

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 16, 2025

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 705 14<sup>th</sup> Street NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 5/11/25**  
**Hydrology File: J13D225**  
**Case # HYDR-2025-00166**

Dear Mr. Soule:

Based upon the information provided in your submittal received 5/12/2025, the Grading plan is **approved** for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E., CFM  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



Weighted E Method												
Basin	Area (sf)	Area (acres)	Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	100-Year, 6-hr.			100 yr 24-HOUR		
							Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
existing	3590.00	0.082	0%	34%	0.028	40%	0.033	36%	0.030	1.523	0.010	0.30
PROPOSED	3590.00	0.082	0%	21%	0.017	22%	0.018	57%	0.047	1.723	0.012	0.30

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

First flush requirement

58 cubic feet

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm(zone2)

Ea= 0.62  
Eb= 0.8  
Ec= 1.03  
Ed= 2.33

Qa= 1.41  
Qb= 2.36  
Qc= 3.05  
Qd= 4.34

Developed Conditions

TOTAL VOLUME

HISTORICAL DISCHARGE

PROPOSED GENERATION

VOLUME INCREASE

PROPOSED PONDING

This site is a redevelopment of a previously developed lot. The existing house was demolished at some point in the past (1959 areal on GIS shows).There is no maste drainage plan for this area, all lots currently free discharge. The drainage solution is to retain the increase in flow generated by the redevelopment based upon the 24-volumes. The ponds will overflow to the street in the event of a storm exceeding the 100-year event. The first flush volume is retained on site.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

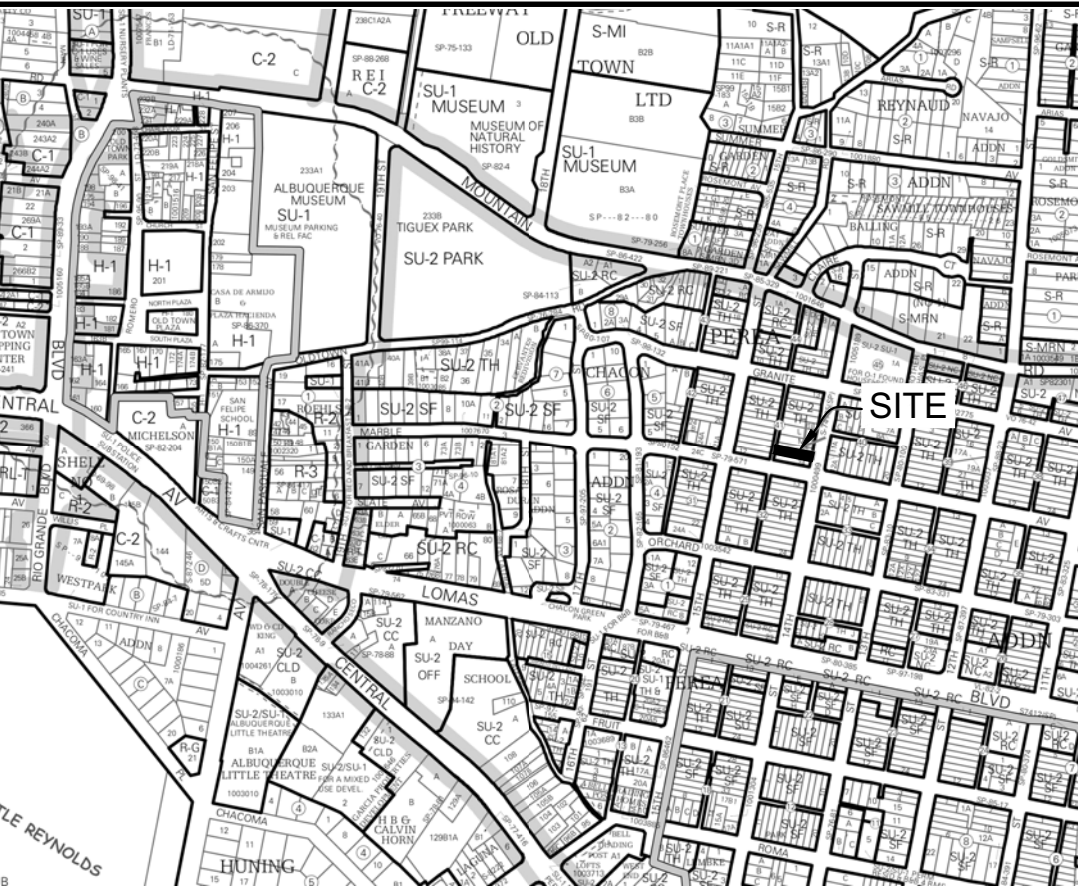
City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION  
**APPROVED**

DATE: 5/16/2025

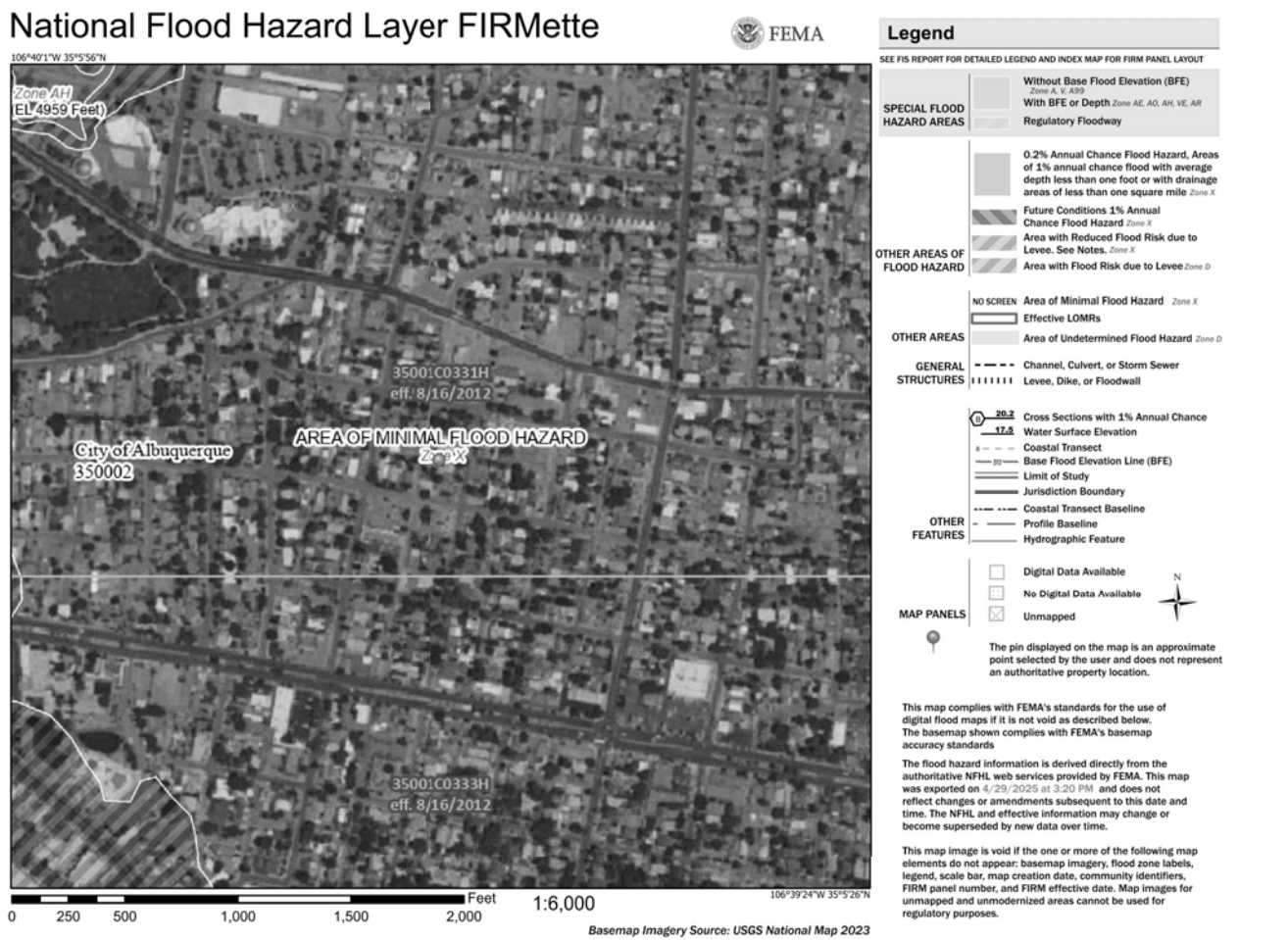
BY: *Carter Alvarado*

HydroTrans # J13D225

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE. IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



VICINITY MAP: J-13-Z



FIRM MAP:

LEGAL DESCRIPTION:

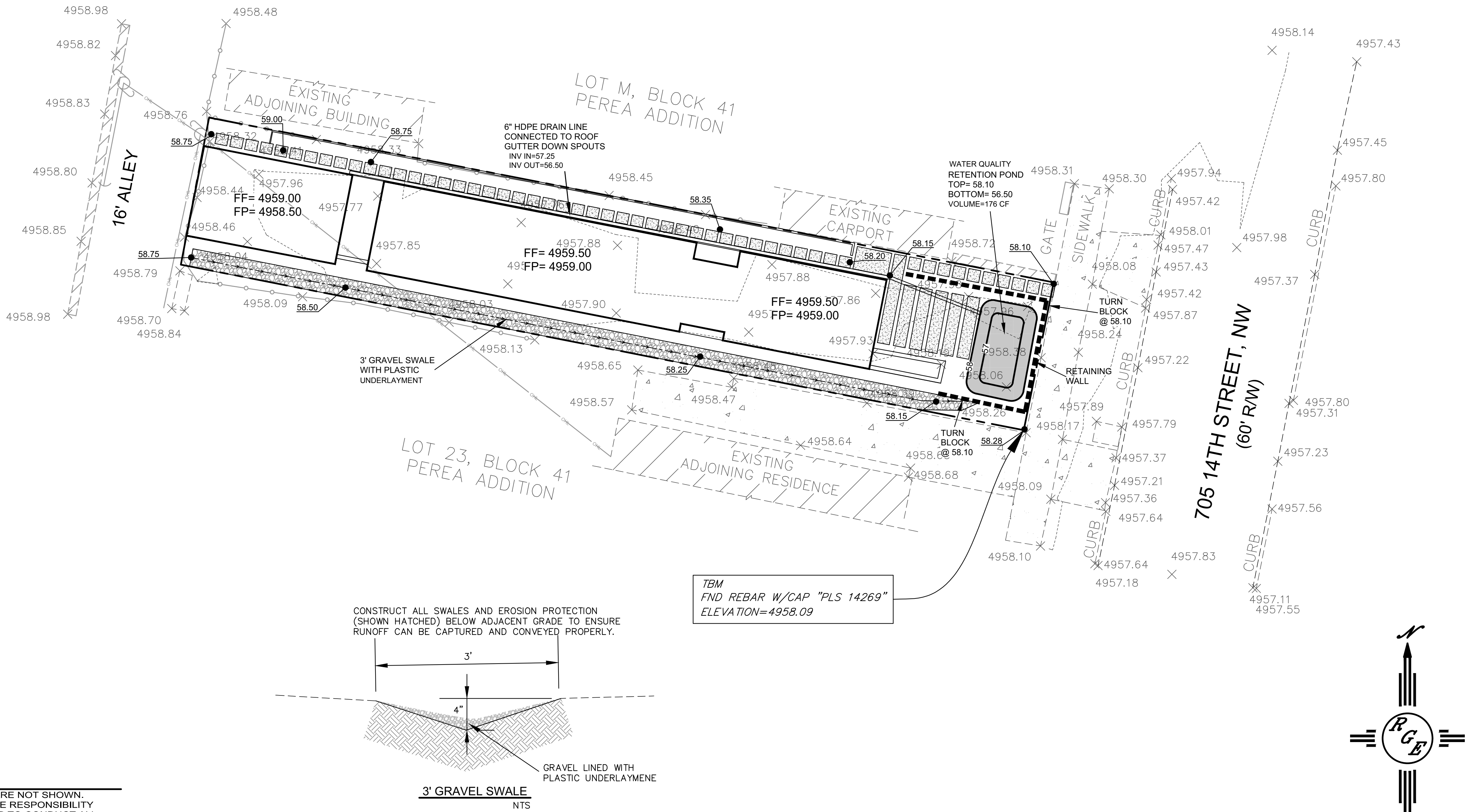
LOT 22, BLOCK 41 PEREA ADDITION  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. LONG TERM MAINTAINANCE OF ALL PONDS, SWALES AND OVERFLOWS IS REQUIRED
6. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

- XXXX ----- EXISTING CONTOUR
- XXXX ----- EXISTING INDEX CONTOUR
- XXXX ----- PROPOSED CONTOUR
- XXXX ----- PROPOSED INDEX CONTOUR
- + XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED RETAINING WALL
- ===== PROPOSED GRAVEL
- ===== PROPOSED CONCRETE
- ===== PROPOSED PONDING



CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.