CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

August 10, 2023

Kenneth Myers, RA REMBE Urban Design and Development 1716 Central Ave. SW Albuquerque, NM 87104

Re: The George/ 34 Unit Apartment Building 1701 Central Ave. NW Traffic Circulation Layout Architect's Stamp 08-04-23 (J13-D220)

Dear Mr. Myers,

Based upon the information provided in your submittal received 08-04-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Please show on the site plan the north direction to determine the orientation of the site.
- 2. Identify all existing access easements and rights of way width dimensions.
- 3. Identify the right of way width, medians, curb cuts, and street widths on Central Ave. and 16th St.
- 4. Shared parking agreement must approve and signed by director Alan Varela and city authorized notary.
- 5. Site access must be built per City standard.
- 6. Keynote 18: please reference COA STD DWG 2430. And it appears there is a water meter on the public sidewalk by the construction area off Central. Please contact Water Authority for a permit.

www.cabq.gov

PO Box 1293

Albuquerque

NM 87103



Page 1 of 2

CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

- 7. Please define keynote 29.
- 8. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
- 9. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
- 10. Please specify the City Standard Drawing Number when applicable.
- 11. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
 - 12. Please provide a letter of response for all comments given.

C

Once corrections are complete resubmit

- 1. The Traffic Circulation Layout
- 2. A Drainage Transportation Information Sheet (DTIS)
- 3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.

Albuquerque

PO Box 1293

4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

NM 87103

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

www.cabq.gov

Marwa Al-najjar

Marwa Al-najjar Associate Engineer, Planning Dept. Development Review Services

\ma via: emailC: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: THE GEORGE	Building Permit #Hydrology File #
DRB#NA	EPC#
Legal Description: TRACT 106 & A PORTION OF ABANDONED MRGCD MAP#38 CONT 0.3222 AC M/L, and and 107C	D ALBUQUERQUE DITCH City Address OR Parcel 1701 CENTRAL SW, ABQ. NI AMAP 38 TRACT 107B
Applicant/Agent: REMBE DESIGN	Contact: KEN MYERS
Address: 1716 CENTRAL AVE. SW	Phone: 518-364-9914
Email: DESIGN@REMBEDESIGN.COM	
Applicant/Owner: JAY REMBE	Contact: JAY REMBE
Address: 1718 CENTRAL AVE. SW, ABQ, NM 8	87104 Phone: 505-243-0188
Email: REMBE@REMBEDESIGN.COM	
RE-SUBMITTAL:YESx NO DEPARTMENT: × TRANSPORTA	TION HYDROLOGY/DRAINAGE
Check all that apply:	
,	TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
11.7	TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
TYPE OF SUBMITTAL:	TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
TYPE OF SUBMITTAL:ENGINEER/ARCHITECT CERTIFICATI	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: IONBUILDING PERMIT APPROVAL
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATIPAD CERTIFICATION	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: IONBUILDING PERMIT APPROVALCERTIFICATE OF OCCUPANCY
TYPE OF SUBMITTAL:ENGINEER/ARCHITECT CERTIFICATIPAD CERTIFICATIONCONCEPTUAL G&D PLAN	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATI _PAD CERTIFICATION _CONCEPTUAL G&D PLAN _GRADING PLAN _DRAINAGE REPORT _DRAINAGE MASTER PLAN	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATI _PAD CERTIFICATION _CONCEPTUAL G&D PLAN _GRADING PLAN _DRAINAGE REPORT _DRAINAGE MASTER PLAN _FLOOD PLAN DEVELOPMENT PERMI	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL T APP. FINAL PLAT APPROVAL
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATIONPAD CERTIFICATIONCONCEPTUAL G&D PLANGRADING PLANDRAINAGE REPORTDRAINAGE MASTER PLANFLOOD PLAN DEVELOPMENT PERMITELEVATION CERTIFICATE	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL T APP. FINAL PLAT APPROVAL SIA/RELEASE OF FINANCIAL GUARANTEE
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATIONPAD CERTIFICATIONCONCEPTUAL G&D PLANGRADING PLANDRAINAGE REPORTDRAINAGE MASTER PLANFLOOD PLAN DEVELOPMENT PERMITELEVATION CERTIFICATECLOMR/LOMR	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL T APP. FINAL PLAT APPROVAL SIA/RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION _CONCEPTUAL G&D PLAN _GRADING PLAN _DRAINAGE REPORT _DRAINAGE MASTER PLAN _FLOOD PLAN DEVELOPMENT PERMITELEVATION CERTIFICATE _CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT (TO	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL T APP. FINAL PLAT APPROVAL SIA/RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION _CONCEPTUAL G&D PLAN _GRADING PLAN _DRAINAGE REPORT _DRAINAGE MASTER PLAN _FLOOD PLAN DEVELOPMENT PERMITELEVATION CERTIFICATE _CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT (TO ADMINISTRATIVE	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL FINAL PLAT APPROVAL SIA/RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION CONCEPTUAL G&D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOOD PLAN DEVELOPMENT PERMITELEVATION CERTIFICATE CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT (TO ADMINISTRATIVE TRAFFIC CIRCULATION LAYOUT FOR	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL T APP. FINAL PLAT APPROVAL SIA/RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATIONCONCEPTUAL G&D PLANGRADING PLANDRAINAGE REPORTDRAINAGE MASTER PLANFLOOD PLAN DEVELOPMENT PERMITELEVATION CERTIFICATECLOMR/LOMR X_TRAFFIC CIRCULATION LAYOUT (TO ADMINISTRATIVETRAFFIC CIRCULATION LAYOUT FOR APPROVAL	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL FINAL PLAT APPROVAL SIA/RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL R DRB PAVING PERMIT APPROVAL GRADING PAD CERTIFICATION
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION _CONCEPTUAL G&D PLAN _GRADING PLAN _DRAINAGE REPORT _DRAINAGE MASTER PLAN _FLOOD PLAN DEVELOPMENT PERMIT _ELEVATION CERTIFICATE _CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT (TO ADMINISTRATIVE _TRAFFIC CIRCULATION LAYOUT FOI APPROVAL _TRAFFIC IMPACT STUDY (TIS)	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL FINAL PLAT APPROVAL SIA/RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL R DRB PAVING PERMIT APPROVAL GRADING PAD CERTIFICATION WORK ORDER APPROVAL
PAD CERTIFICATION CONCEPTUAL G&D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOOD PLAN DEVELOPMENT PERMITELEVATION CERTIFICATE CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT (TO ADMINISTRATIVE TRAFFIC CIRCULATION LAYOUT FOR APPROVAL	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: ION BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY CONCEPTUAL TCL DRB APPROVAL PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL X SITE PLAN FOR BLDG PERMIT APPROVAL FINAL PLAT APPROVAL SIA/RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL R DRB PAVING PERMIT APPROVAL GRADING PAD CERTIFICATION

KEYED NOTES-SITE PLAN ⊗—

- 1. EXISTING SIDEWALK TO REMAIN
- 2. NEW BIKE RACK PER DETAIL B3/TCL1 3. NEW LIGHT POST PER DETAIL A3/TCL1
- 4. EXISTING ROLL OVER CURB TO RÉMAIN
- 5. NEW LANDSCAPE AREA 6. PROPOSED NEW ASPHALT PARKING AREA-PER COA STANDARDS
- ASPHALT TO SUPPORT A MINIMUM OF 75,000 PPF. 7. EXISTING PNM ELECTRICAL POST TO REMAIN.
- 8. PROPOSED PEDESTRIAN BUILDING ACCESS- MIN. 6'-0" WIDE 9. PROPOSED HEADER CURB PER DETAIL B2/TCL1
- 10. SIGNAGE- SEE DETAIL A5/TCL1 11. NEW 8'-0" MIN. ADA VAN ACCESS ISLE-PROVIDE PAINTED 'NO PARKING' IN CAPITAL LETTERS PER 66-1-4.1.B NMSA 1978
- 12. 3'-0" TALL UNIT COURTYARD WALLS 13. 4'-0" TALL OPAQUE WALL AT PROPERTY LINES
- 14. EXISTING SITE WALL TO REMAIN
- 15. CURB RAMP PER DETAIL B4/TCL01 16. AUTOMATED GATE- PROVIDÉ KNOX BOX FOR EMERGENCY ACCESS
- 17. 6'-0" TALL WROUGHT IRON FENCE 18. EXISTING CURB CUT TO BE REMOVED AND REPLACED WITH NEW SIDEWALK, CURB AND GUTTER PER DPM- SEE GENERAL NOTES FOR STANDARD DWG.
- 19. PLANTED PONDING AREA PER CIVIL 20. NEW CONCRETE HARDSCAPE- CROSS SLOPE MAXIMUM 2% IN ANY

Square feet/ spaces req'd IDO Notes

Table 5-5-2: DUUC-MS-PT= 1 space / DU = 1 space per unit =34

Per 208.2 ADAAG for 26-50 off street spaces one standard accessible space, and one van space required

IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater

IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater

5-5(C)(5)(c)Reduction for Proximity to Transit=

IDO, table 5-5-4: 1-25=1, 26-54= 2: required

IDO, table 5-5-2: Office in PT zone=2.5/1,000 sf.

Per 208.2 ADAAG for 1-25 off street spaces 1 van space required

IDO, table 5-5-4: 1-25=1, 26-54= 1: required

'STAPLE' STYLE BIKE RACK: 1-1/2" SQUARE $\frac{3}{16}$ " WALL PAINTED STEEL ENCASE IN 10"ø X 18" DEEP

CONCRETE PIER-

4" THICK SIDEWALK

RACK AS REQUIRED+

CORE DRILL FOR OR SET

5-5-C-6-a Electric Vehicle Charging Credit

GENERAL NOTES

- 1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
- 2. ALL NEW CURB AND GUTTER (IF REQUIRED) PER COA STANDARD DRAWINGS #2415A-TYPICAL 3. ALL NEW PUBLIC SIDEWALK (IF REQUIRED) PER COA STANDARD
- DRAWING 2430 4. NEW DRIVE (IF REQUIRED) PAD PER COA STANDARD DRAWING #2425
- 5. ÄLL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND GUTTER PER COA STANDARD DETAIL 2430 AND 2415A
- 6. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS- SIGNS WALLS TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL- MEASURED FROM GUTTER PAN WILL NOT BE ACCEPTABLE IN CLEAR SIGHT TRIANGLE

PROJECT INFORMATION

1701 CENTRAL SW. AVE.

ALBUQUERQUE, NM 87104 101305828413731108

TRACT 106 & A PORTION OF ABANDONED ALBUQUERQUE DITCH MRGCD LEGAL DESCRIPTION: MAP#38 CONT 0.3222 AC M/L, and MAP 38 TRACT 107B and 107C .

ASSOCIATED PR#: PR-2023-008387

RADIUS INFORMATION S

GROUND SURFACE LEGEND

ZONING:

 $1 \longrightarrow = 3' - 0"$ RADIUS $2 \longrightarrow = 22' - 0"RADIUS$

4 exterior, 16 interior

Provided

4 spaces provided**

3 spaces provided

2'-4"

MOTORCYCLE PARKING SIGN PER DETAIL

A5/THIS SHEET

----2'-0" ---WHEEL STOP

23.8

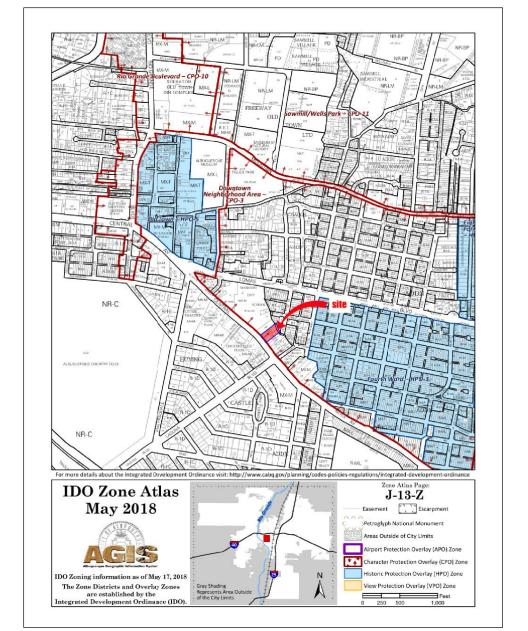
Total Req'd

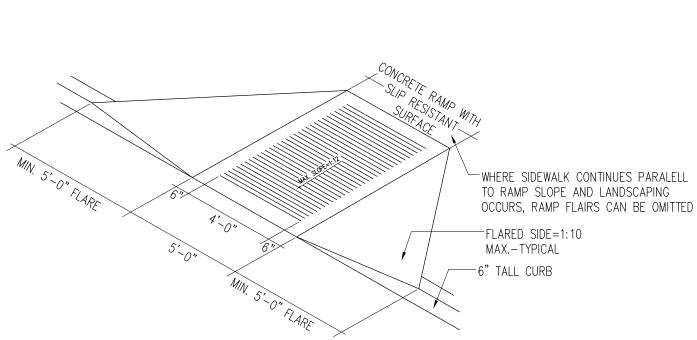
4.615

NEW CONCRETE HARDSCAPE- FINISH TO MEET DPM STANDARDS

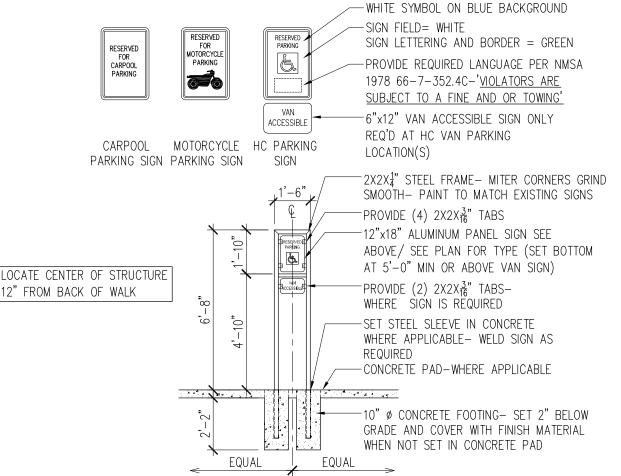
NEW LANDSCAPING

NEW ASPHALT PER GENERAL NOTES





(B4) Curb Ramp Detail



HEADER CURB SIM. COA STD. DWG. 2415B <u>SECTION</u>

- CAST IN PLACE CONCRETE LIGHT BROOM FINISH, 1/2" RADIUS AT ALL EXPOSED EDGES- PROVIDE

(2) CONT. #4 REBAR ONE TOP ONE BOTTOM

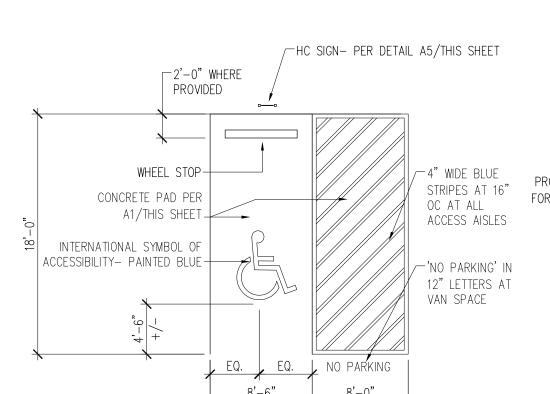
- VERIFY HEIGHT WITH PLAN

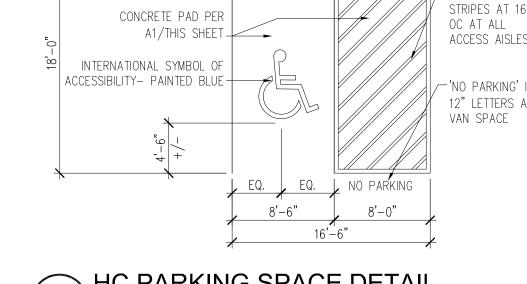
COMPACTED SUB

GRADE

New Header Curb Detail

-PARKING OR OPEN SPACE SURFACE





sidential Parking Calculations* esidential Units in MX-M, CPO-3

Commercial Parking Calculations**

Total Commercial Parking Required

*Residential parking provided on site

see sheet TCL2 for plan and calculations Per IDO 5-5-1-c Numbers are rounded down

at 1700 Central Ave. SW per IDO IDO 5-5-F-1-b

** Commecial Parking provided through shared parking agreement

PARKING FOR NON-RESIDENTIAL PARKING IN MIXED USE ZONES-

Commercial Office Space in MX-M, CPO-3

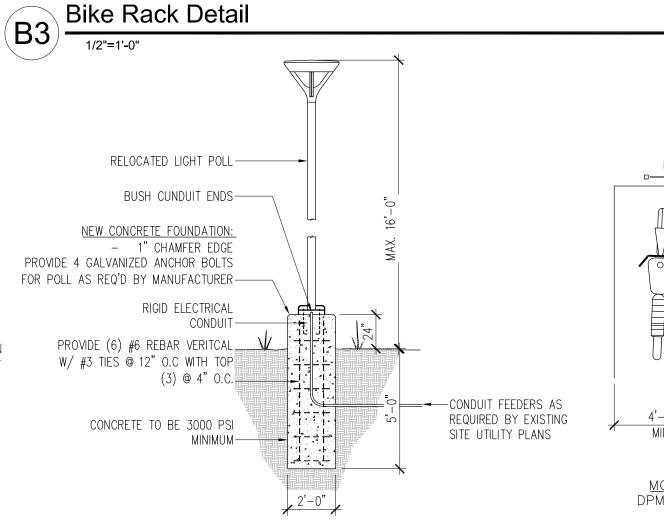
Total Residential Required Accessible Spaces (HC)

Accessible Spaces (HC)

/lotorCycle

MotorCycle

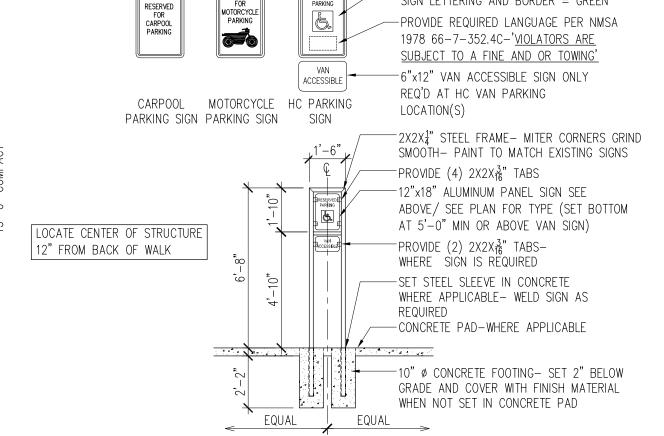
MIN. 1% SLOPE



GRAVEL LEVELING BED



<u>PLAN</u>



MIN. 8'-6" STD. 7'-6" COMPACT New Post Sign Detail 1/4"=1'-0" CENTER IN PARKING SPACE

George SENTRAL AVE., QUERQUE, NM The 1701 C ALBUC Architect Stamp: KENNETH MYERS 08/04/2023

O

4

(1)

Ø

1

urban design + development

1716 Central SW, Suite A Albuquerque, NM 87104 t: 505-243-0188 CCP- THE GEORGE

Drawn By: KMA Checked By: KMA hase: PERMITTING Date: 08/04/2023 Project Number: 2204 SITE PLAN-DETAILS AND LAYOUT

THICKENED SLAB W/ (2) CONT. #4

NEW PARKING LOT AREA

REBAR AT PERIMETER- TOOLED

RADIUS AT EDGE- 4" SLAB W/

MED. BROOM FINISH— SLOPE TO DRAIN AWAY FROM STRUCTURE—

New Sidewalk Detail

PREPARED SUBSOIL-

CENTRAL AVE.

SEE PLAN

HC SIGN PER DETAIL

NEW FLATWORK PER

1" EXPANSION JOINT MATERIAL —

SLOPE PAD AWAY FROM CONSTRUCTION

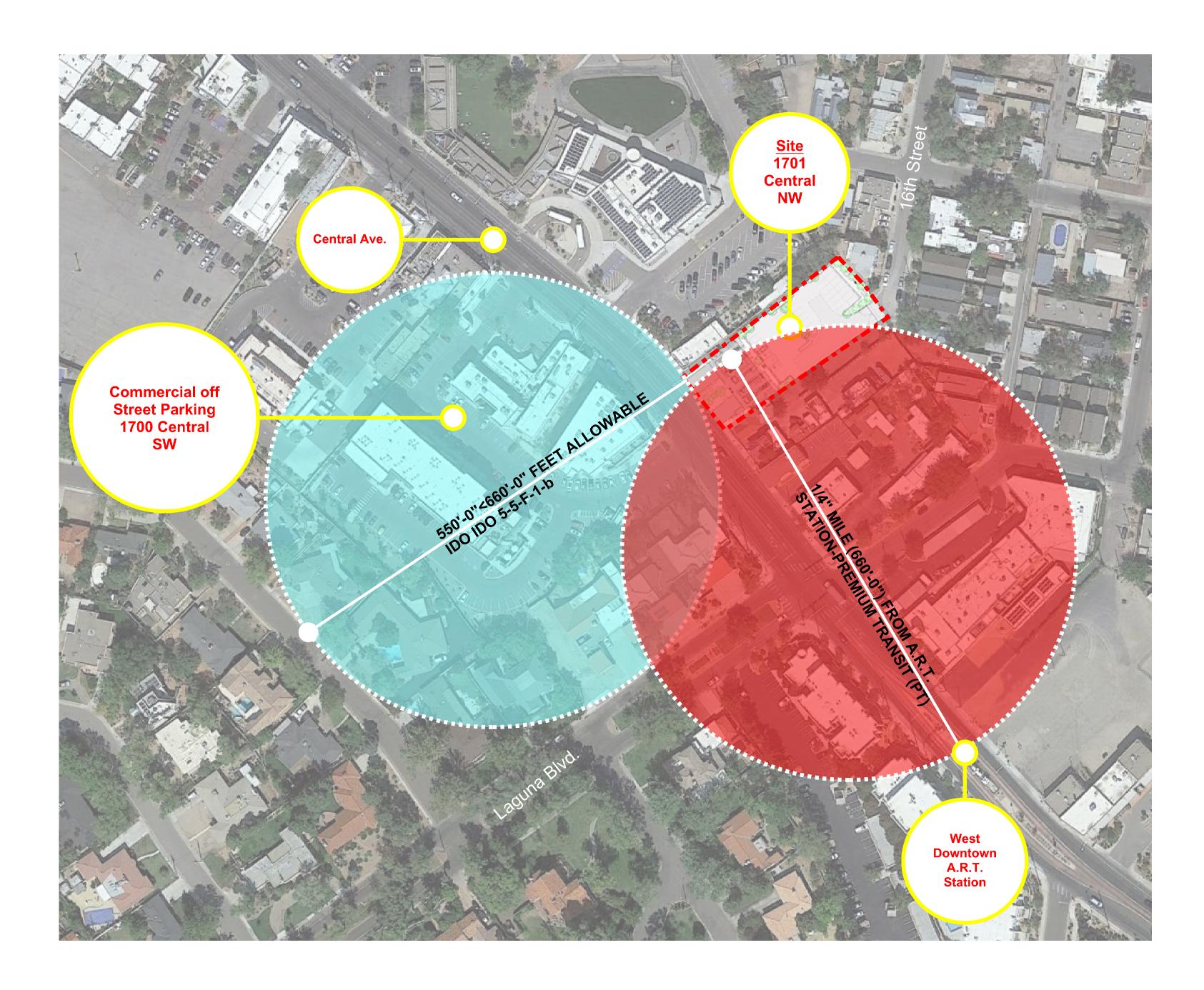
A5/THIS SHEET-

GENERAL NOTES-

NEW CURB AND GUTTER-

PARKING BLOCK—

TRAFFIC CONTROL LAYOUT PLAN



Shared Parking Calculations	Spaces
Total spaces @ 1700 Central Ave. SW	159
Total Spaces Required for use @ 1700 Central	82
Total Spaces available for shared parking @ 1700 Central	77
Total Spaces Required for 1701 Central Commercial space	4

Notes:

*Residential parking provided on site

** Commecial Parking provided through shared parking agreement

at 1700 Central Ave. SW per IDO IDO 5-5-F-1-b

PARKING FOR NON-RESIDENTIAL PARKING IN MIXED USE ZONES-

see sheet TCL2 for plan and calculations

Per IDO 5-5-1-c Numbers are rounded down

The George | 34 Unit Apartment Building 1701 CENTRAL AVE., NW

KENNETH MYERS No.005751 08/04/2023

REMBE

urban design + development 1716 Central SW, Suite A Albuquerque, NM 87104 t: 505-243-0188

Project: CCP- THE GEORGE
Drawn By: KMA

Phase: PERMITTING
Date: 08/04/2023
Project Number: 2204

PARKING CALCULATION DIAGRAM

DIAGRA

