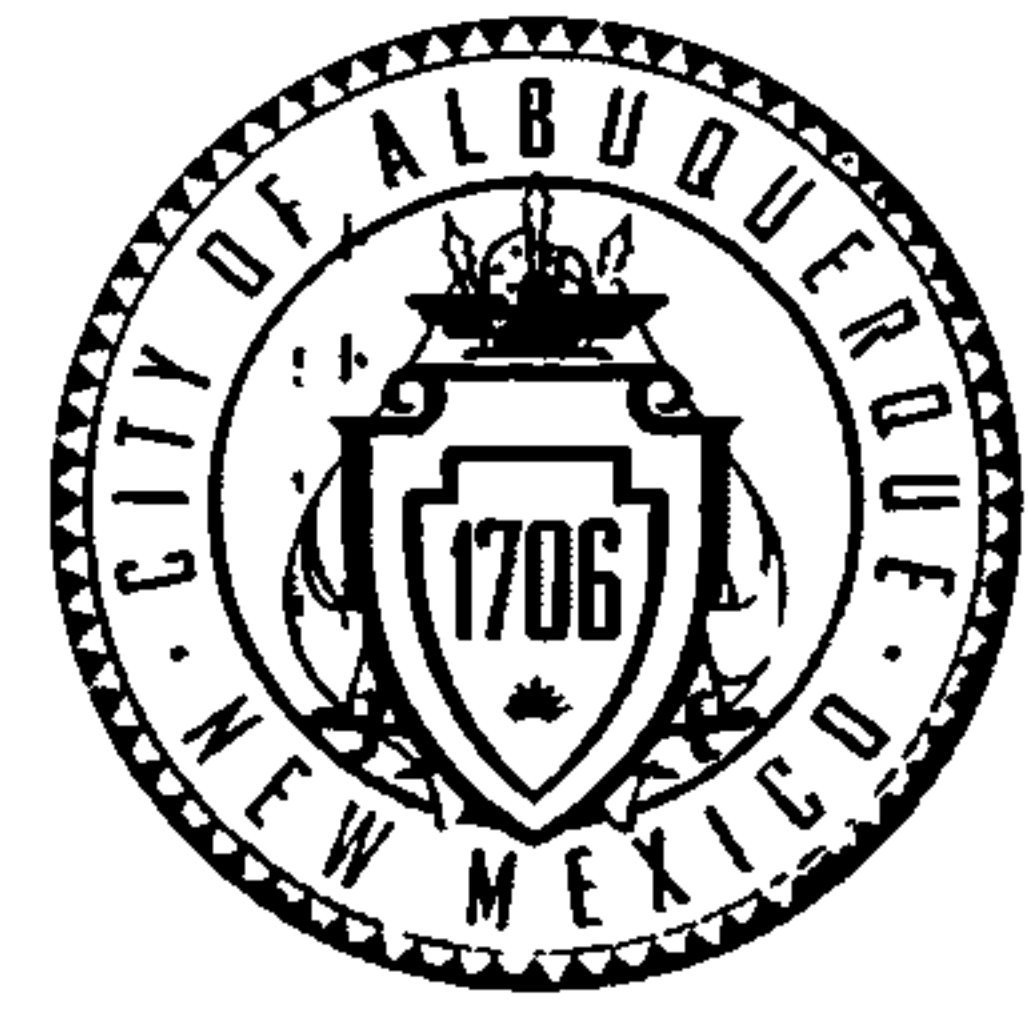


# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



May 16, 2014

Richard J. Berry, Mayor

Genevieve Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, New Mexico 87108

RE: **614 First Street Parking Lot Improvements** File: **J14-D016**  
Grading & Drainage Plan for Grading and Paving Permit, and SO-19  
PE Stamp: **5-1-2014**

Dear Ms Donart:

Based upon the information provided in your submittal received 5/5/14, the subject Grading and Drainage Plan is approved for Grading Permit, Paving Permit, and SO-19.

A separate Excavation/Barricading Permit is required for the SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the permit. The private storm drain work in the City ROW must be inspected and approved by Storm Drain Maintenance. Please contact Jason Rodriguez, 857-8074, to schedule an inspection.

Following completion of the work, please provide an Engineer's Certification of Grading of the site to the Hydrology Section.

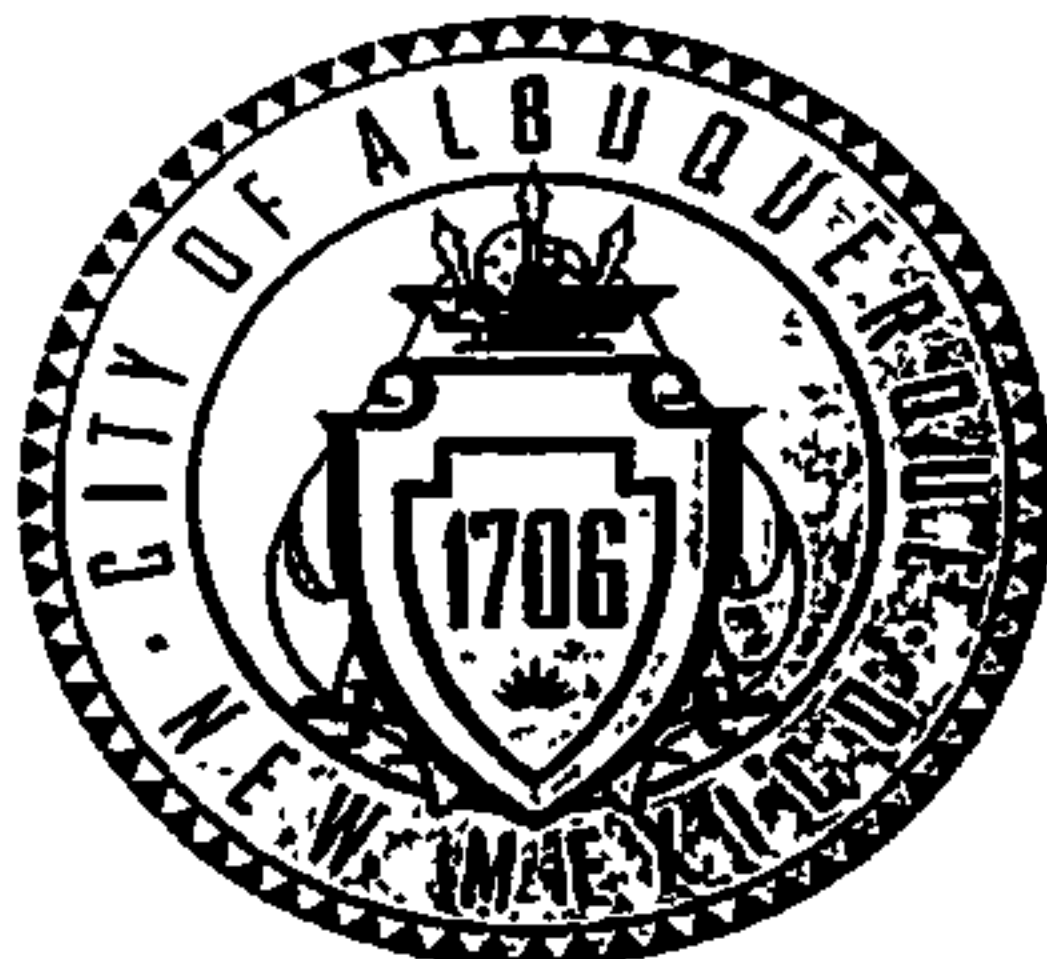
Hydrology is asking for an electronic copy of this signed plan in .pdf format, for our records. This plan can be e-mailed to Tim Sims at: TSims@cabq.gov.

If you have questions, please email me or telephone 505-924-3994.

Sincerely,

Gregory R. Olson, P.E.  
Senior Engineer  
Development and Building Services

Orig: Drainage file: **J14/D016**  
c.pdf Addressee via Email GennyD@IAcivil.com  
eCopy: Antoinette Baldonado, Excavation and Barricading, ABaldonado@cabq.gov  
Jason Rodriguez, Street/Storm Drain Maintenance, JTRodriguez@cabq.gov



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 614 1st Street Parking Lot Improvements Building Permit #: \_\_\_\_\_ City Drainage #: 514D016

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lots 1-5 & 20-24

City Address: 612 First Street NW

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman, PE

Address: 128 Monroe Street, NE - Albuquerque, NM 87120

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: Park It Place c/o Moses Dunn Law Firm Contact: Joe Wertz

Address: 612 1st Street NW, ABQ, NM 87102

Phone#: (505) 843-9440 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: N/A Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Aldrich Land Surveying Contact: Tim Aldrich

Address: P.O. Box 30701

Phone#: (505) 884-1990 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: TBD Contact: \_\_\_\_\_

Address: \_\_\_\_\_

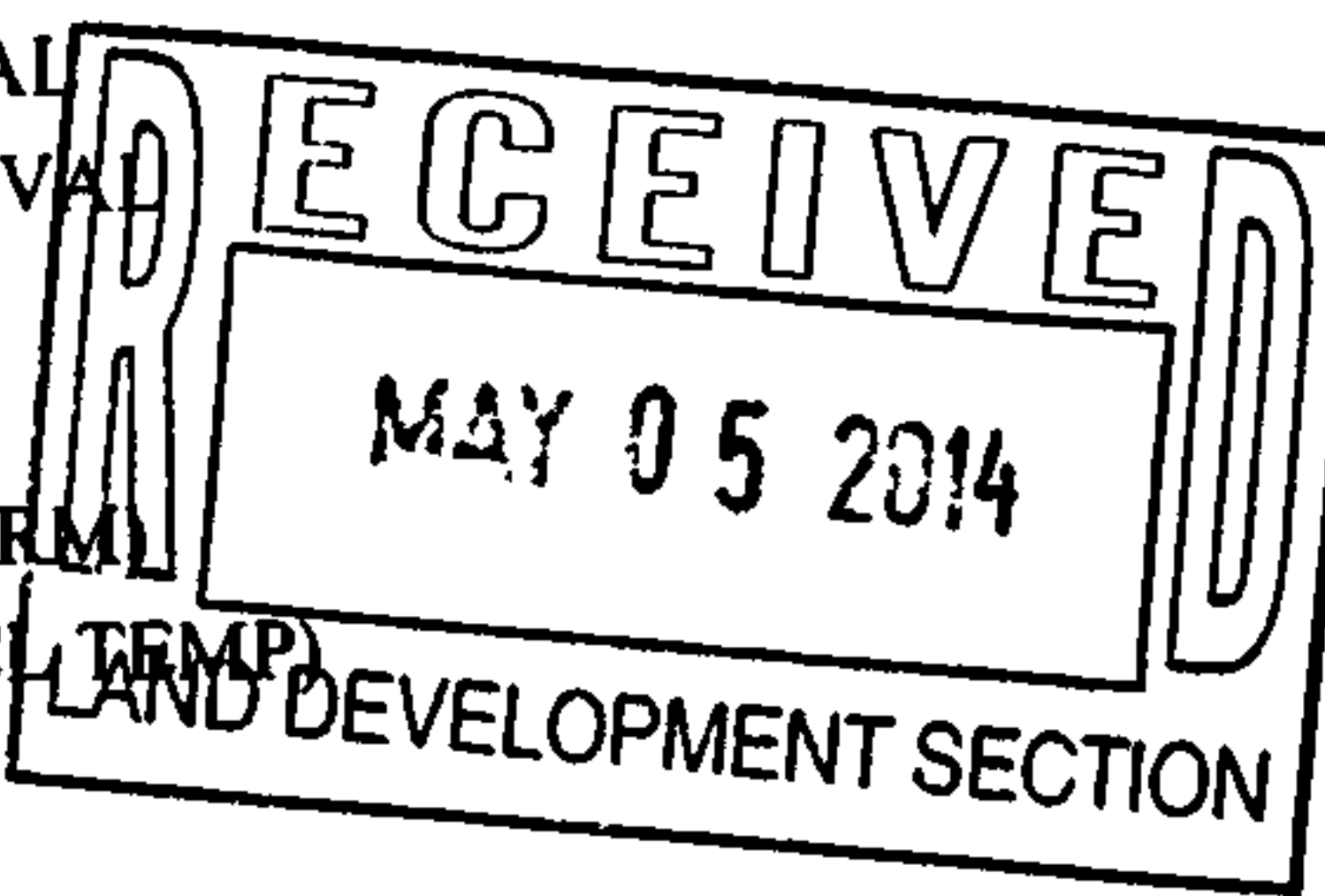
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM)
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- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 5/1/14 GLD By: Genevieve Donart, PE For: Isaacson & Arfman, PA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

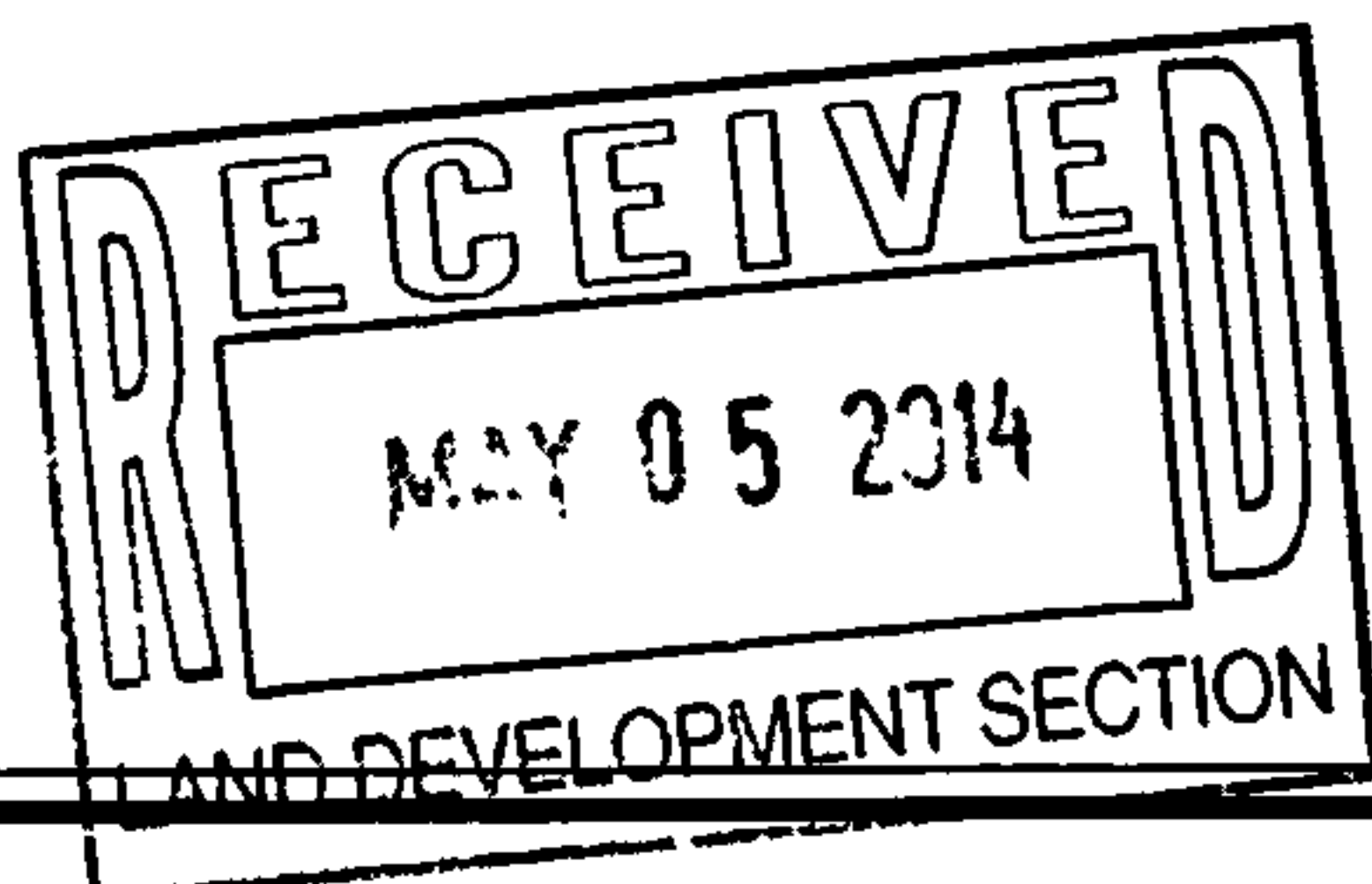
MAY 1, 2014

## SUPPLEMENTAL INFORMATION

FOR

614 1<sup>st</sup> Street Parking Lot Improvements

BY



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<b>CALCULATIONS: 614 1st. Street Parking Lot : 3/12/2014</b>
<b>HYDROGRAPH FOR SMALL WATERSHED</b>
<b>DPM SECTION 22-2 * PAGE A-13/14</b>

Base time,  $t_B$ , for a small watershed hydrograph is,

$t_B = (2.107 * E * A / Q_P) - (0.25 * A_D / A)$

Where

E	=	2.07 inches
A	=	0.32 acres
A <sub>D</sub>	=	0.36 acres
Q <sub>P</sub>	=	1.7 cfs

$t_B$	=	0.55 hours
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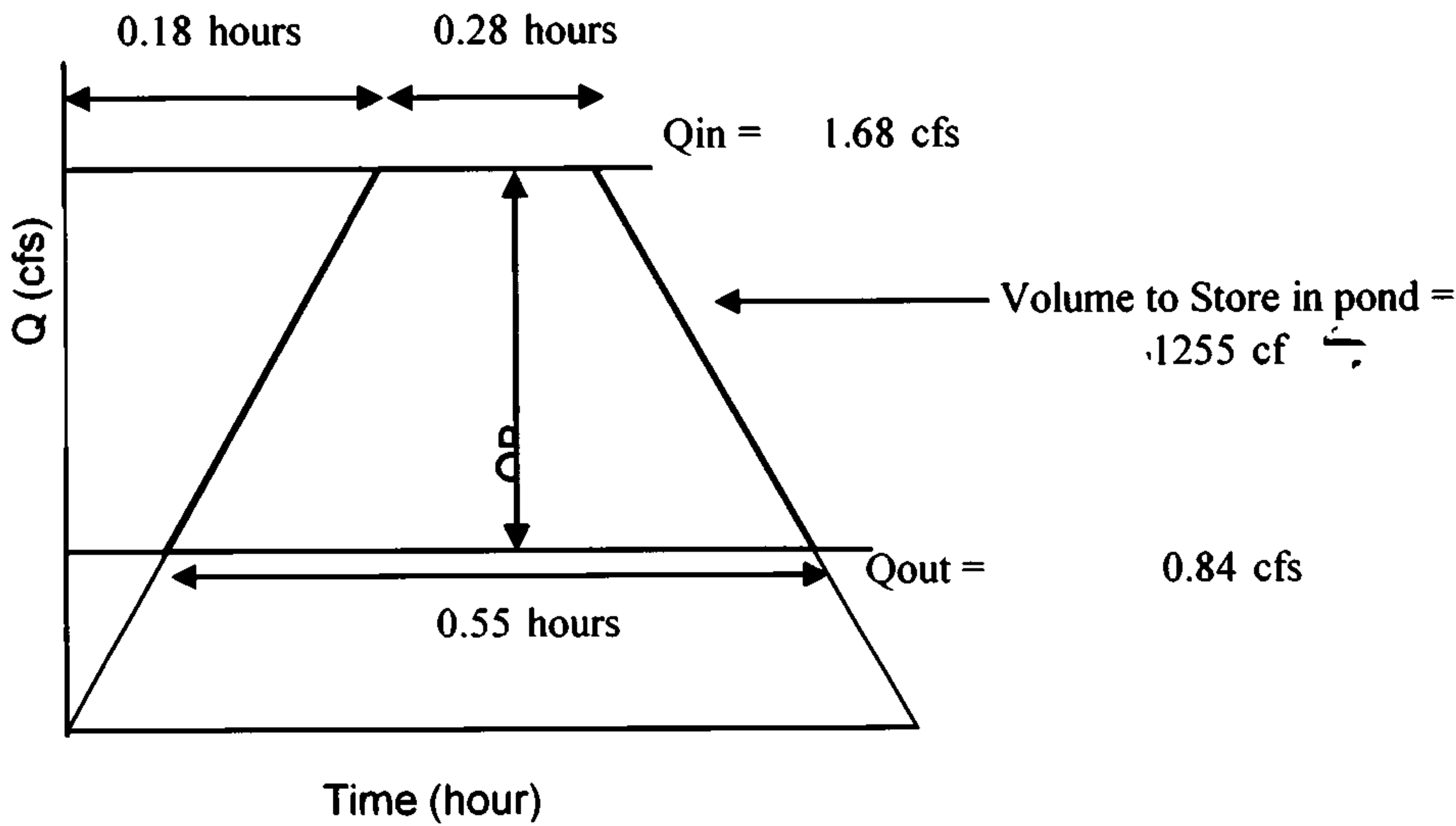
E is the excess precipitation in inches (from DPM TABLE A-8),  $Q_P$  is the peak flow,  $A_D$  is the area (acres) of treatment D, and  $A_T$  is the total area in acres. Using the time of concentration,  $t_C$  (hours), the time to peak in hours is:

$t_p = (0.7 * t_C) + ((1.6 - (A_D / A)) / 12)$

Where  $t_C$  = 0.20 hours

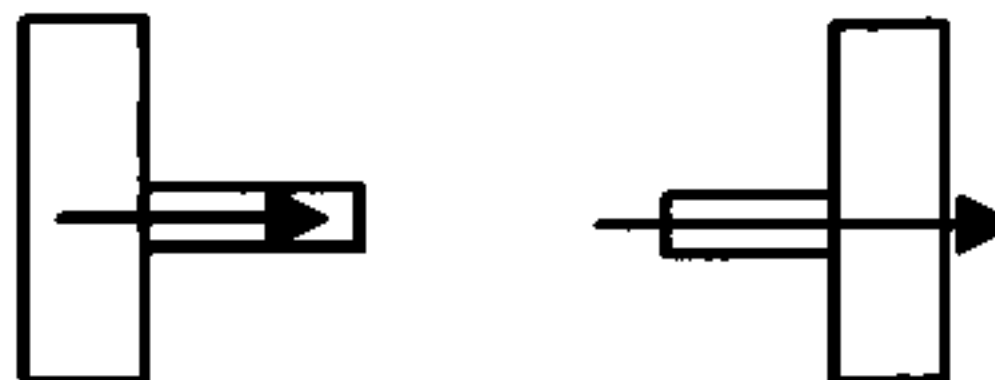
$t_p$  = 0.18 hours

Continue the peak for  $0.25 * A_D / A_T$  hours. When  $A_D$  is zero, the hydrograph will be triangular. When  $A_D$  is not zero, the hydrograph will be trapezoidal. see the graph below:



INFLOW / OUTFLOW HYDROGRAPH

# 18" WIDE SIDEWALK CULVERT - INLET CONTROLLED

ORIFICE EQUATION - RECTANGULAR						
Rectangular Area	48 sq.in.		0.33 sq.ft.			
Width	8 in		0.67 ft			
Height	6 in		0.50 ft			
Headwater Elevation	0.55 feet		0.30		Actual H to centerline of culvert	
C	0.61		C values	Rounded	Sharp	Tube Out
g	32.2 f/s^2			0.98	0.61	0.80
						
$Q = C \cdot A \cdot ((2 \cdot g \cdot H)^{0.5})$						
= 0.89 cfs for 0.33 sq.ft. orifice						



**CALCULATIONS: 614 1st. Street Parking Lot : 3/12/2014**

**HYDROGRAPH FOR SMALL WATERSHED**

**DPM SECTION 22-2 \* PAGE A-13/14**

Base time,  $t_B$ , for a small watershed hydrograph is,

$$t_B = (2.107 * E * A / Q_p) - (0.25 * A_D / A)$$

Where

E	=	2.07 inches	Basin 1
A	=	0.36 acres	
$A_D$	=	0.32 acres	
$Q_p$	=	1.5 cfs	

$$t_B = 0.81 \text{ hours}$$

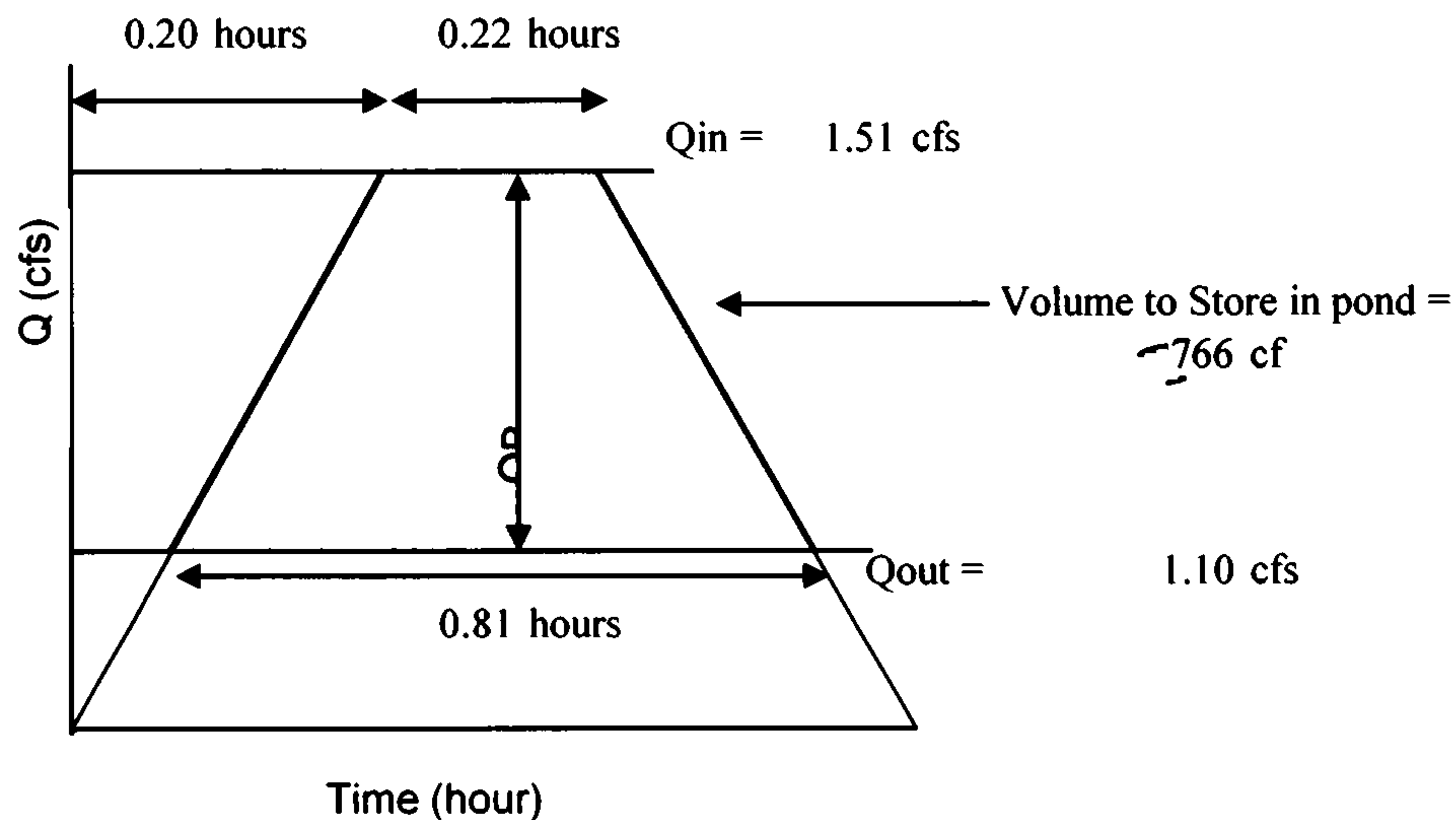
E is the excess precipitation in inches (from DPM TABLE A-8),  $Q_p$  is the peak flow,  $A_D$  is the area (acres) of treatment D, and  $A_T$  is the total area in acres. Using the time of concentration,  $t_C$  (hours), the time to peak in hours is:

$$t_p = (0.7 * t_C) + ((1.6 - (A_D / A)) / 12)$$

$$\text{Where } t_C = 0.20 \text{ hours}$$

$$t_p = 0.20 \text{ hours}$$

Continue the peak for  $0.25 * A_D / A_T$  hours. When  $A_D$  is zero, the hydrograph will be triangular. When  $A_D$  is not zero, the hydrograph will be trapezoidal. see the graph below:

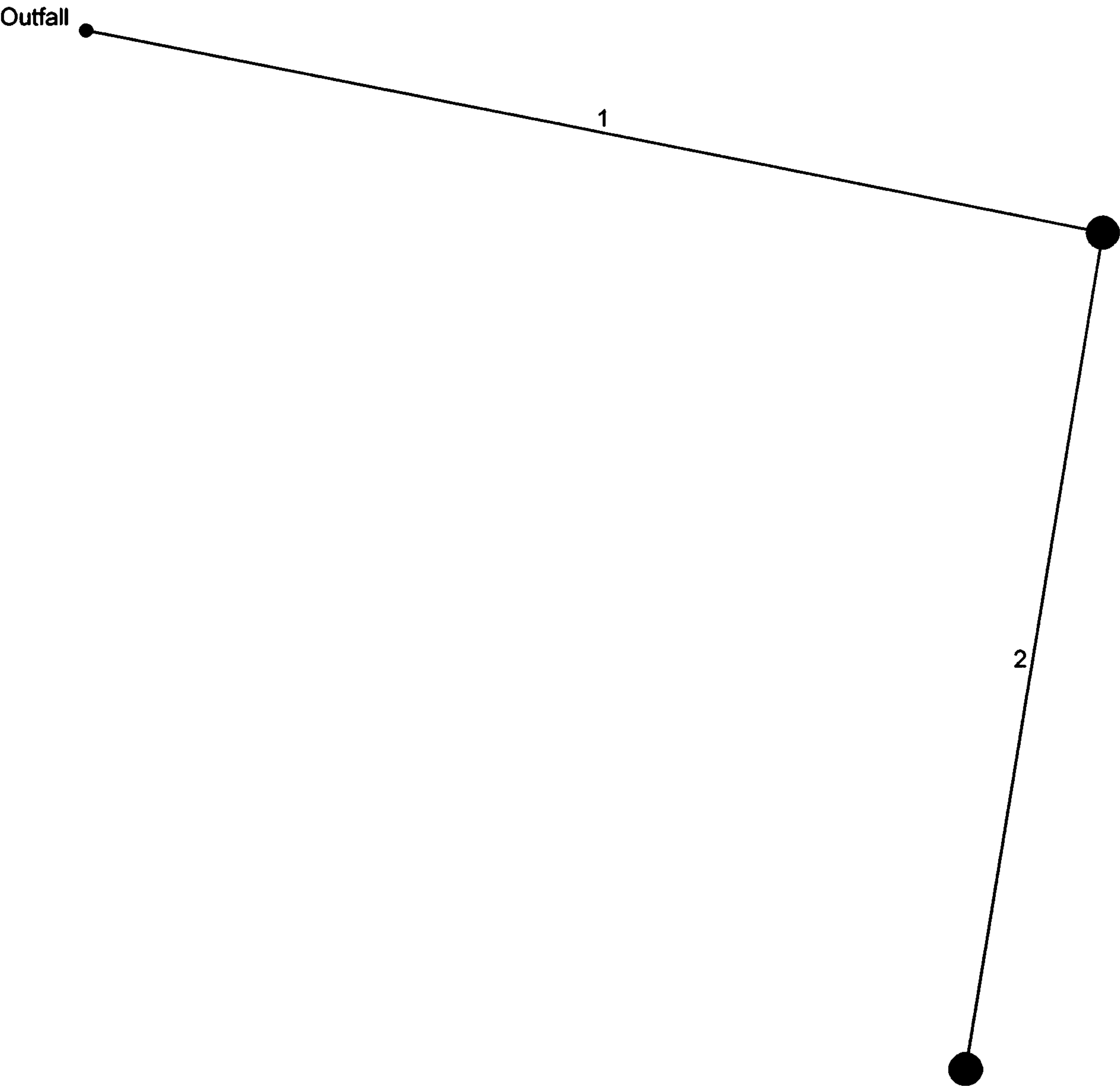


**INFLOW / OUTFLOW HYDROGRAPH**

# Storm Sewer Summary Report

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Junction Type
1		1.10	8	Cir	131.104	54.50	54.95	0.343	55.17*	56.09*	0.15	56.25	End	Manhole
2		0.55	6	Cir	107.601	54.95	55.30	0.325	56.25*	57.13*	0.12	57.25	1	Manhole
Project File: 1965 SD.stm									Number of lines 2			Run Date: 5/1/2014		
NOTES Return period = 100 Yrs. , *Surcharged (HGL above crown).														

Hydraflow Storm Sewers Extension for Autodesk® AutoCAD® Civil 3D® Plan





Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (I) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
1	End	131.104	0.00	0.00	0.00	0.00	0.00	0.0	0.6	0.0	1.10	0.77	3.15	8	0.34	54.50	54.95	55.17	56.09	56.40	57.20	
2	1	107.601	0.00	0.00	0.00	0.00	0.00	0.0	0.0	0.0	0.55	0.35	2.80	6	0.33	54.95	55.30	56.25	57.13	57.20	57.20	
Project File: 1965 SD.stm																Number of lines: 2				Run Date: 5/1/2014		NOTES Intensity = 127.16 / (Inlet time + 17.80) ^ 0.82 , Return period =Yrs 100 , c = cir e = ellip b = box

**Olson, Greg**

---

**From:** Olson, Greg  
**Sent:** Tuesday, April 29, 2014 4:53 PM  
**To:** 'Genny Donart'  
**Cc:** Olson, Greg; 'Bryan Bobrick'  
**Subject:** J14-D016 614 First Street Parking Lot - 4/24/14 seal

Hi, Genny,

In response to your phone message, we would prefer to see the 8" wide sidewalk culvert. Curtis noted that the plan should VERY CLEARLY STATE that it needs to be only 8" wide, or they will automatically build 12" in the field.

Does the ADS pipe need to go up to 8" to balance the east pond flows?

My only other notes are at the NW entrance:

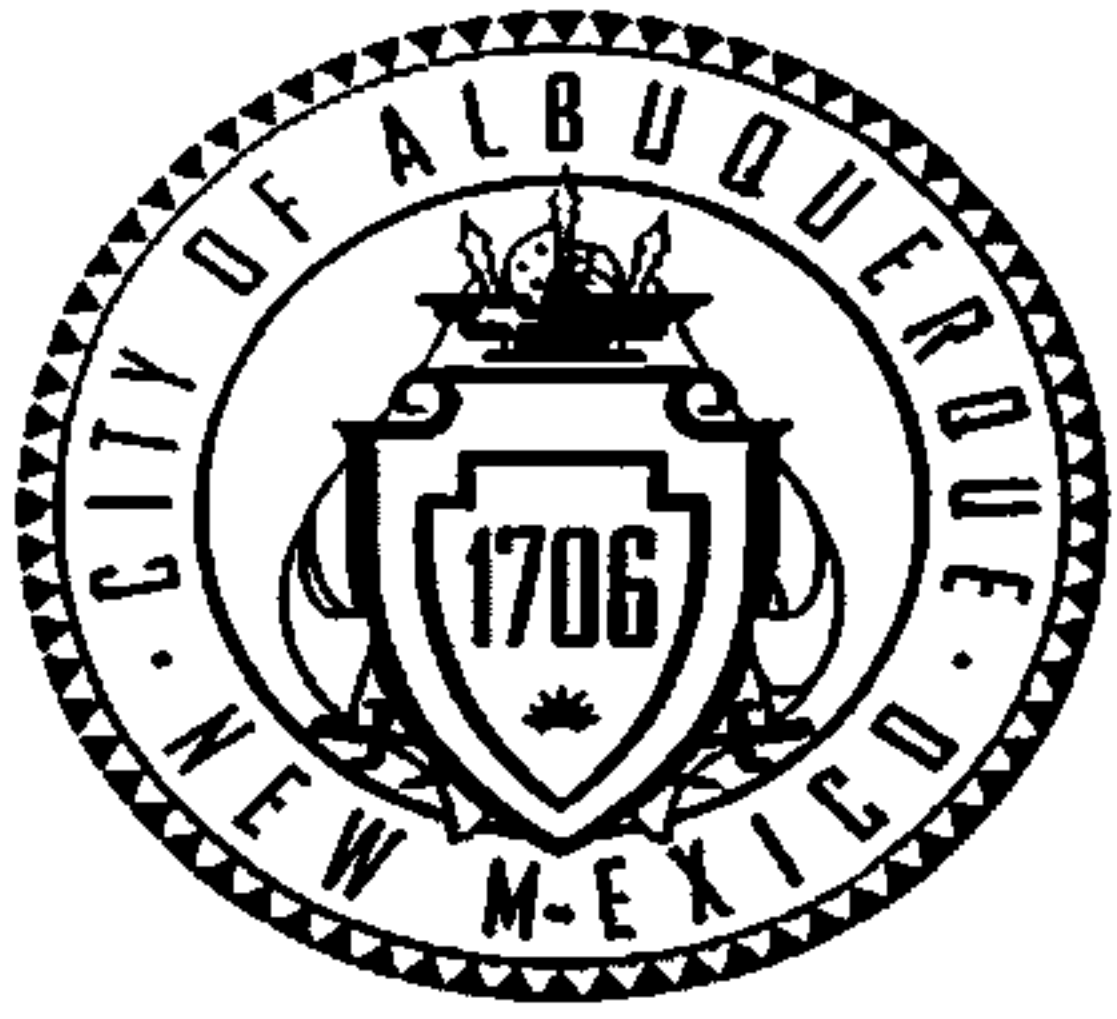
1. Remove Key Note 5 from the existing inlet, and
2. Show the existing line from the existing (N) inlet to the manhole in First Street

I'll be out all day Thurs. & Fri. AM for the APWA Spring Conference.  
If you can get this back to me early on Wed., I'll get it out ASAP.

Thanks,

*Greg Olson, PE*  
Senior Engineer  
Planning - Hydrology  
505-924-3994

4/29/2014



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 614 1st Street Parking Lot Improvements Building Permit #: \_\_\_\_\_ City Drainage #: J14/D006

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lots 1-5 & 20-24

City Address: 612 First Street NW

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman, PE

Address: 128 Monroe Street, NE - Albuquerque, NM 87120

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: Park It Place c/o Moses Dunn Law Firm Contact: Joe Wertz

Address: 612 1st Street NW, ABQ, NM 87102

Phone#: (505) 843-9440 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: N/A Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Aldrich Land Surveying Contact: Tim Aldrich

Address: P.O. Box 30701

Phone#: (505) 884-1990 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: TBD Contact: \_\_\_\_\_

Address: \_\_\_\_\_

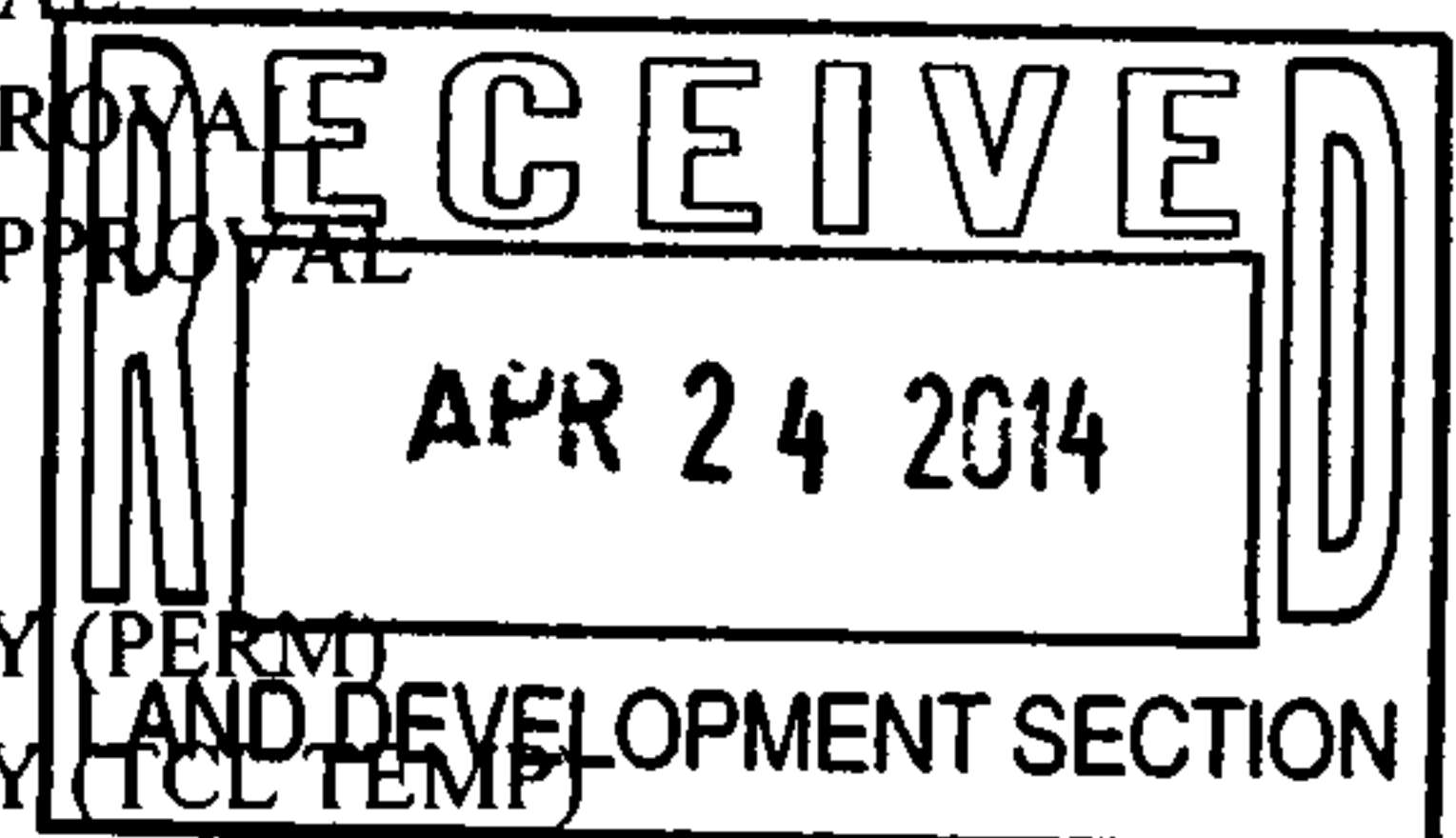
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
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- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: April 24, 2014 By: Genevieve Donart, PE For: Isaacson & Arfman, PA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 11, 2014

Richard J. Berry, Mayor

Genevieve Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, New Mexico 87108

RE: **614 First Street Parking Lot Improvements**  
Grading & Drainage Plan for Grading and Paving Permit, and SO-19

PE Stamp: 4-2-2014

Dear Ms Donart:

Based upon the information provided in your submittal received 4/2/14, the subject Grading and Drainage Plan cannot be approved for Grading or Paving Permit, or SO-19.

Please address the following items for approval:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Show on the plan the location (known or believed) for the existing storm drain lines in First Street, the particularly the proposed outfall for the east middle pond.
2. Dimension the expected location of the existing 8" DI pipe at NW entrance.
3. Build note 5 should be removed from the existing inlet on the north side of the NW entrance.
4. Build Notes 8 & 9 are reversed on the plan at the SW entrance.
5. Extend the sidewalk culvert 2' beyond back of sidewalk, and add the note to weld the bolts to the plate.
6. Site calculations assume detention in the onsite ponds. Provide calculations and the necessary restriction details to demonstrate that the two ponds only discharge 1.96 cfs, or about 0.98 cfs each.

*0.4 from east pond, but  
1.2 from west pond is too high*

If you have questions, please email me or telephone 505-924-3994.

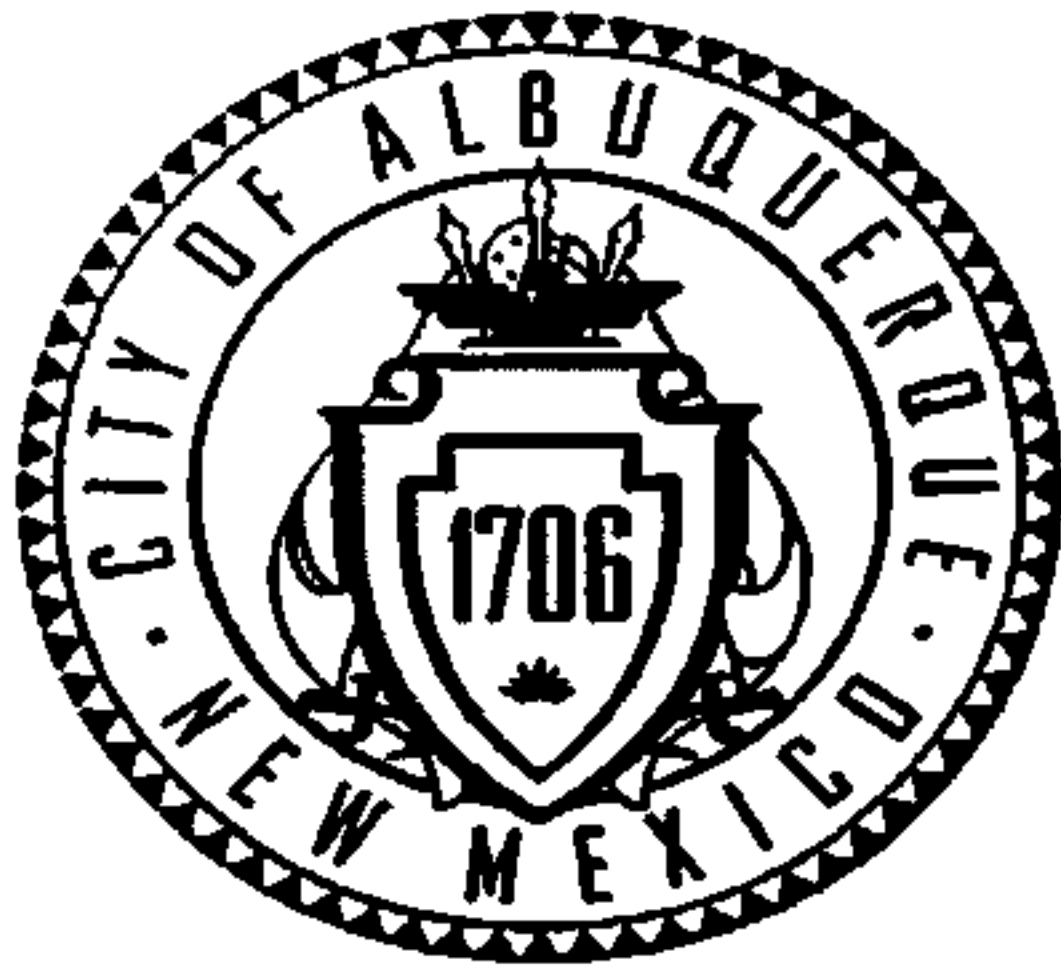
Sincerely,

*Gregory R. Olson 4/11/14*

Gregory R. Olson, P.E.  
Senior Engineer  
Development and Building Services

Orig: Drainage file: **J14/D016**  
c.pdf Addressee via Email [GennyD@IAcivil.com](mailto:GennyD@IAcivil.com)





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

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Project Title: 614 1st Street Parking Lot Improvements Building Permit #: \_\_\_\_\_ City Drainage #: J14/D006

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lots 1-5 & 20-24

City Address: 612 First Street NW

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman, PE

Address: 128 Monroe Street, NE - Albuquerque, NM 87120

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: Park It Place c/o Moses Dunn Law Firm Contact: Joe Wertz

Address: 612 1st Street NW, ABQ, NM 87102

Phone#: (505) 843-9440 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: N/A Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Aldrich Land Surveying Contact: Tim Aldrich

Address: P.O. Box 30701

Phone#: (505) 884-1990 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: TBD Contact: \_\_\_\_\_

Address: \_\_\_\_\_

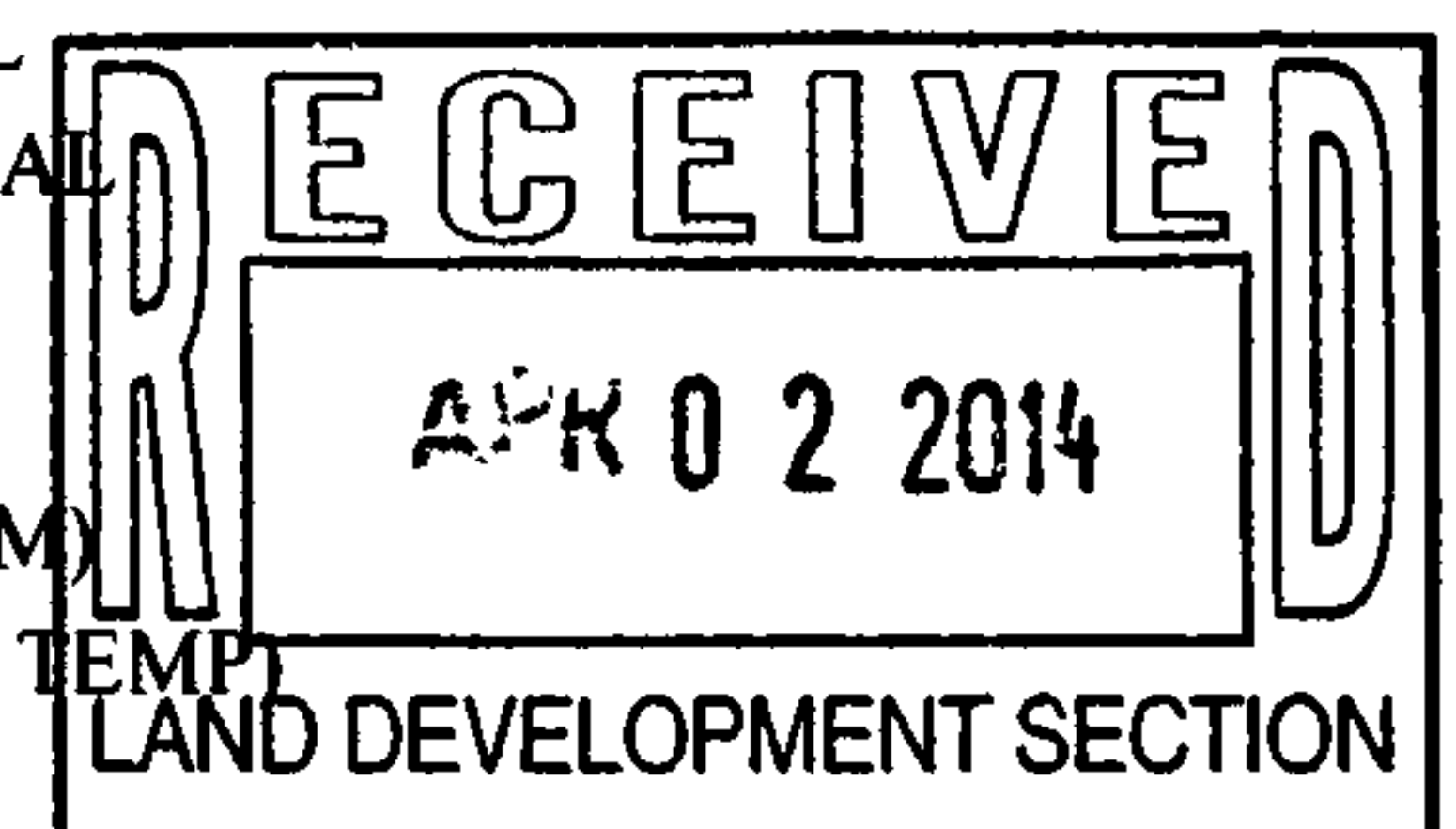
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- ☒ DRAINAGE PLAN RESUBMITTAL
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- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
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- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: April 2, 2014 By: Genevieve Donart, PE For: Isaacson & Arfman, PA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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**Olson, Greg**

---

**From:** Olson, Greg  
**Sent:** Tuesday, March 11, 2014 4:55 PM  
**To:** 'Fred Arfman'  
**Cc:** 'Bryan Bobrick'; Olson, Greg  
**Subject:** J14D016 - 614 First Street Parking Lot G&D for Grading and Paving  
**Attachments:** J14D016-612\_1stSt-Grading\_Plan-1982.pdf; J14-D016 001.pdf; J14-D016 002.pdf; J14-D016 003.pdf; J14-D016 004.pdf; J14-D016 005.pdf

Fred,

As noted, the plan received on 2/14/2014 has a stamp date of 10/23/2013.  
 Per our discussion, I cannot approve the current submittal for the following reasons/questions.

1. This plan shows 50% treatment C, which may be applicable if the lot is to remain "Gravel Surfacing," however, if the owner is considering later installing an impervious surface, it would be prudent to size the ponds for that condition.
2. What runoff drains to the eastern pond?
3. The center pond is used to calculate detention at the 2.75 cfs rate. What is the release rate assumed through the gravel trench drain?
4. The broken sidewalk and driveways on First Street should be removed and replaced to current city standards.
5. Provide documentation of access and drainage easement rights on the north side of vacated Fruit St R/W.
6. Provide documentation of owner concurrence with the construction on the north side of vacate Fruit St. which is not part of this site.
7. Regarding the existing inlet being moved to First St R/W, Curtis is in agreement that this work may be done with as part of an S.O.-19, however, this plan will need to provide more detail of where the R/W line is located and how the type "D" inlet will be reconstructed without impacting site runoff and ADA access along First St. The proposed location will conflict with ADA access the north.
8. An alternate notion is the possibility of the old 8" drain to the ESE return of First and Fruit still being available to drain the site to the MH in First St.
9. See attached copy of Tom Isaacson's Grading Plan/Survey from 1982.
10. Clearly label the site property line.

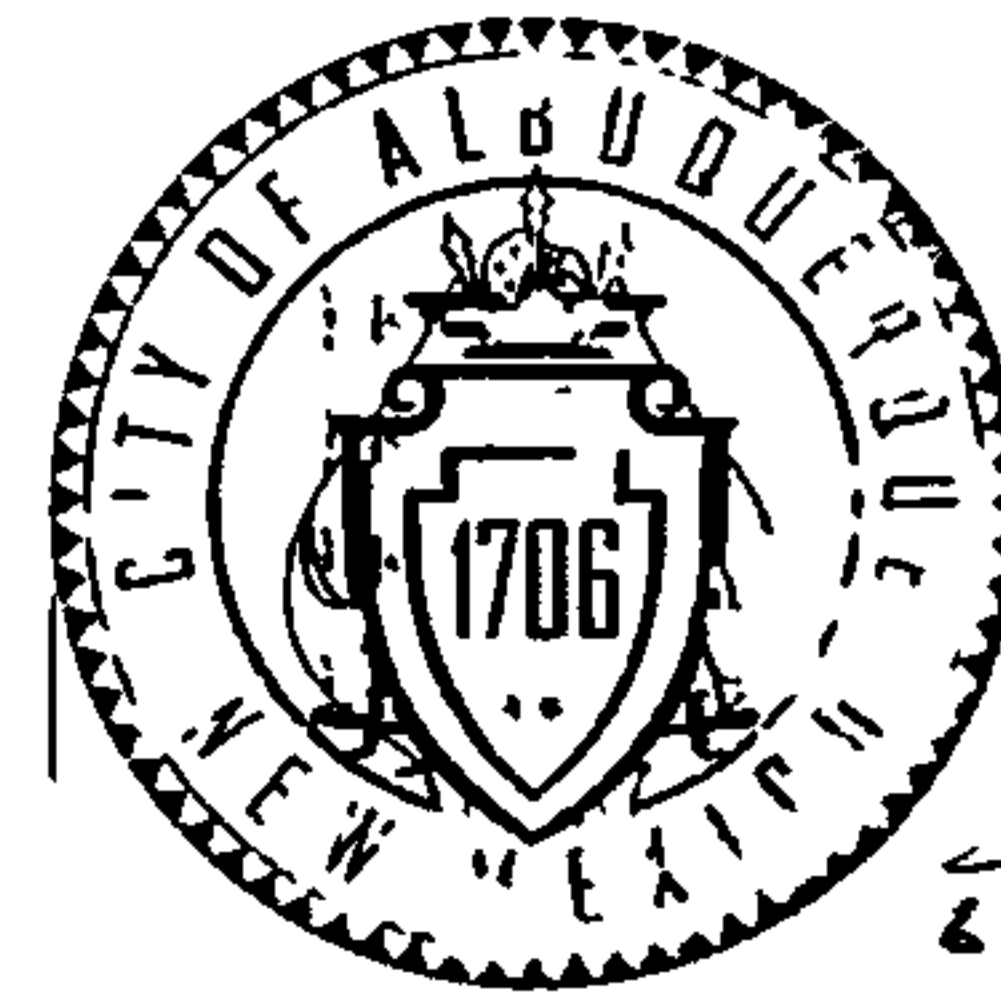
Please review and then let's discuss next step(s).

Thanks,

*Greg Olson, PE*  
 Senior Engineer  
 Planning - Hydrology  
 505-924-3994



# CITY OF ALBUQUERQUE



135  
33  
405  
415  
445  
116  
5  
480

September 20, 2013

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St NE  
Albuquerque, NM 87108

Re: 614 1<sup>st</sup> Street, Parking Lot Improvements  
Grading and Drainage Plan  
Engineer's Stamp Date 8/27/2013 (J14/D006)

2014

Dear Mr. Arfman,

Based upon the information provided in your submittal received 8/27/2013, the following comments have to be addressed prior to an approval for Grading, Paving, and SO-19 Permit:

- The treatment used for the paved area should be treatment D instead of C.
- No runoff enters the easterly pond.
- The middle pond does not retain any runoff.
- Is there an access and drainage easement on the northerly property? Please provide documentations.
- The broken sidewalks fronting this project should be removed and replaced.
- Are the existing driveways built to City of Albuquerque standards? If not, the driveways should be reconstructed to City of Albuquerque runoff from the
- Is the existing inlet "Type D" inlet? The grate must be per City of Albuquerque Standard Drawing Number 2220.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

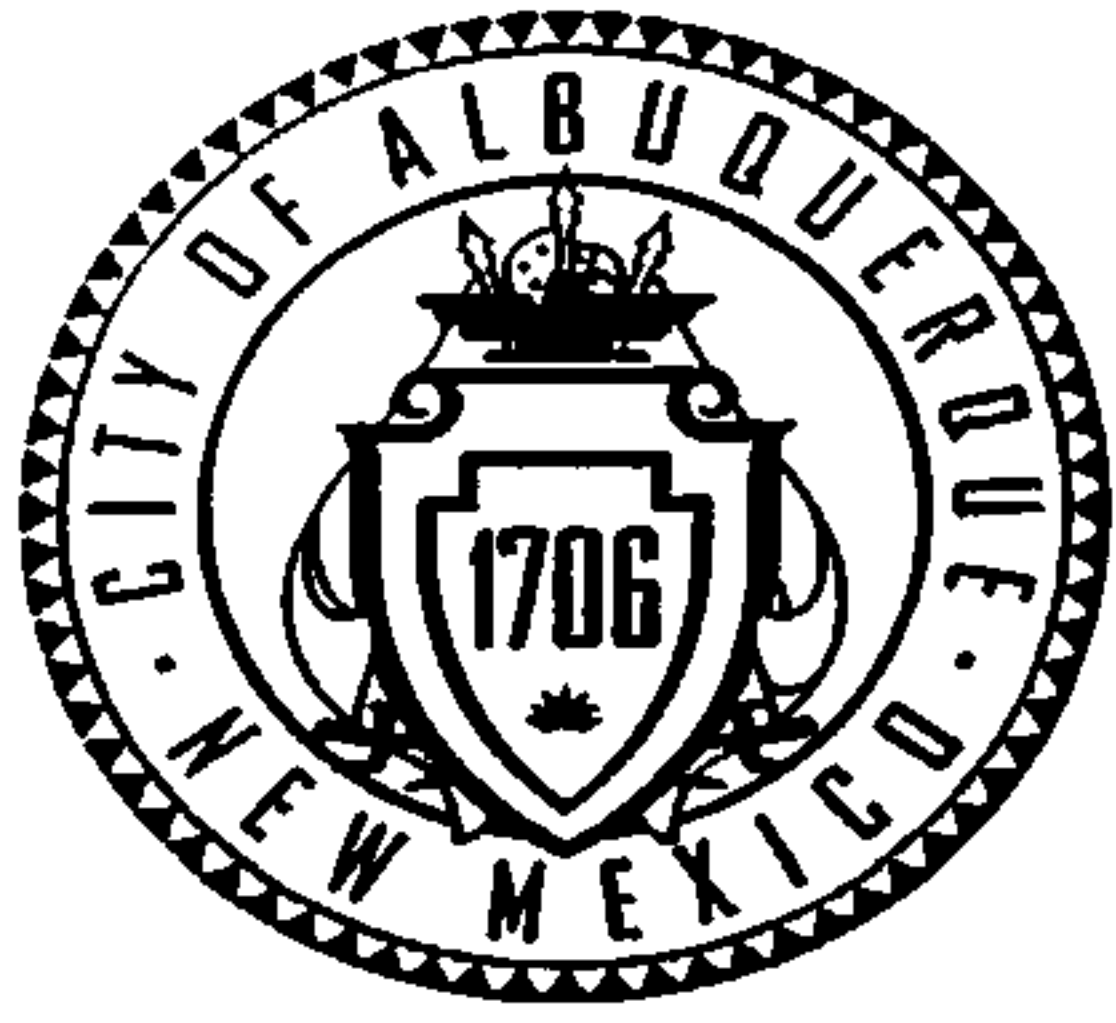
A handwritten signature in black ink, appearing to read "Shahab Biazar".

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail

- Confirm "Gravel Paving"  
- check Runoff @ 85% D, in  
- anticipation of possible AC  
in future

- Is there existing easement right  
for N 1/2 of Vacated Fruit St?  
① This Project Grading } All  
② work on inlet } Encroach  
③ 6' ADS Drain Line }  
- 1982 GED Survey by Tom Isaacson  
shows existing 8" line to ESE return of  
old Fruit St. - Is it still there as  
on 1/11? Albuquerque - Making History 1706-2006



# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

J14 D016

Project Title: 614 1st Street Parking Lot Improvements Building Permit #: \_\_\_\_\_ City Drainage #: 11470006

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lots 1-5 & 20-24

City Address: 612 First Street NW

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman, PE

Address: 128 Monroe Street, NE - Albuquerque, NM 87120

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: Park It Place c/o Moses Dunn Law Firm Contact: Joe Wernitz

Address: 612 1st Street NW, ABQ, NM 87102

Phone#: (505) 843-9440 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: N/A Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Aldrich Land Surveying Contact: Tim Aldrich

Address: P.O. Box 30701

Phone#: (505) 884-1990 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: TBD Contact: \_\_\_\_\_

Address: \_\_\_\_\_

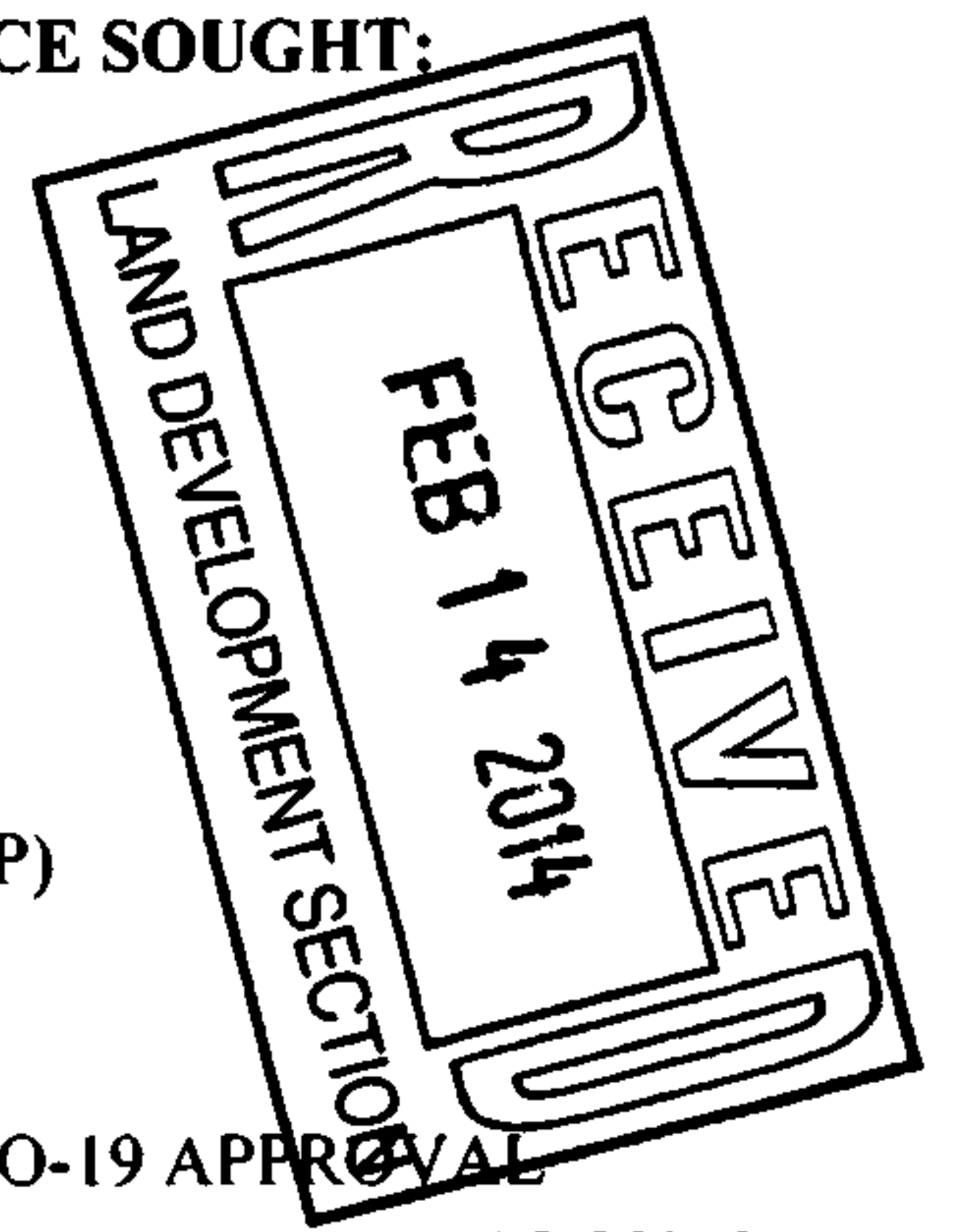
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

#### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: February 14, 2014 By: Fred C. Arfman, PE For: Isaacson & Arfman, PA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# CITY OF ALBUQUERQUE



September 20, 2013

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: 614 1<sup>st</sup> Street, Parking Lot Improvements  
Grading and Drainage Plan  
Engineer's Stamp Date 8/27/2013 (J14/D006)**

2016

Dear Mr. Arfman,

Based upon the information provided in your submittal received 8/27/2013, the following comments have to be addressed prior to an approval for Grading, Paving, and SO-19 Permit:

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

- The treatment used for the paved area should be treatment D instead of C.
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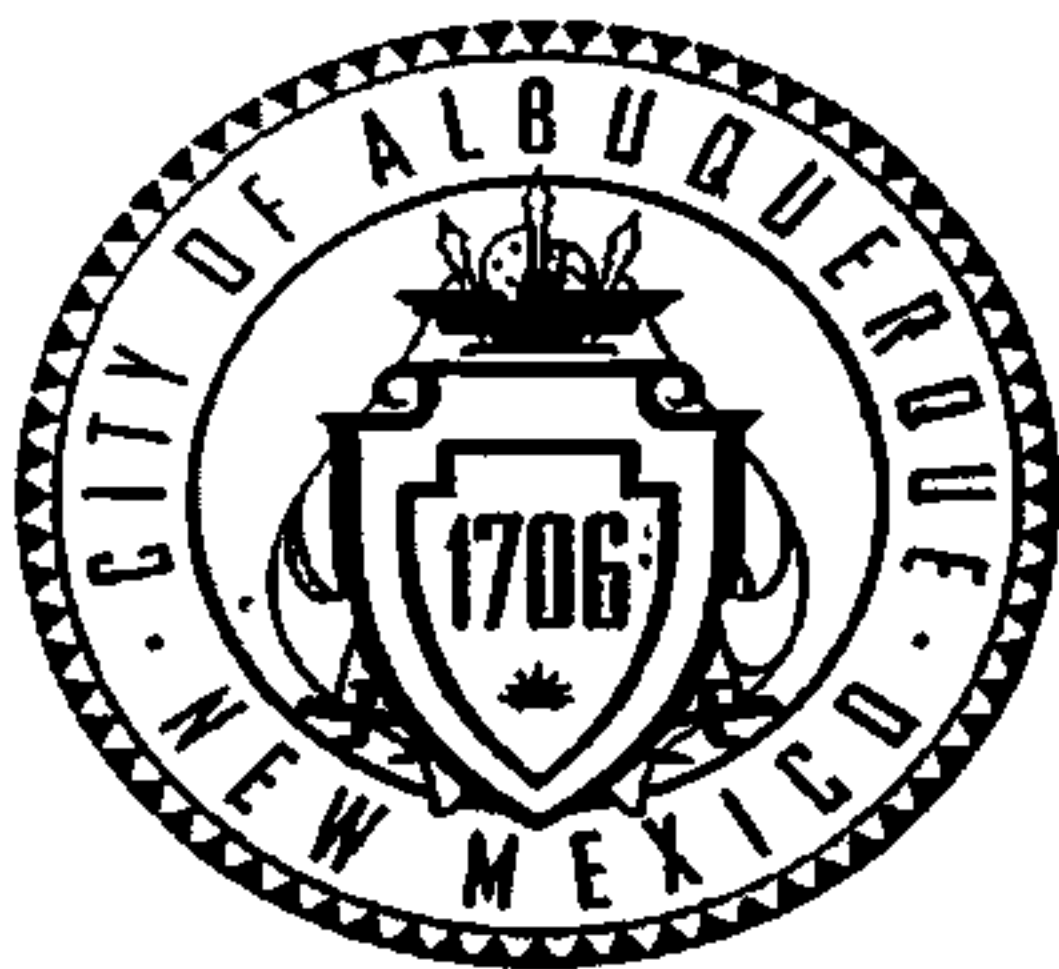
If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail





# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

11  
11  
11  
11

J14-D016

Project Title: 614 1st Street Parking Lot Building Permit #: \_\_\_\_\_ City Drainage #: XXX/D0XXX

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: 614 1st Street NW, ABQ, NM 87102

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman, PE

Address: 128 Monroe Street, NE - Albuquerque, NM 87120

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: Park It Place c/o Moses Dunn Law Firm Contact: Joe Wertz

Address: 612 1st Street NW, ABQ, NM 87102

Phone#: (505) 843-9440 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: N/A Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Aldrich Land Surveying Contact: Tim Aldrich

Address: P.O. Box 30701

Phone#: (505) 884-1990 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: TBD Contact: \_\_\_\_\_

Address: \_\_\_\_\_

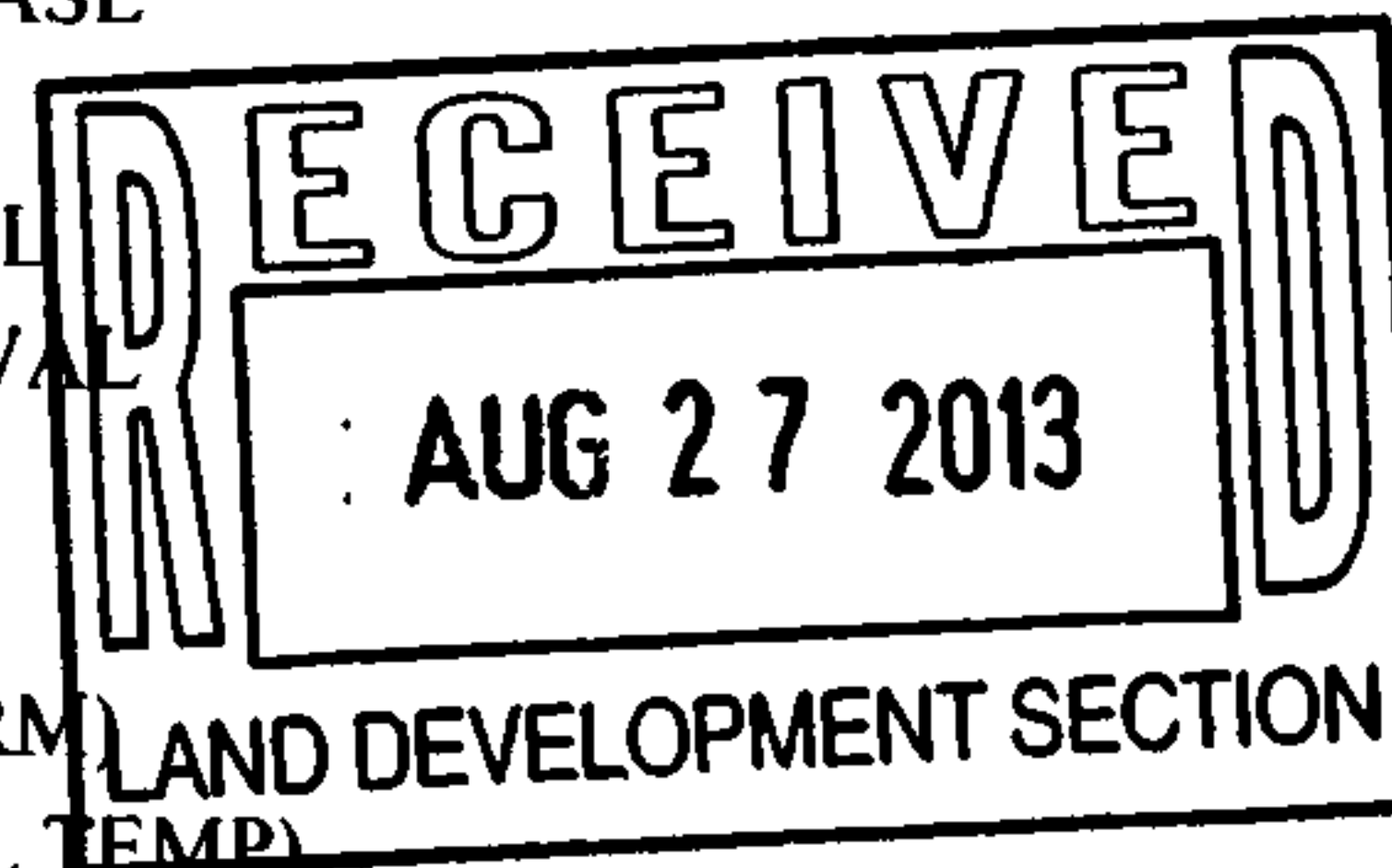
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### TYPE OF SUBMITTAL:

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- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
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- ☐ SO-19
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- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: August 27, 2013 By: Fred C. Arfman, PE For: Isaacson & Arfman, PA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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JAN 21 1982

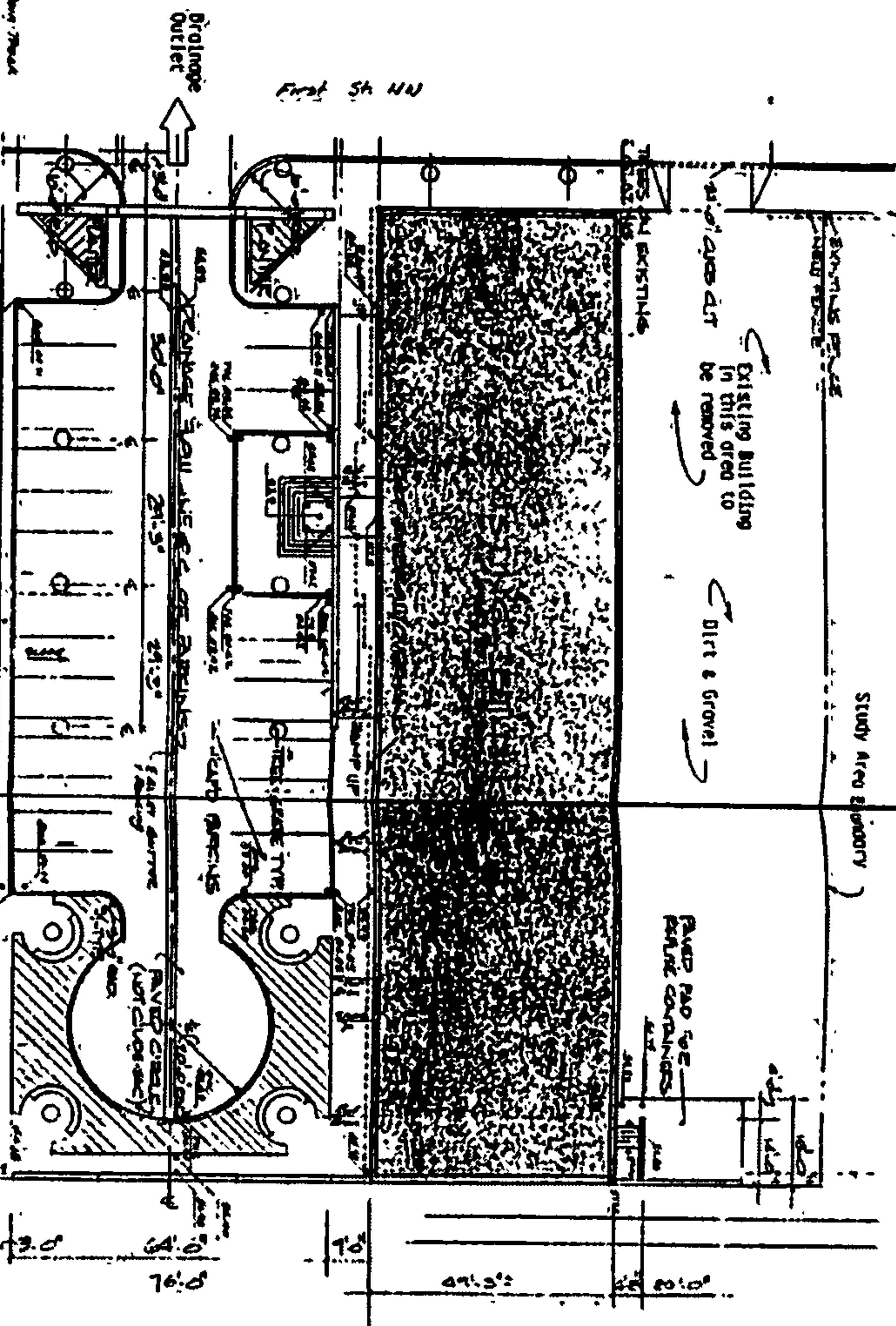
Van H. Gilbert Architect

612 FIRST STREET RENOVATION  
ALBUQUERQUE NEW MEXICO

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PROPOSED SITE IMPROVEMENTS

Indicates  
Landscaped Areas



STUDY AREA RUNOFF ESTIMATES (100 Year)

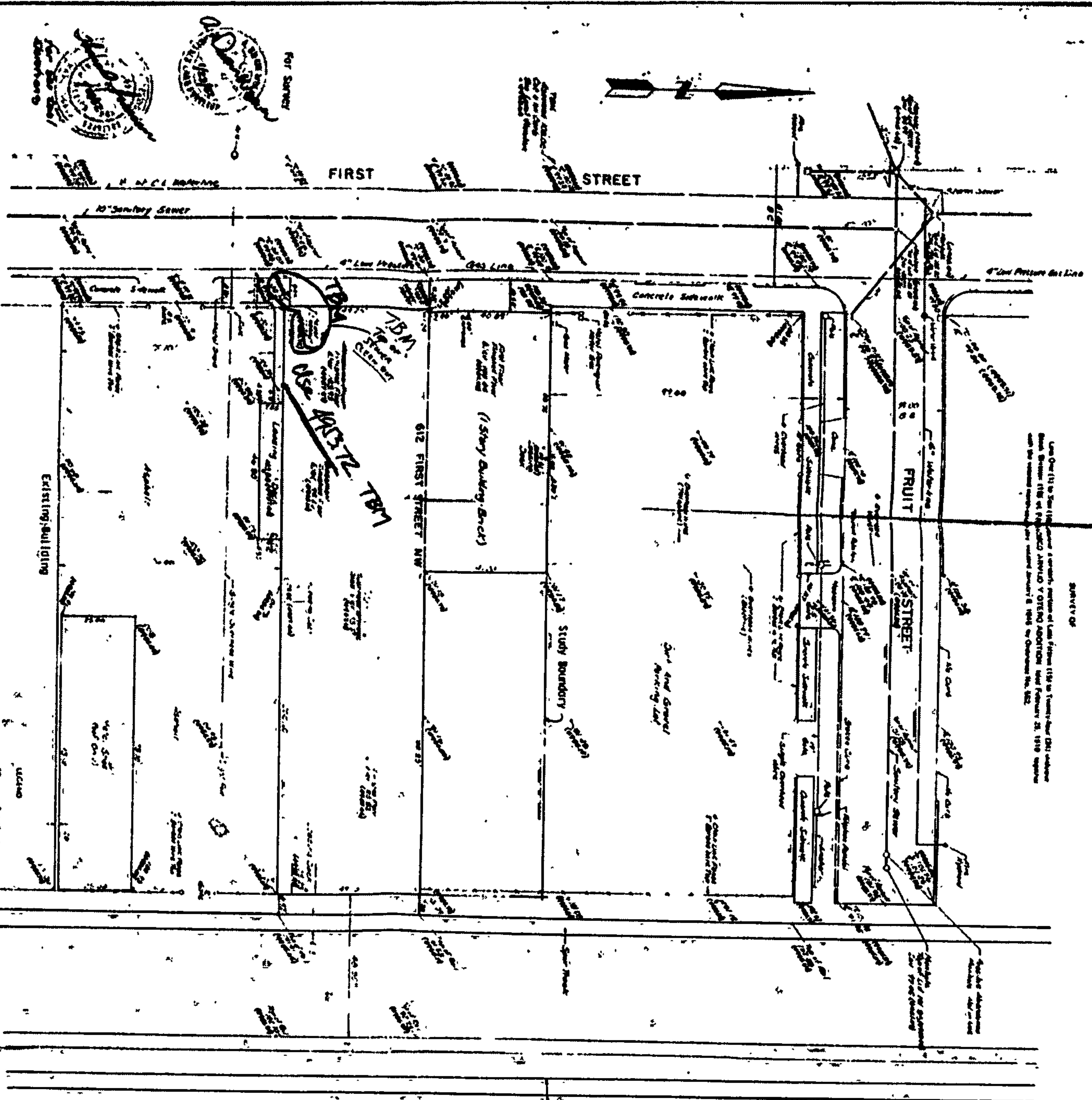
- A. Impermeable Areas (29,149 sq. ft.)  
Peak (29,149 x .45,560) x 0.90 x 2.82 = 3.4 cfs  
Volume 29,149 x 0.90 x 2.2 = 585 cubic feet
- B. Permeable Areas (52,477 sq. ft.)  
Peak (52,477 x .45,560) x .35 x 2.82 = 0.9 cfs  
Volume 52,477 x .35 x 2.2 = 400 cubic feet
- C. Total (33,386 sq. ft.)  
Peak = 2.4 cfs  
Volume 585 + 400 = 985 cubic feet

NOTES:

1. CITY OF ALBUQUERQUE, NEW MEXICO, has approved this plan for the proposed improvements to the existing building and site.
2. Offsite drainage areas pond and do not enter site.

RECEIVED  
JAN 29 1982  
ENGINEERING

EXISTING CONDITIONS



STUDY AREA RUNOFF ESTIMATES (100 Year)

- A. Impermeable Areas (29,149 sq. ft.)  
Peak (29,149 x .45,560) x 0.90 x 2.82 = 3.4 cfs  
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Peak = 2.4 cfs  
Volume 585 + 400 = 985 cubic feet

DRAINAGE PLAN



VICINITY MAP

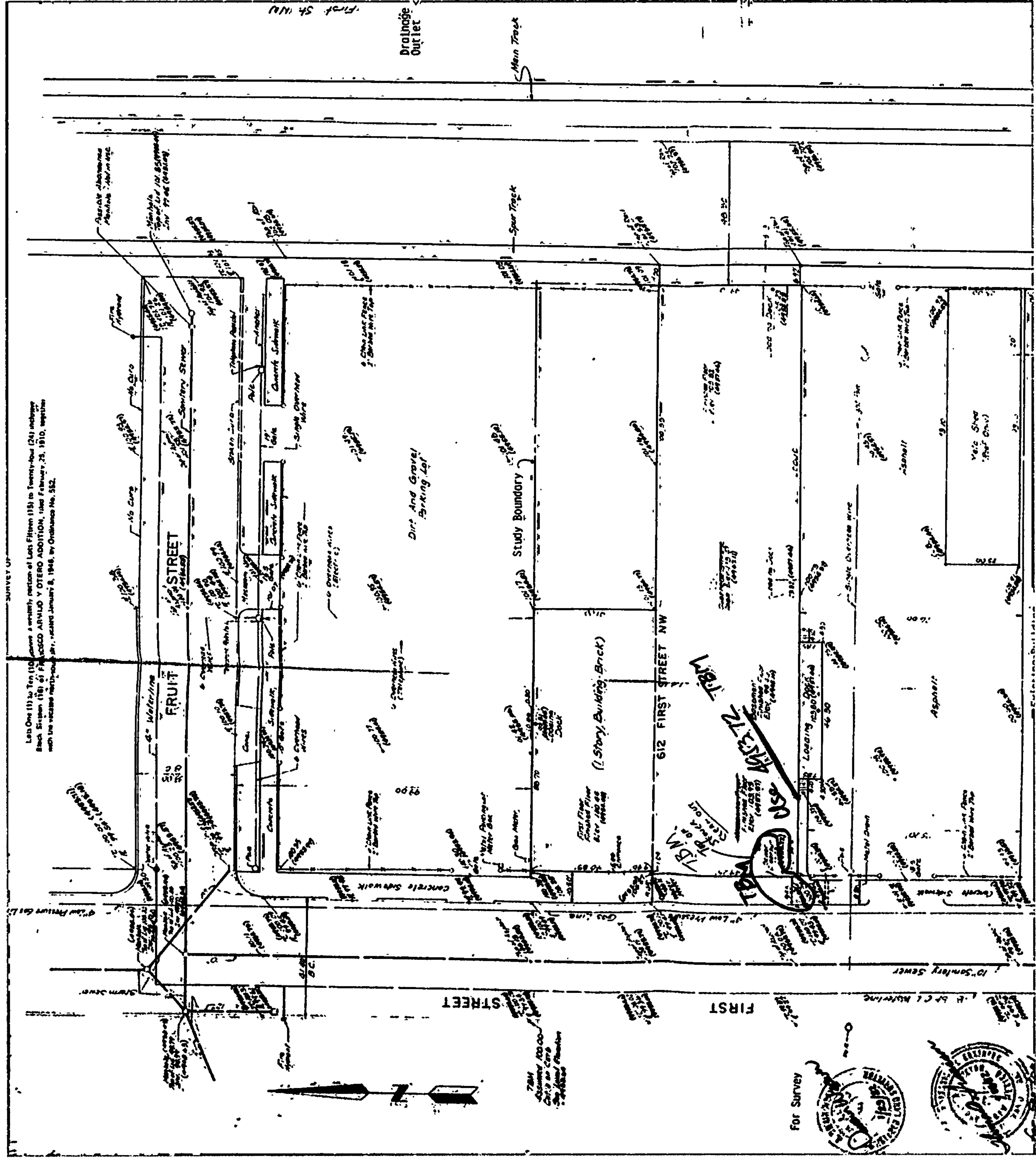
Scale 1" = 300'

J-14

CITY OF ALBUQUERQUE

514  
6016  
1982-





Lot One (1) to Ten (10) ...  
Block Eleven (11) of ...  
with the ...

For Survey

