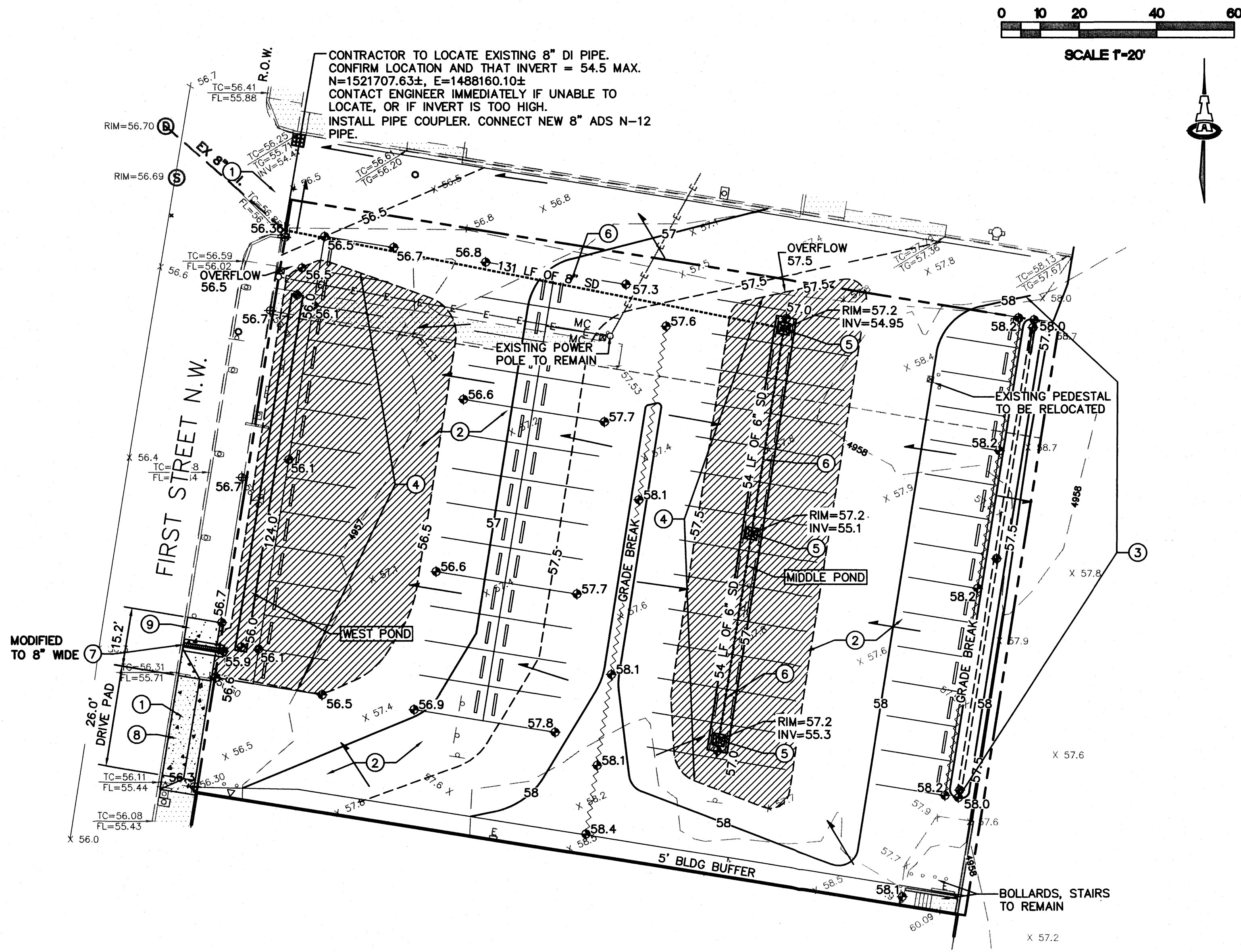


S.O.19 : NOTICE TO CONTRACTORS		
1	AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.	
2	ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #9.	
3	TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL '811') FOR LOCATION OF EXISTING UTILITIES.	
4	PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.	
5	BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.	
6	MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.	
7	WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.	
APPROVAL	NAME	DATE
INSPECTOR		



GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT, SURFACE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS.
- ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY AREAS OF EROSION AND INSTALL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- PER THE SURVEY: THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.

VICINITY MAP



LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION AT TRANSITION TO EXISTING
- PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- PROPOSED 1' CONTOUR
- PROPOSED 0.5' CONTOUR
- FINISH FLOOR ELEVATION
- GRADE BREAK
- EXISTING STORM DRAIN INLET
- PROPOSED 6" DRAIN PIPE

KEYED NOTES

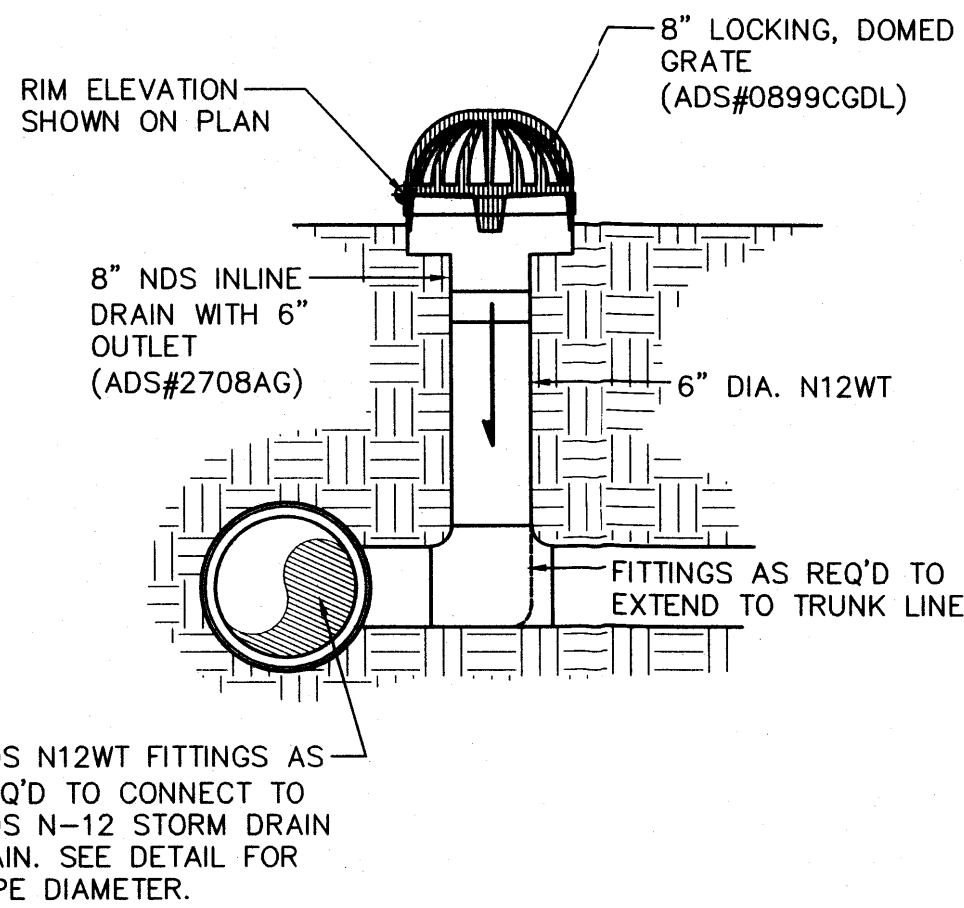
- EXISTING ACCESS DRIVE.
- NEW PAVED PARKING AT ELEVATIONS SHOWN. SEE GENERAL NOTE 'C'.
- SHALLOW RETENTION PONDING AREA: DEPRESS LANDSCAPING 6" TO ELEVATIONS SHOWN. EXCESS FLOW WILL OVERFLOW TO NORTH.
- SHALLOW DETENTION PONDING AREA: DEPRESS GRAVEL 6" TO ELEVATIONS SHOWN. EXCESS FLOW WILL OVERFLOW TO NORTH.
- ADS 8" IN-LINE DRAIN AT RIM ELEVATION SHOWN IN PLAN. CONSTRUCT PER IN-LINE DRAIN DETAIL ON THIS SHEET.
- EXTEND PRIVATE STORM DRAIN (6" ADS N-12 PIPE) AT INVERT ELEVATIONS SHOWN TO NEW PUBLIC STORM DRAIN INLET @ MINIMUM 0.4% SLOPE. MINIMUM COVER = 12".
- MODIFY SIDEWALK CULVERT PER COA STD DWG #2236 TO BE 8" WIDE. EXTEND 2' EAST OF SIDEWALK. WELD 1/2" THICK, 5/8" MIN. DIAMETER OVER ALL SCREWS. COMPLETELY COVER SCREW HEADS. GRIND EDGES SMOOTH. INV(E)=55.9, INV(W)=55.7
- CAREFULLY REMOVE AND DISPOSE OF EXISTING DRIVEPAD. REPLACE PER COA STD DWG #2425.
- CAREFULLY REMOVE AND DISPOSE OF EXISTING SIDEWALK. REPLACE PER COA STD DWG #2460.

DRAINAGE PLAN CONCEPT

PER A PRE-DESIGN MEETING WITH C.O.A. HYDROLOGY, THE ALLOWABLE DISCHARGE RATE FOR THIS PROPERTY IS 2.75 CFS / ACRE. AT 0.71 ACRES, THIS PROPERTY'S ALLOWABLE DISCHARGE RATE = 1.96 CFS. THE PROPERTY WILL GENERATE APPROXIMATELY 3.19 CFS DURING A 100-YEAR 6-HOUR STORM EVENT.

DISCHARGE FROM THE IMPROVED PARKING LOT WILL BE DIRECTED AWAY FROM THE DRIVE AISLES. TWO DETENTION AREAS WILL BE CREATED TO STORE THE VOLUME IN EXCESS OF ALLOWABLE. THE WEST PONDING AREA WILL DISCHARGE 0.8 CFS TO 1ST STREET THROUGH A 8" WIDE SIDEWALK CULVERT. (SEE ADDITIONAL INFORMATION SUBMITTED WITH THIS PACKAGE FOR CULVERT AND PIPE CAPACITY CALCULATIONS.) 1.1 CFS FROM THE MIDDLE PONDING AREA WILL BE CAPTURED BY AREA DRAINS AND A 6" PIPE FOR ROUTING TO AN EXISTING 8" C.I. PUBLIC STORM DRAIN LOCATED AT THE NORTHWEST CORNER OF THE PROPERTY (S.O.19 PERMIT REQUIRED FOR PROPOSED CONNECTION). IF THIS PIPE IS UNABLE TO BE LOCATED IN THE FIELD, OR THE INVERT IS HIGHER THAN ANTICIPATED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY AT (505) 268-8828.

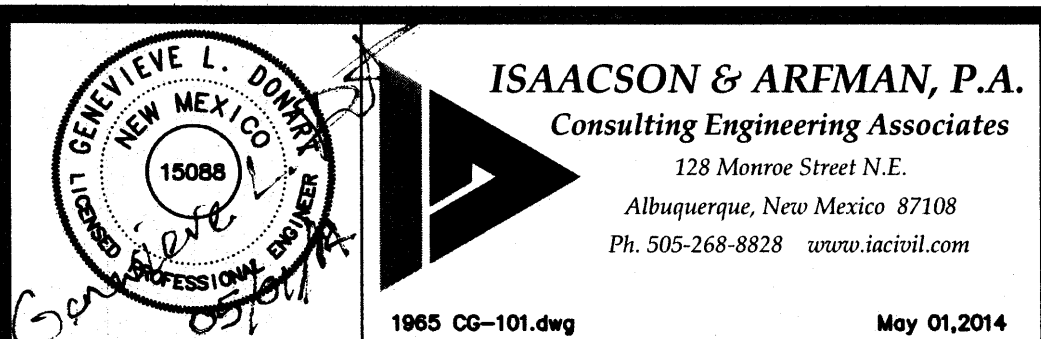
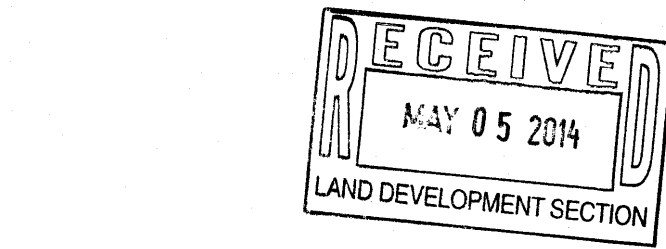
THE REQUIRED PONDING VOLUMES ARE:
MIDDLE POND = 766 CF. PROVIDED PONDING = 1,254 CF
WEST POND = 1,255 CF. PROVIDED PONDING = 1,257 CF



8 IN-LINE DRAIN: DOMED GRATE

SEE STORM DRAIN EXHIBIT

SCALE: N.T.S.



This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

614 1ST STREET PARKING LOT IMPROVEMENTS

614 1ST STREET PARTNERS

GRADING AND DRAINAGE PLAN

Date:	No.	Revisions	Date:	Job No.
10-21-13				1965
Drawn By:				CG-101
Ckd By:				SH. CF
FCA				

GP, PP, 50-19 J14-0016