

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 10, 2023

Kenneth Myers, RA
REMBE Urban Design and Development
1716 Central Ave. SW
Albuquerque, NM 87104

Re: The George/ 34 Unit Apartment Building
1701 Central Ave. NW
Traffic Circulation Layout
Architect's Stamp 08-04-23 (J13-D220)

Dear Mr. Myers,

Based upon the information provided in your submittal received 08-04-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show on the site plan the north direction to determine the orientation of the site.
2. Identify all existing access easements and rights of way width dimensions.
3. Identify the right of way width, medians, curb cuts, and street widths on Central Ave. and 16th St.
4. Shared parking agreement must approve and signed by director Alan Varela and city authorized notary.
5. Site access must be built per City standard.
6. Keynote 18: please reference COA STD DWG 2430. And it appears there is a water meter on the public sidewalk by the construction area off Central. Please contact Water Authority for a permit.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



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7. Please define keynote 29.
8. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
9. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
10. Please specify the City Standard Drawing Number when applicable.
11. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
12. Please provide a letter of response for all comments given.

PO Box 1293

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

Albuquerque

for log in and evaluation by Transportation.

NM 87103

If you have any questions, please contact me at (505) 924-3675.

www.cabq.gov

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: THE GEORGE **Building Permit #** **Hydrology File #**

DRB# NA **EPC#**

Legal Description: TRACT 106 & A PORTION OF ABANDONED ALBUQUERQUE DITCH MRGCD MAP#38 CONT 0.3222 AC M/L, and MAP 38 TRACT 107B and 107C **City Address OR Parcel** 1701 CENTRAL SW, ABQ, NM 87104

Applicant/Agent: REMBE DESIGN **Contact:** KEN MYERS

Address: 1716 CENTRAL AVE. SW **Phone:** 518-364-9914

Email: DESIGN@REMBEDESIGN.COM

Applicant/Owner: JAY REMBE **Contact:** JAY REMBE

Address: 1718 CENTRAL AVE. SW, ABQ, NM 87104 **Phone:** 505-243-0188

Email: REMBE@REMBEDESIGN.COM

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: ☒ x

RE-SUBMITTAL: ☐ YES ☒ x NO

DEPARTMENT: ☒ x TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

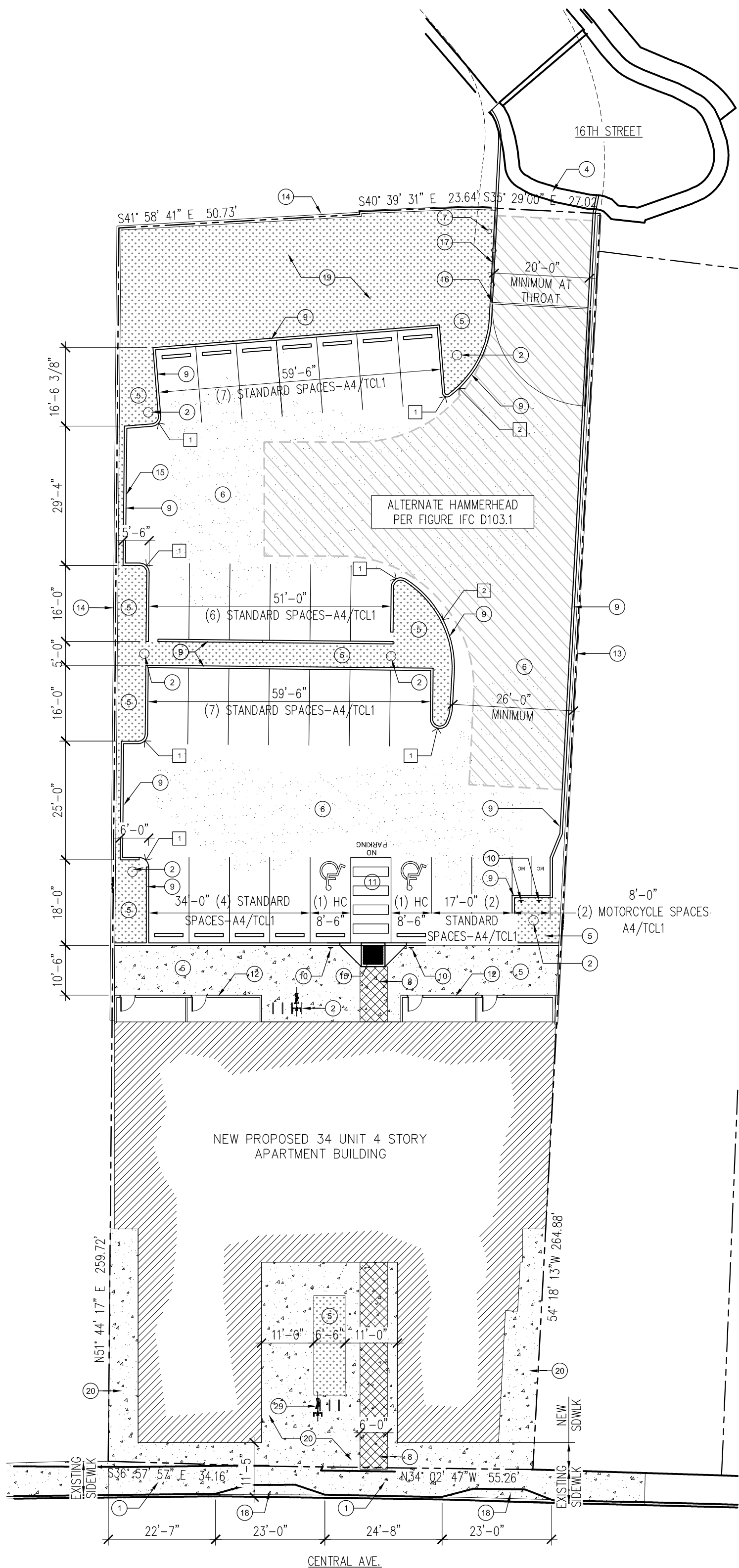
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ x TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

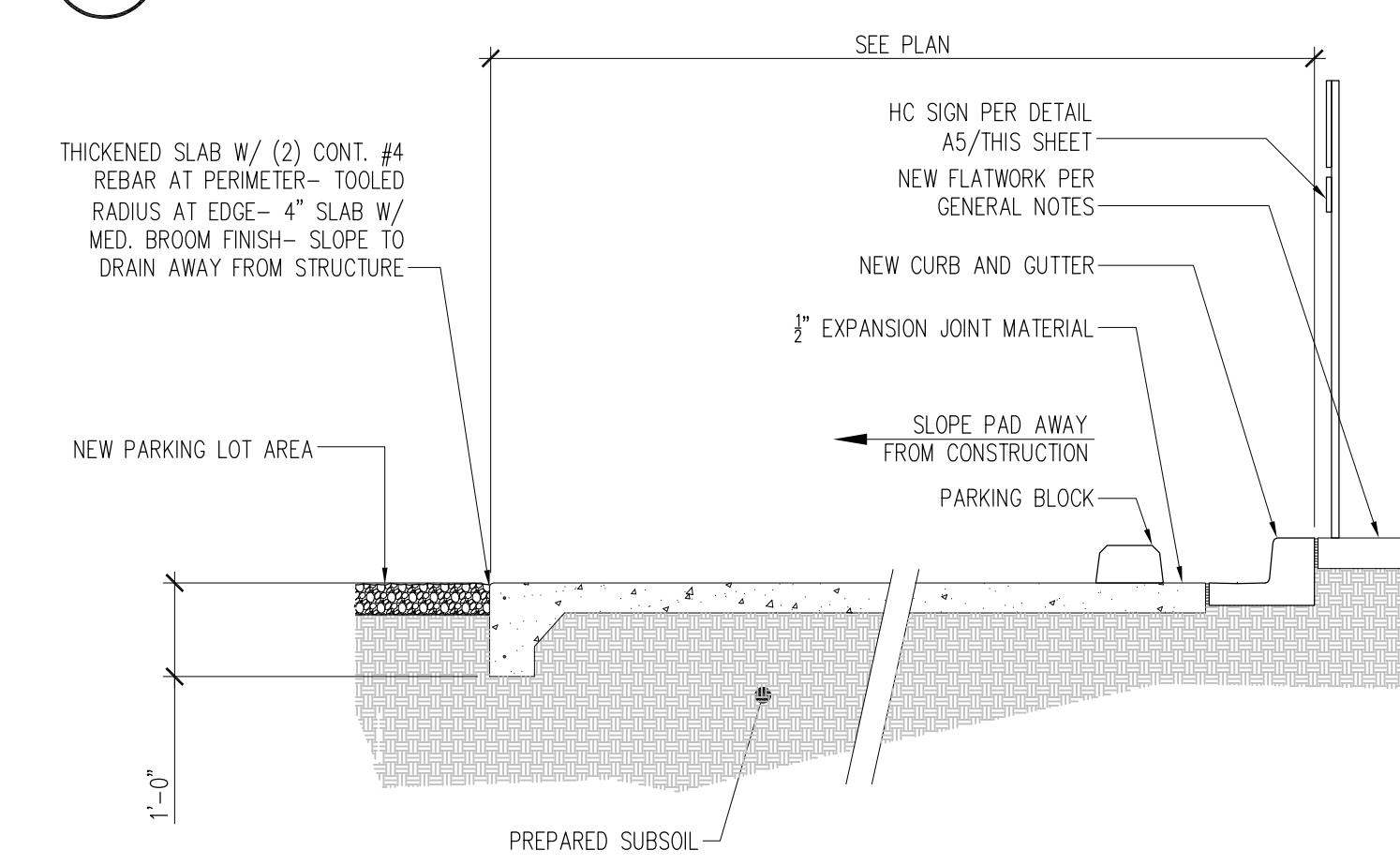
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ x SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 08/04/2023

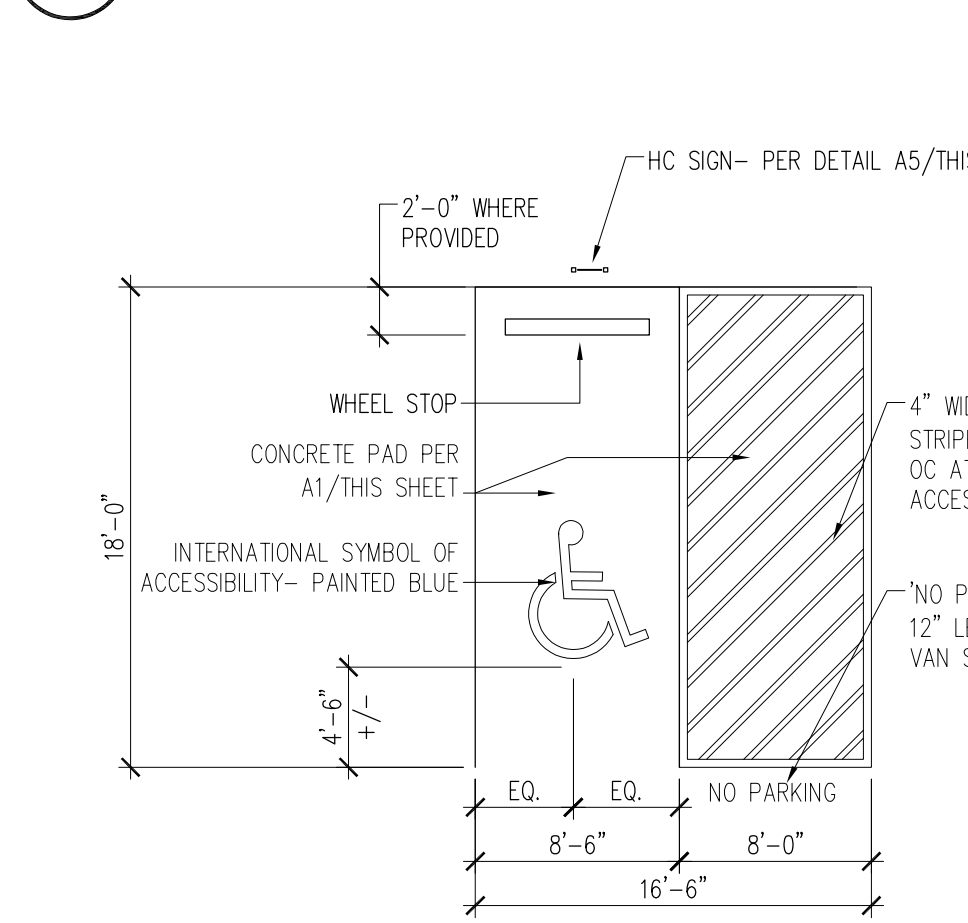


B1 TRAFFIC CONTROL LAYOUT PLAN
1"=20'-0"



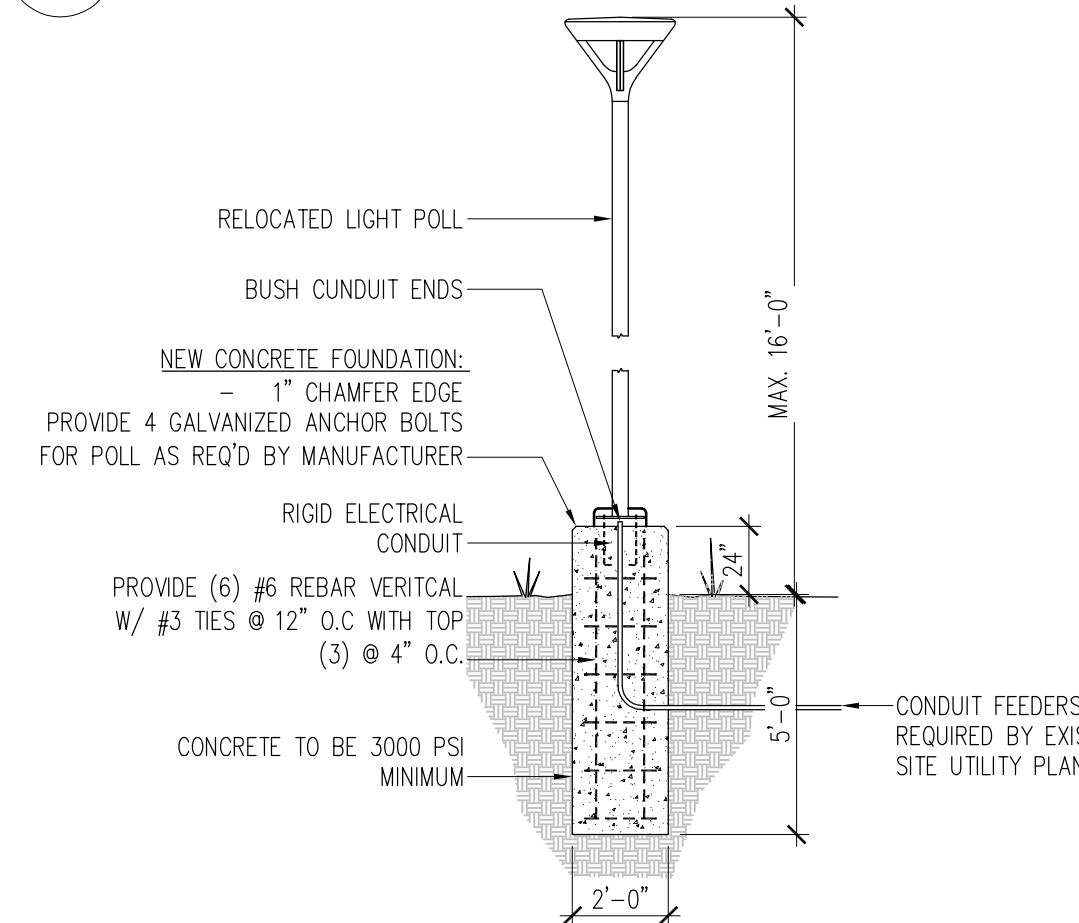
A1 New Sidewalk Detail
1/2"=1'-0"

B2 New Header Curb Detail
1/2"=1'-0"



A2 HC PARKING SPACE DETAIL
1/2"=1'-0"

B3 Bike Rack Detail
1/2"=1'-0"



A3 Light Post Foundation Detail
1/2"=1'-0"

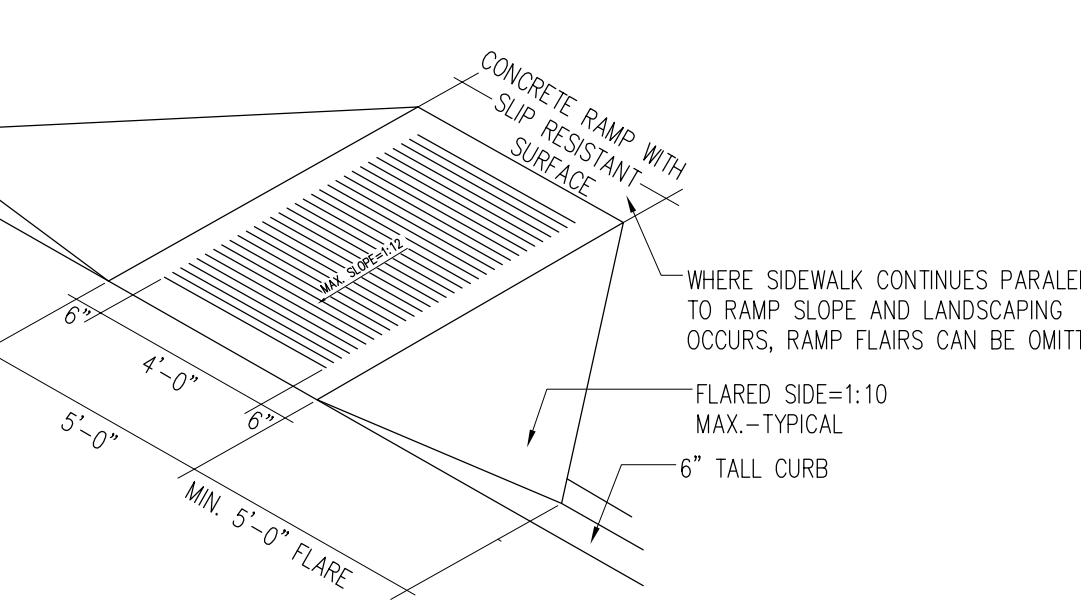
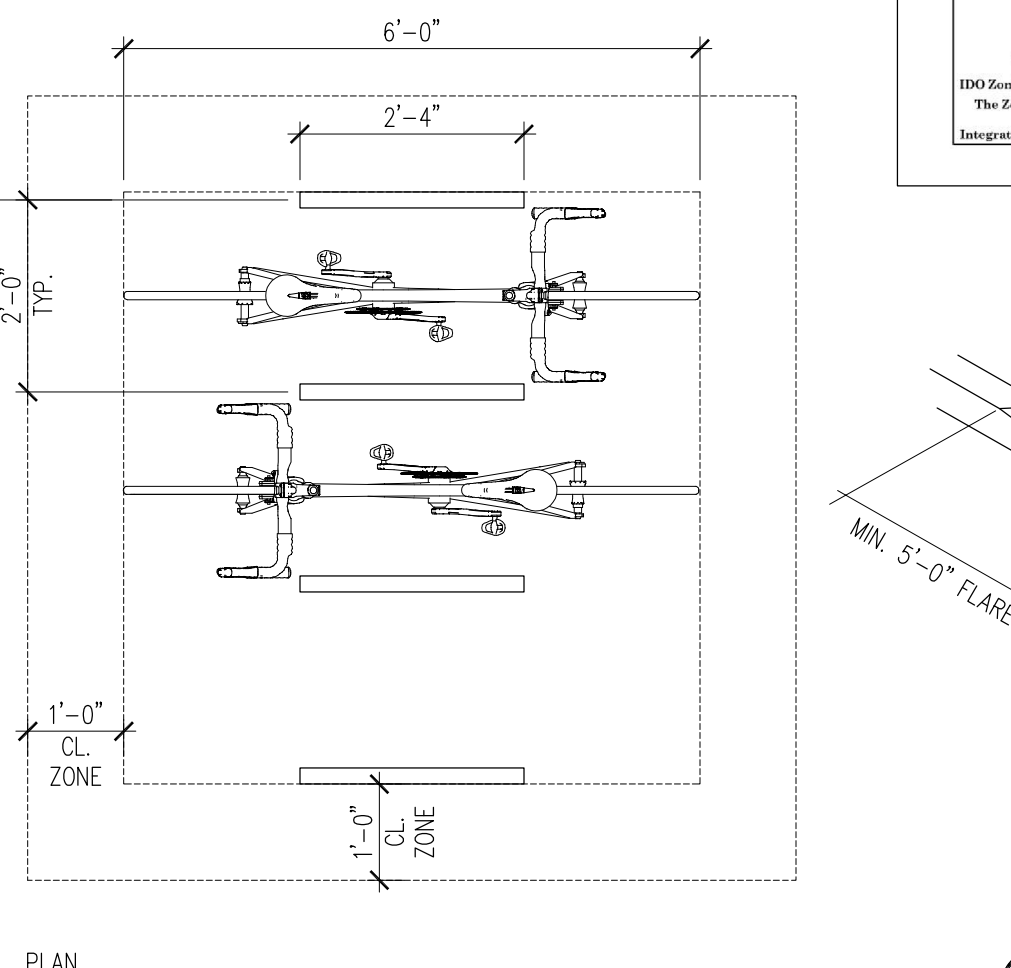
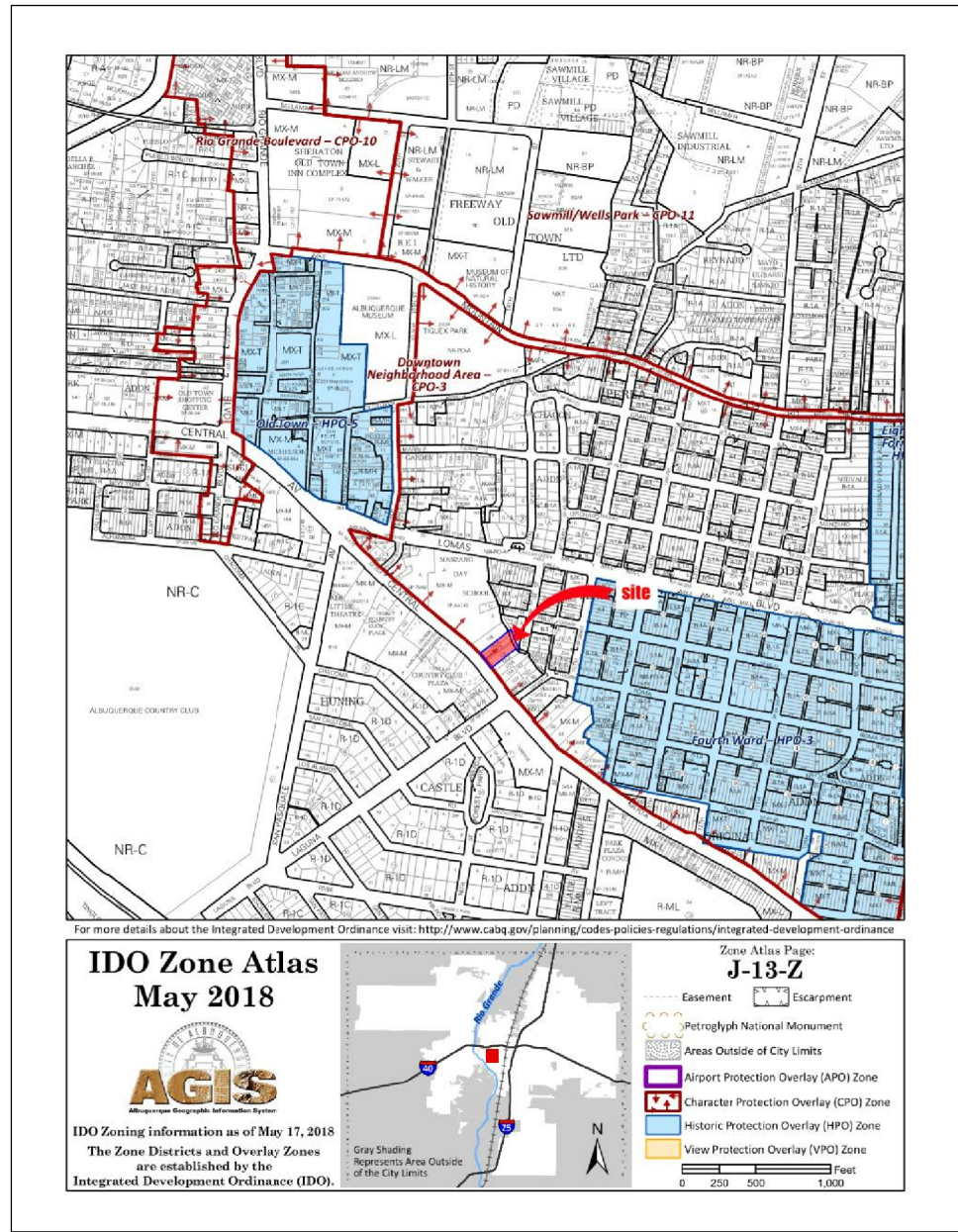
- ### GENERAL NOTES
- PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
 - ALL NEW CURB AND GUTTER (IF REQUIRED) PER COA STANDARD DRAWINGS #2415A-TYPICAL
 - ALL NEW PUBLIC SIDEWALK (IF REQUIRED) PER COA STANDARD DRAWING 2430
 - NEW DRIVE (IF REQUIRED) PAD PER COA STANDARD DRAWING #2425
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND GUTTER PER COA STANDARD DETAIL 2430 AND 2415A
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS- SIGNS WALLS TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL- MEASURED FROM GUTTER PAN WILL NOT BE ACCEPTABLE IN CLEAR SIGHT TRIANGLE

- ### RADIUS INFORMATION
- 1 ->=3'-0" RADIUS
 - 2 ->=22'-0" RADIUS

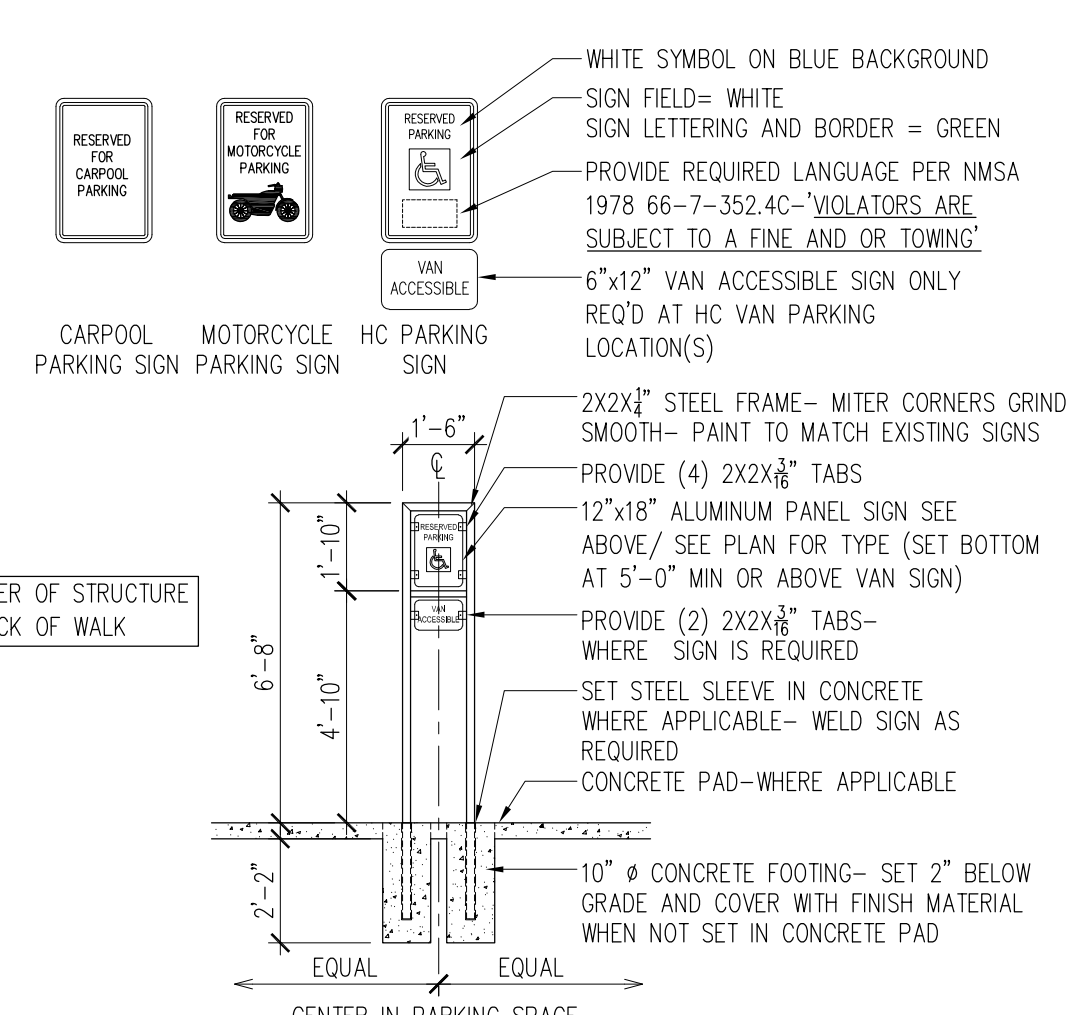
PROJECT INFORMATION

ADDRESS: 1701 CENTRAL SW. AVE. ALBUQUERQUE, NM 87104
UPC: 101305828413731108
LEGAL DESCRIPTION: TRACT 106 & A PORTION OF ABANDONED ALBUQUERQUE DITCH MRGD MAP#38 CONT 0.3222 AC M/L, and MAP 38 TRACT 107B and 107C . MX-M
ZONING: MX-M
ASSOCIATED PR#: PR-2023-008387

- ### GROUND SURFACE LEGEND
- NEW CONCRETE HARDSCAPE- FINISH TO MEET DPM STANDARDS
 - NEW LANDSCAPING
 - NEW ASPHALT PER GENERAL NOTES



B4 Curb Ramp Detail
NTS



A5 New Post Sign Detail
1/4"=1'-0"

The George | 34 Unit Apartment Building
1701 CENTRAL AVE., NW
ALBUQUERQUE, NM 87104

Architect Stamp:
STATE OF NEW MEXICO
KENNETH MYERS
No. 005751
08/04/2023
REGISTERED ARCHITECT

REMBE
urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t: 505-243-0188

Project: CCP- THE GEORGE
Drawn By: KMA Checked By: KMA
Phase: PERMITTING
Date: 08/04/2023
Project Number: 2204

SITE PLAN- DETAILS AND LAYOUT

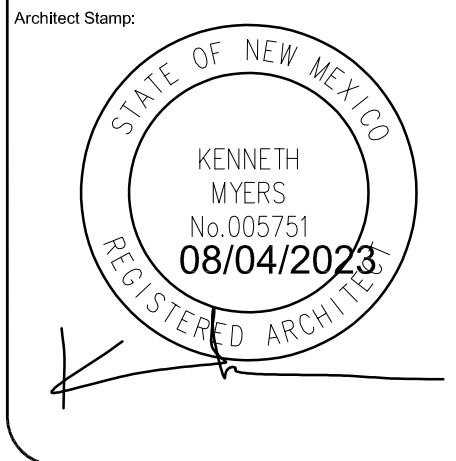
Sheet Number:
TCL01



Shared Parking Calculations	Spaces
Total spaces @ 1700 Central Ave. SW	159
Total Spaces Required for use @ 1700 Central	82
Total Spaces available for shared parking @ 1700 Central	77
Total Spaces Required for 1701 Central Commercial space	4

Notes:
*Residential parking provided on site
** Commecial Parking provided through shared parking agreement
at 1700 Central Ave. SW per IDO IDO 5-5-F-1-b
PARKING FOR NON-RESIDENTIAL PARKING IN MIXED USE ZONES-
see sheet TCL2 for plan and calculations
Per IDO 5-5-1-c Numbers are rounded down

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ALBUQUERQUE, NM 87104



REMBE
urban design + development
1716 Central SW, Suite A
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Project:	CCP- THE GEORGE	
Drawn By:	KMA	Checked By: KMA
Phase:	PERMITTING	
Date:	08/04/2023	
Project Number:	2204	

PARKING
CALCULATION
DIAGRAM

Sheet Number:

TCL02

DO NOT SCALE DRAWINGS