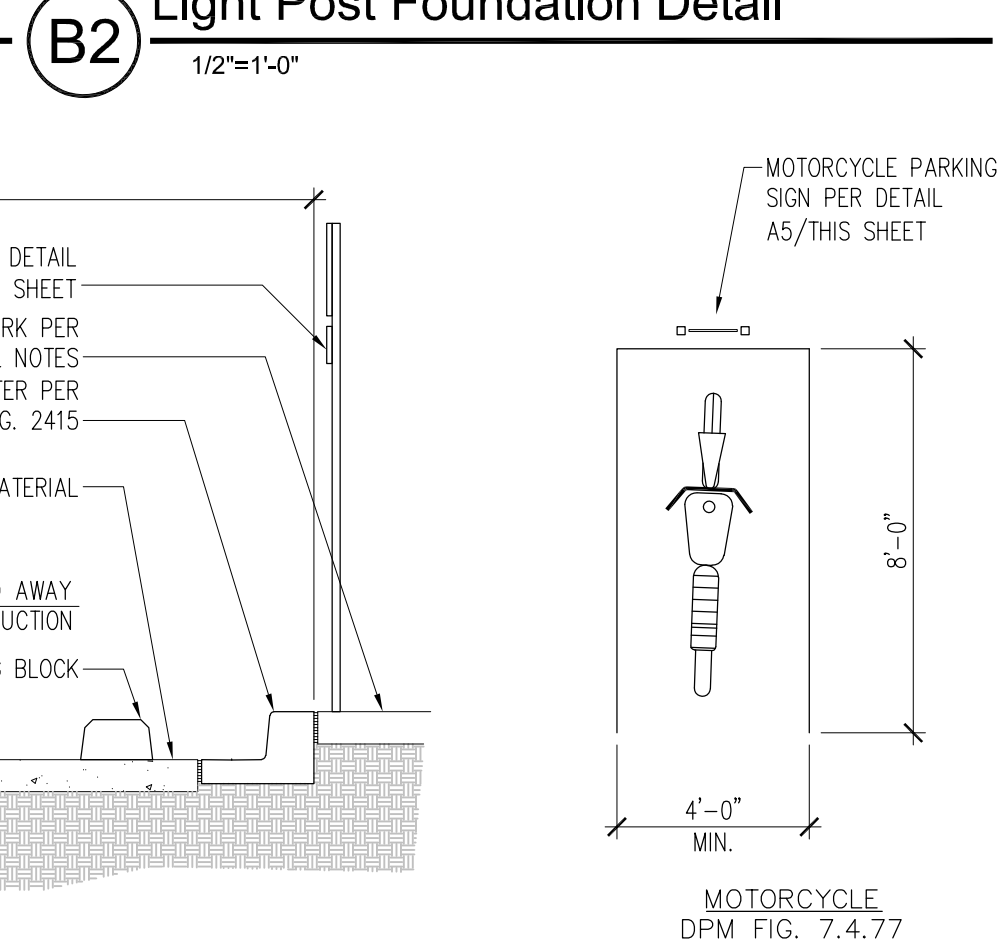
B2 Light Post Foundation Detail
1/2"=1'-0"



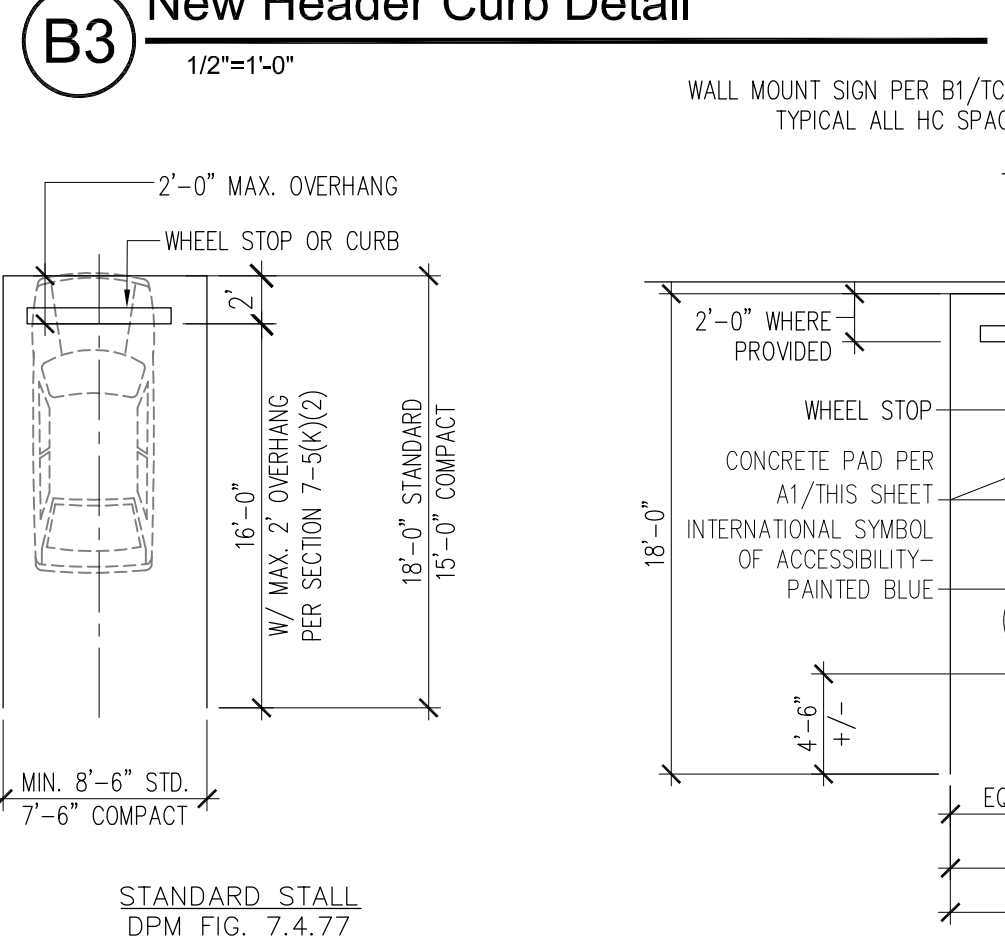
B3 New Header Curb Detail
1/2"=1'-0"



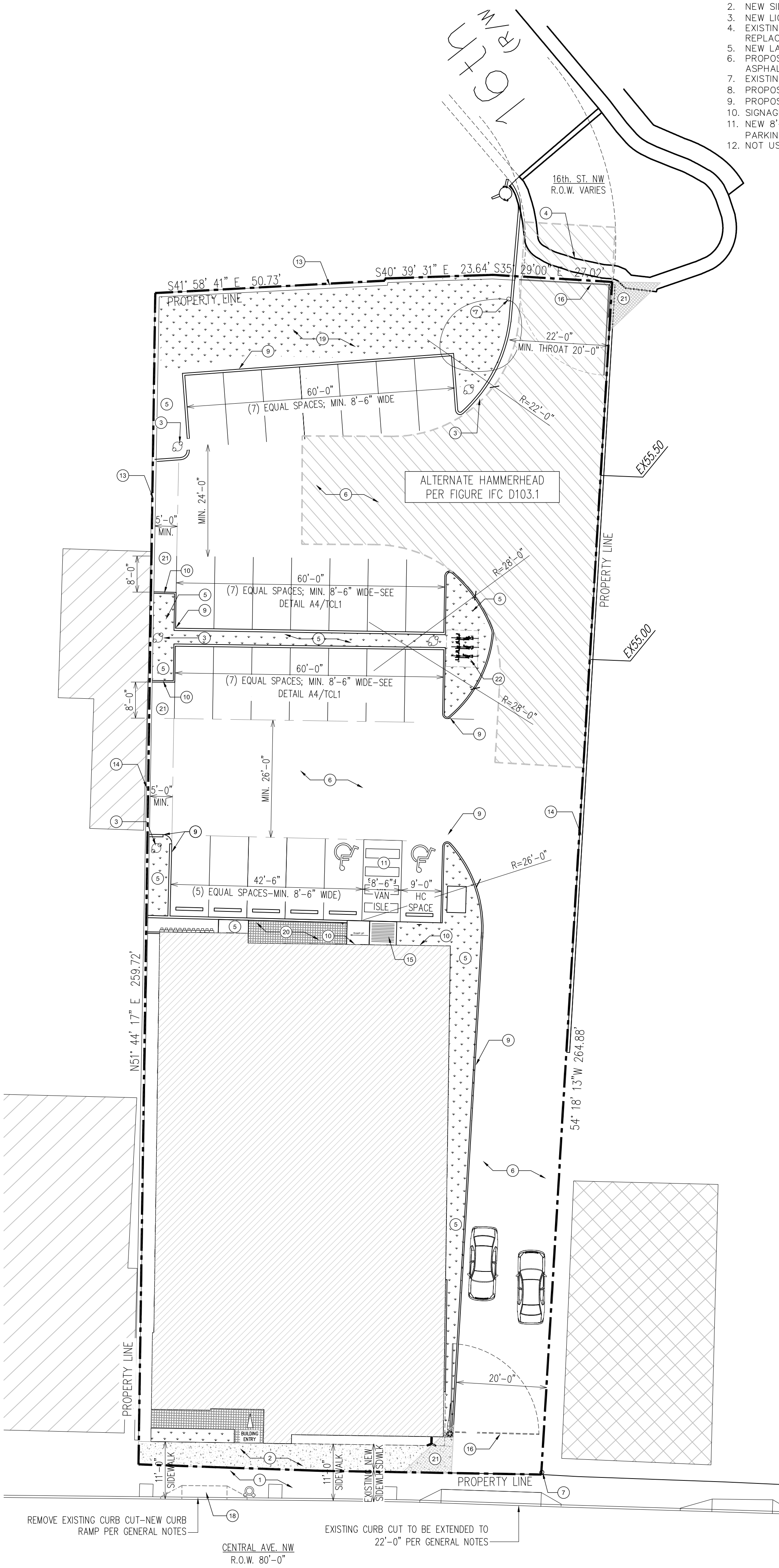
A2 New HC Parking Space Detail
1/2"=1'-0"



A3 New Parking Space Detail
1/4"=1'-0"



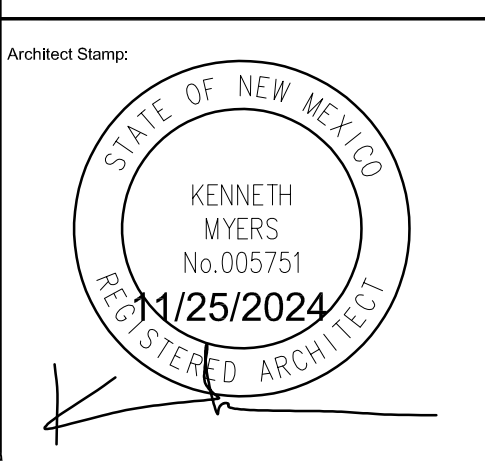
A4 HC PARKING SPACE DETAIL
1/2"=1'-0"



A1 TRAFFIC CONTROL LAYOUT PLAN
1/16"=1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Arroyo 12/10/2024
 Signed Date

The George | 34 Unit Apartment Building
 1701 CENTRAL AVE., NW
 ALBUQUERQUE, NM 87104



REMBE
 urban design + development
 1716 Central SW, Suite A
 Albuquerque, NM 87104
 t: 505-243-0188

Project: **CCP- THE GEORGE**
 Drawn By: **KMA** Checked By: **KMA**
 Phase: **SD DESIGN**
 Date: **11/22/2024**
 Project Number:

SITE PLAN- DETAILS AND LAYOUT

Sheet Number:

TCL01

DO NOT SCALE DRAWINGS