

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: 1-14 DATE: 12/12/85 10:00
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: Summit Development Co. 1st
STREET ADDRESS (IF KNOWN): _____
SUBDIVISION NAME: Site 101-117 (1K 3) - Anderson
Add'n

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	_____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN	_____ BUILDING PERMIT
<u>X</u> OTHER	_____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>Jackie McDaniel</u>	<u>Chavez - Grooms</u>
	<u>Billy Gorkin</u>	<u>Dan Hopley</u>

FINDINGS:

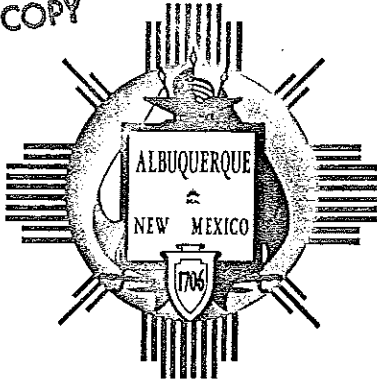
- ① Site is an existing developed area. Runoff shall remain the same or less than existing. Site is adjacent to flooding in 3 to 5 ft. and reduction of runoff contributed to this condition would be appropriate.
- ② Flood proofing required for habitable flooring.
- ③ Area erosion control plan for the period of construction to ensure that the sediment remains on site.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Billy Gorkin</u>	SIGNED: <u>Jackie McDaniel</u>
TITLE: <u>Regional Hydrologist</u>	TITLE: <u>Regional Hydrologist</u>
DATE: <u>12/13/85</u>	DATE: <u>12/13/85</u>

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

May 2, 1986

Victor Chavez, P.E.
Chavez-Grievess Consulting Engineers, Inc.
4520 Montgomery Blvd., NE Suite 3
Albuquerque, New Mexico 87109

RE: REVISED DRAINAGE PLAN FOR SUNWEST BANK DRIVE-UP FACILITY
(J-14/D24) ENGINEER'S STAMP DATED MARCH 24, 1986

Dear Mr. Chavez:

Based on the information provided on your May 1, 1986 resubmittal, the above referenced plan is approved for Building Permit.

Please attach a copy of this approved plan along with the appropriately approved "Drainage Facilities Within City Right-of-Way" document to both sets of construction plans prior to sign-off by Hydrology.

If you have any questions, call me at 766-7644.

Cordially,

Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant/Hydrology

BJM/bmj

DRAINAGE INFORMATION SHEET

PROJECT TITLE: SUNWEST BANK Drive Up Fac. ZONE ATLAS/DRNG. FILE #: J-14/D24
 LEGAL DESCRIPTION: Lots 1 thru 6, 277 & 278 a, Block 3,
Mathew Addition

CITY ADDRESS: _____

ENGINEERING FIRM: Chavez-Groves CONTACT: Jackie McDowell

ADDRESS: 4520 Montgomery #3 PHONE: (505) 881-7376

OWNER: Sunwest Bank CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: Custer and Assoc. CONTACT: Phil Custer

ADDRESS: P.O. Box 25146 PHONE: (505) 765-1020

SURVEYOR: Tom Mann CONTACT: Jeff Mortenson

ADDRESS: 811 Dallas NE PHONE: (505) 265-5611

CONTRACTOR: N/A CONTACT: _____

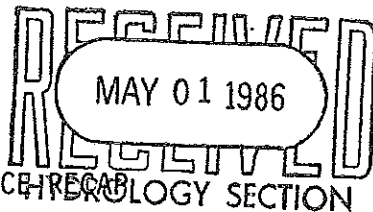
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. SP-86-116

EPC NO. _____

PROJ. NO. J-14/D24

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

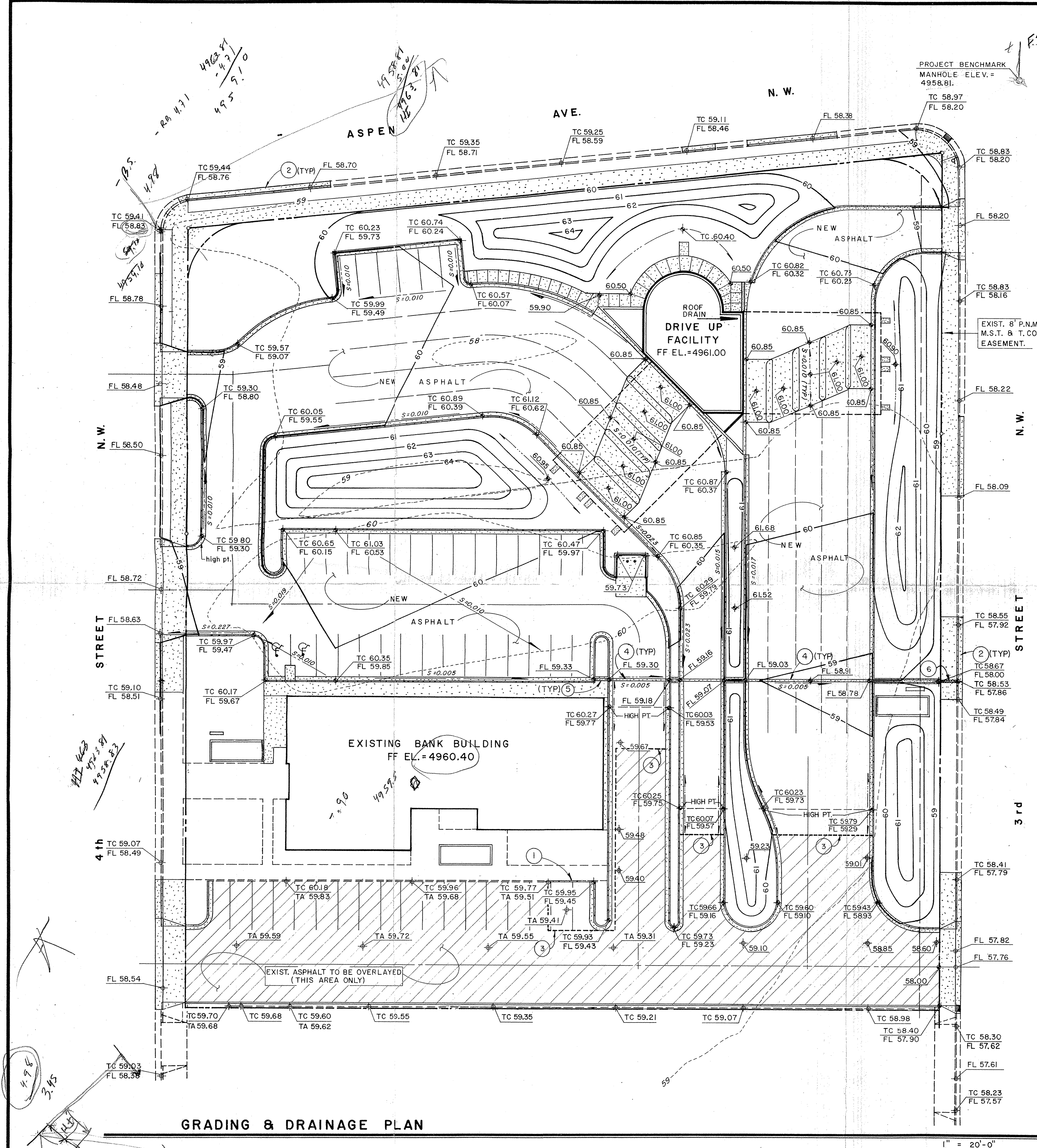
☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 5/1/86

BY: Jackie S. McDowell



DRAINAGE PLAN

SUNWEST BANK DRIVE-UP FACILITY

LOCATION AND DESCRIPTION:

THE SITE IS LOCATED SOUTH OF ASPEN AVENUE BETWEEN 3rd STREET AND 4th STREET CONTAINING APPROXIMATELY 2.17 ACRES. THE SITE IS PRESENTLY DEVELOPED, FAIRLY LEVEL, AND SLOPES TO 4th STREET, ASPEN AVENUE, AND 3rd STREET.

EXISTING CONDITION:

NO OFF-SITE RUNOFF ENTERS THE SITE DUE TO EXISTING ELEVATIONS. EXISTING RUNOFF ENTERS THE BOUNDARY STREETS AND IS PARTIALLY INTERCEPTED BY A STORM SEWER IN 3rd STREET. THE AREA OF THE SITE IS COMPLETELY DEVELOPED, THEREFORE RUNOFF IN THIS AREA WILL NOT INCREASE.

PROPOSED CONDITION:

PROPOSED DEVELOPMENT OF THE SITE INCLUDES: A NEW DRIVE-UP FACILITY WITH ASSOCIATED DRIVING LANES, PARKING, AND LANDSCAPING. PROPOSED DEVELOPMENT OF THIS SITE WILL REDUCE TOTAL RUNOFF FROM THE SITE - SEE CALCULATIONS. WHEN SYSTEM 128-02B (A.M.D.S.) IS CONSTRUCTED, FLOOD PLAINS ON 2nd STREET AND 4th STREET BETWEEN MANUEL BOULEVARD AND ASPEN AVENUE WILL BE REMOVED. ALSO FLOOD PLAINS ON 1st STREET, 2nd STREET, AND 3rd STREET BETWEEN LOMAS BOULEVARD AND ASPEN AVENUE WILL BE REMOVED.

CALCULATIONS:

AREA = 2.17 ACRES
SOIL SERIES - Gc
HYDROLOGIC SOIL GROUP - B
I = 2.2 IN./HR. PLATE 22.2 D-2
6-HOUR, 100-YEAR RAINFALL = 2.2 IN. PLATE 22.2 D-1
I = (2.2)(2.2) = 4.84 IN./HR.

EXISTING ON-SITE CONDITIONS:

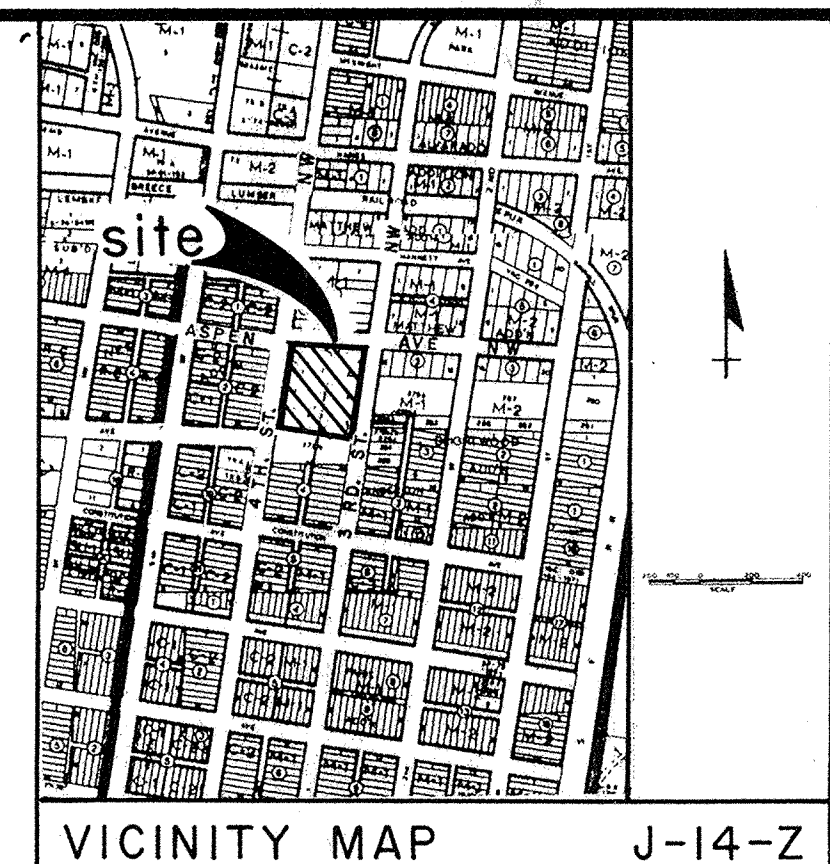
PERCENT IMPERVIOUS = 80%
C = .078 PLATE 22.2 C-1
Q(100) = (0.78)(4.84)(2.17) = 8.19 CFS
Q(10) = (0.657)(8.19) = 5.38 CFS
CN = 90 PLATE 22.2 C-2
DIRECT RUNOFF = 1.3 IN. PLATE 22.2 C-4
V(100) = (1.3)(2.17)(43560)/12 = 10240 CU. FT.
V(10) = (0.657)(10240) = 6728 CU. FT.

PROPOSED ON-SITE CONDITIONS:

PERCENT IMPERVIOUS = 70%
C = 0.69 PLATE 22.2 C-1
Q(100) = (0.69)(4.84)(2.17) = 7.25 CFS
Q(10) = (0.657)(7.25) = 4.76 CFS
CN = 85 PLATE 22.2 C-2
DIRECT RUNOFF = 1.0 IN. PLATE 22.2 C-4
V(100) = (1.0)(2.17)(43560)/12 = 7877 CU. FT.
V(10) = (0.657)(7877) = 5175 CU. FT.

LEGEND

BUILDING (EXIST.)	[Symbol]
BUILDING (NEW)	[Symbol]
CURB (EXIST.)	[Symbol]
CURB (NEW)	[Symbol]
CURB & GUTTER (EXIST.)	[Symbol]
CURB & GUTTER (NEW)	[Symbol]
CONCRETE (EXIST.)	[Symbol]
CONCRETE (NEW)	[Symbol]
SPOT ELEVATION (EXIST.)	[Symbol]
SPOT ELEVATION (NEW)	[Symbol]
CONTOUR (EXIST.)	[Symbol]
CONTOUR (NEW)	[Symbol]
ASPHALT (EXIST.)	[Symbol]



- NOTICE TO CONTRACTOR:**
- THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION, 1985 WILL BE REFERRED TO HEREON AS THE "STANDARD SPECIFICATION".
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
 - IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
 - CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL DURING THE CONSTRUCTION PHASE, INCLUDING ANY PROVISIONS THAT NEED TO BE TAKEN TO DIVERT ANY SEDIMENT FROM ENTERING THE CITY RIGHT-OF-WAY.
 - F.P. ELEV. WILL NEED TO BE CERTIFIED BY THE ENGINEER PRIOR TO C.O. RELEASE.
- GENERAL NOTES:**
- TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A SURVEY PREPARED BY TOM MANN ASSOCIATES, INC. #3792, IN JANUARY AND FEBRUARY OF 1986.
 - PROJECT BENCHMARK: RIM OF MANHOLE LOCATED IN THE INTERSECTION OF ASPEN AVE. N.W. AND 3rd STREET N.W. ELEVATION = 4958.81 (MSLD) ACS BENCH MARK: A SQUARE, CHISELED ON TOP OF CONCRETE CURB AT THE NORTH/NORTHWEST CURB RETURN LOCATED AT THE INTERSECTION OF 4th STREET N.W. AND CONSTITUTION AVE. N.W. ELEVATION = 4958.194 (MSLD 1929)
 - LEGAL DESCRIPTION: TRACT "A" MATTHEW ADDITION
 - REQ'D FLOOD PLAIN ELEV. = 4960.59.
- KEYED NOTES:**
- CONSTRUCT NEW HEADER CURB AS PER CITY STD. DWG. P-8 OR APPROVED EQUAL, MATCH EXISTING ELEVATIONS.
 - CONSTRUCT NEW STANDARD CURB AS PER CITY STD. DWG. P-8 OR APPROVED EQUAL, MATCH EXISTING ELEVATIONS.
 - MATCH NEW ELEVATIONS TO EXISTING ASPHALT ELEVATIONS.
 - CONSTRUCT 1' WIDE VALLEY GUTTER SIMILAR TO ALLEY GUTTER AS PER CITY STD. DWG. P-8 OR APPROVED EQUAL.
 - PROVIDE 1' WIDE CURB OPENING.
 - PROVIDE 1' WIDE SIDEWALK CULVERT AS PER CITY STD. DWG. K-16.

CUSTER and ASSOCIATES
ARCHITECTS - PLANNERS, AIA

ALBUQUERQUE, NEW MEXICO 87125
PHONE 805-755-1020
P.O. BOX 25146

SUNWEST BANK

NEW NORTH FOURTH MOTOR BANK FACILITY

ALBUQUERQUE

GRADING & DRAINAGE PLAN

SHEET NO. C-2

REVISIONS

RECEIVED
MAY 01 1986
HYDROLOGY SECTION

SUNWEST BANK DRIVE-UP FACILITY

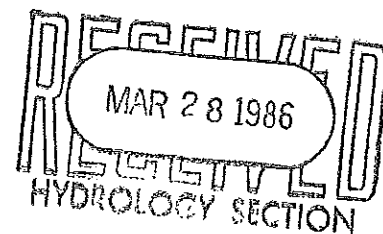
CALCULATIONS:

Area = 2.17 acres

I = 2.2 in./hr. Plate 22.2 D-2

6-hour, 100-year rainfall = in. Plate 22.2 D-1

i = () () = in./hr.



Updated

5-1-86

EXISTING ON-SITE CONDITIONS:

SURFACE TYPE	"C" VALUE	A (ACRES)	"C"X A	COMPOSITE "C"=CXA/A
Streets, Drives, Walks	0.95	1.30	1.24	
Roofs	0.90	0.44	0.40	
Lawns & Landscaping	0.25	0.25	0.06	
Undeveloped	0.40	0.18	0.07	
TOTAL		2.17	1.77	0.82

$$Q(100) = (0.82)(4.84)(2.17) = 8.61 \text{ cfs}$$

$$Q(10) = (0.657)(8.61) = 5.66 \text{ cfs}$$

CN = 90 Plate 22.2 C-2

Direct Runoff = 1.3 in. Plate 22.2 C-4

$$V(100) = (1.3)(2.17)(43560)/12 = 10240 \text{ cu. ft.}$$

$$V(10) = (0.657)(10240) = 6728 \text{ cu. ft.}$$

PROPOSED ON-SITE CONDITIONS:

SURFACE TYPE	"C" VALUE	A (ACRES)	"C"X A	COMPOSITE "C"=CXA/A
Streets, Drives, Walks	0.95	1.36	1.29	
Roofs	0.90	0.18	0.16	
Lawns & Landscaping	0.25	0.63	0.16	
Undeveloped	0.40	0	0	
TOTAL		2.17	1.61	0.74

$$Q(100) = (0.74)(4.84)(2.17) = 7.77 \text{ cfs}$$

$$Q(10) = (0.657)(7.77) = 5.11 \text{ cfs}$$

CN = 85 Plate 22.2 C-3

Direct Runoff = 1.0 in. Plate 22.2 C-4

$$V(100) = (1.0)(2.17)(43560)/12 = 7877 \text{ cu. ft.}$$

$$V(10) = (0.657)(7877) = 5175 \text{ cu. ft.}$$



**CHAVEZ
GRIEVÉS / CONSULTING ENGINEERS, INC.**

4520 MONTGOMERY BLVD., SUITE 3
ALBUQUERQUE, N.M. 87109
(505) 881-7376

LETTER OF TRANSMITTAL

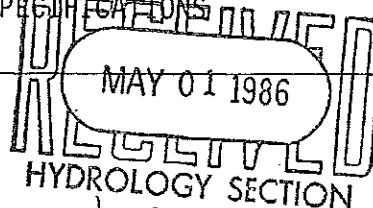
TO: Public Works Dept.
~~Hydrology Section~~
Attn: Bernie Montoya

DATE: 5/1/86
JOB NO. _____
RE: Summit Bank

GENTLEMEN:

We are sending you X ATTACHED UNDER SEPARATE COVER the following items:

 SHOP DRAWINGS CHANGE ORDER SPECIFICATIONS
 COPY OF LETTER PLANS
X PRINTS SAMPLES



COPIES	DATE	NO.	DESCRIPTION
1	Plotted		Notes added to plan as requested.
1			Info Sheet.

THESE ARE TRANSMITTED as checked below:

<u>X</u> FOR APPROVAL	<u> </u> RETURNED FOR CORRECTIONS
<u> </u> FOR YOUR USE	<u> </u> RESUBMIT <u> </u> COPIES FOR APPROVAL
<u> </u> AS REQUESTED	<u> </u> SUBMIT <u> </u> COPIES FOR DISTRIBUTION
<u> </u> FOR REVIEW AND COMMENT	<u> </u> RETURN <u> </u> CORRECTED PRINTS
<u> </u> APPROVED AS SUBMITTED	<u> </u> PRINTS RETURNED AFTER LOAN TO US
<u> </u> APPROVED AS NOTED	<u> </u> FOR BIDS DUE <u> </u> 19 <u> </u>

REMARKS:

COPY TO: File

SIGNED: Jackie S. McDowell

If enclosures are not as noted, kindly notify us at once.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: SUNWEST BANK Drive Up Fac. ZONE ATLAS/DRNG. FILE #: J-14

LEGAL DESCRIPTION: Lots 1 thru 6, 277 & 278a, Block 3,
Mathew Addition

CITY ADDRESS: _____

ENGINEERING FIRM: Chavez-Griaves CONTACT: Jackie M^s Dowell

ADDRESS: 4520 Montgomery #3 PHONE: (505) 881-7376

OWNER: Sunwest Bank CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: Custer and Assoc. CONTACT: Phil Custer

ADDRESS: P.O. Box 25146 PHONE: (505) 765-1020

SURVEYOR: Tom Mann CONTACT: Jeff Mortenson

ADDRESS: 811 Dallas NE PHONE: (505) 265-5611

CONTRACTOR: N/A CONTACT: _____

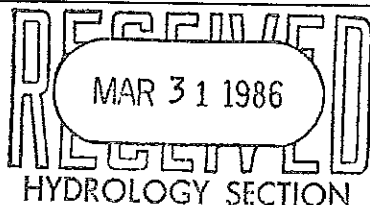
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. SP-86-116

EPC NO. _____

PROJ. NO. J-14/D24

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN (additional info.)

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

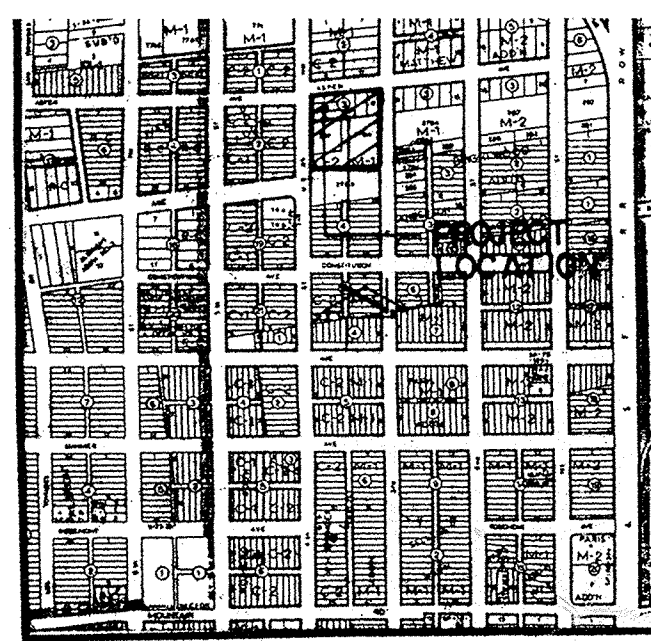
☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 3/31/86

BY: Jackie S. M^s Dowell

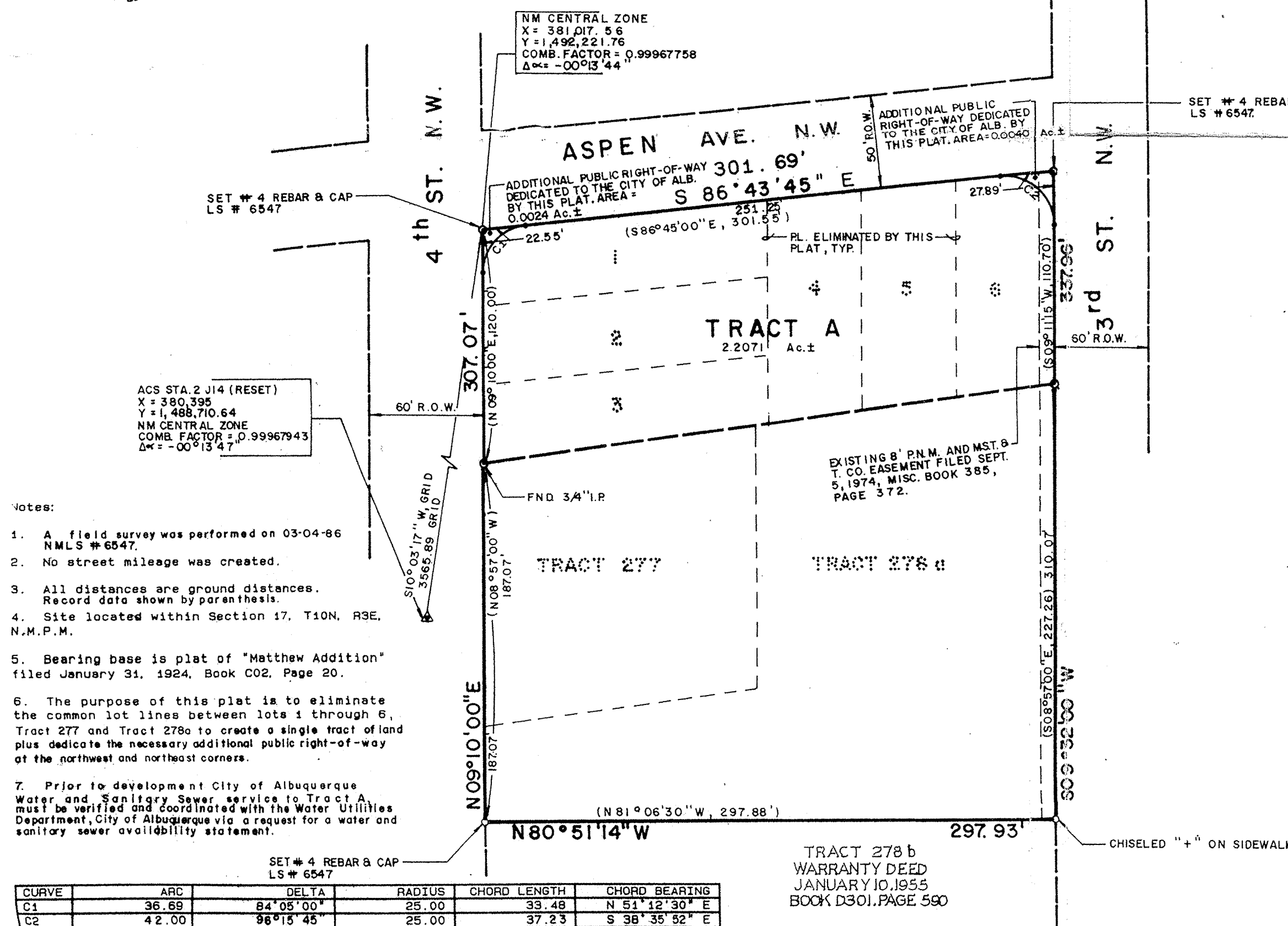
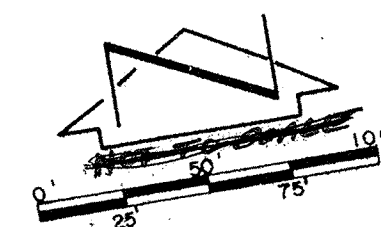


VICINITY MAP
SCALE: 1" = 800'

J-14

A certain tract of land located within the Corporate limits of the City of Albuquerque, New Mexico, comprising Lots 1-6, Block 3, Matthew Addition, as shown on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 31, 1924, Book C-2, Page 20, and Tract 277, MRGCD Map No. 37, as described by Warranty Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico, on August 12, 1952, Book D-214, Page 448, and Tract 278-A, MRGCD Map No. 37, as described by Warranty Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 10, 1955, Book D-301, Page 590, and being more particularly described as follows:

Beginning at the northwest corner of the parcel herein described, being the point of intersection of the east right-of-way line of Fourth Street N.W. and the south right-of-way line of Aspen Avenue N.W.; thence S 86°43'45" E a distance of 301.69 feet along the south right-of-way line of Aspen Avenue N.W. to the point of intersection with the west right-of-way line of Third Street N.W.; thence S 09°32'00" W a distance of 337.96 feet along the west right-of-way line of Third Street N.W.; thence N 80°51'14" W a distance of 297.93 feet to a point on the east right-of-way line of Fourth Street N.W.; thence N 09°10'00" E a distance of 307.07 feet along said right-of-way line to the point of beginning and containing 2.2135 acres more or less.



Notes:

1. A field survey was performed on 03-04-86 N.M.L.S. # 6547.
2. No street mileage was created.
3. All distances are ground distances. Record data shown by parenthesis.
4. Site located within Section 17, T10N, R9E, N.M.P.M.
5. Bearing base is plat of "Matthew Addition" filed January 31, 1924, Book C02, Page 20.
6. The purpose of this plat is to eliminate the common lot lines between lots 1 through 6, Tract 277 and Tract 278 to create a single tract of land plus dedicate the necessary additional public right-of-way at the northwest and northeast corners.
7. Prior to development City of Albuquerque Water and Sanitary Sewer service to Tract A must be verified and coordinated with the Water Utilities Department, City of Albuquerque via a request for a water and sanitary sewer availability statement.

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C1	36.69	84°08'00"	25.00	33.48	N 51°12'30" E
C2	42.00	98°15'45"	25.00	37.23	S 36°35'52" E

TRACT A,
LANDS OF SUNWEST BANK
A REPLAT OF
LOTS 1 THROUGH 6, BLOCK 3
MATTHEW ADDITION
AND TRACTS 277 & 278a
MRGCD MAP NO. 37
ALBUQUERQUE, NEW MEXICO
MARCH, 1986

State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record
on 3-29-86 at 2:41 PM
Plat of 2.2135 ac. in Vol. 529
of records of said County filed 1986
by Clerk of said County
Deputy Clerk

The undersigned owners of the land shown hereon do hereby consent to the subdivision of said land in the manner shown on this plat and do hereby dedicate the public right-of-way as shown hereon.

Russell Raskob 3-19-86
Date
RUSSELL RASKOB
ASSISTANT VICE PRESIDENT, SUNWEST BANK OF ALBUQUERQUE

ACKNOWLEDGEMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
My Commission Expires 5-6-89

The foregoing instrument was acknowledged before me this
19th day of March, 1986
Notary Public

APPROVALS:
Rick Davis 3/24/86
Planning Director, City of Albuquerque, N.M.

Water Utilities, City of Albuquerque, N.M. Date

City Engineer, City of Albuquerque Date

A.M.A. & C.A. Date

Traffic Engineer, City of Albuquerque, N.M. Date

Public and Recreation, City of Albuquerque, N.M. Date

Don Clark 032186
Chief City Surveyor, City of Albuquerque, N.M. Date

Ross E. Chumley 3-21-86
Property Manager, City of Albuquerque, N.M. Date

CERTIFICATION
I, Thomas T. Mann, Jr., a registered Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision; shows all easements noted in a title report prepared by U.S. LIFE TITLE INSURANCE CO. on NOV. 1, 1985 (SF NO. TX 59768-1100) meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance, and is true and correct to the best of my knowledge and belief.

Thomas T. Mann, Jr. 1-16-86
Date

ACKNOWLEDGEMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
My Commission Expires 5-6-89

The foregoing instrument was acknowledged before me on this
16th day of January, 1986
Notary Public

Charles H. Calley
Notary Public

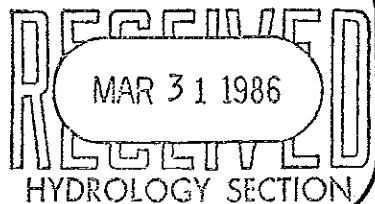
RECEIVED
MAR 31 1986
HYDROLOGY SECTION

RECEIVED
MAR 31 1986
HYDROLOGY SECTION



**CHAVEZ
GRIEVES / CONSULTING ENGINEERS, INC.**

4520 MONTGOMERY BLVD., SUITE 3
ALBUQUERQUE, N.M. 87109
(505) 881-7376



LETTER OF TRANSMITTAL

TO: Design Hydrology Section

Attn: Barbara

DATE: 3/31/86

JOB NO. _____

RE: Southwest Bank
Drive Up Fac
J-14/D24

GENTLEMEN:

We are sending you X ATTACHED UNDER SEPARATE COVER the following items:

<u> </u> SHOP DRAWINGS	<u> </u> CHANGE ORDER	<u> </u> SPECIFICATIONS
<u> </u> COPY OF LETTER	<u> </u> PLANS	<u>X</u> <u>XEROX</u>
<u> </u> PRINTS	<u> </u> SAMPLES	

COPIES	DATE	NO.	DESCRIPTION
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<u>1</u>			<u>Plat of Tract A</u>
<u>1</u>			<u>Info Sheet</u>

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<u> </u> APPROVED AS NOTED	<u> </u> FOR BIDS DUE <u> </u> 19 <u> </u>

REMARKS:

Enclosed is additional info. req'd as per
letter from Carlos on 3/14/86

COPY TO: Site

SIGNED: Thana
Jackie S. McDowell

If enclosures are not as noted, kindly notify us at once.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: SUNWEST BANK Drive Up Fac. ZONE ATLAS/DRNG.FILE #: J-14

LEGAL DESCRIPTION: Lots 1 thru 6, 277 & 278 a, Block 3,
Mathew Addition

CITY ADDRESS: _____

ENGINEERING FIRM: Chavez-Groves CONTACT: Jackie McDowell

ADDRESS: 4520 Montgomery #3 PHONE: (505) 881-7376

OWNER: Sunwest Bank CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: Custer and Assoc. CONTACT: Phil Custer

ADDRESS: P.O. Box 25146 PHONE: (505) 765-1020

SURVEYOR: Tom Mann CONTACT: Jeff Mortenson

ADDRESS: 811 Dallas NE PHONE: (505) 265-5611

CONTRACTOR: N/A CONTACT: _____

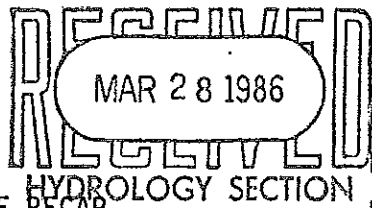
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJ. NO. J-14/024

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN (REVISED)

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

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☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 3/28/86

BY: Jackie S. McDowell

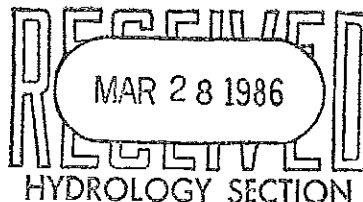


**CHAVEZ
GRIEVES / CONSULTING ENGINEERS, INC.**

4520 MONTGOMERY BLVD., SUITE 3
ALBUQUERQUE, N.M. 87109
(505) 881-7376

March 28, 1986

Mr. Carlos A. Montoya, P.E.
City/County Floodplain Administrator
Design Hydrology Section
123 Central N.W.
Albuquerque, N.M. 87102



RE: DRAINAGE PLAN FOR SUNWEST BANK DRIVE-UP FACILITY
(J-14/D24)

Dear Carlos:

In response to your letter dated March 14, 1986, I offer the following:

- ✓ 1. New information sheet is enclosed with resubmittal.
- ✓ 2. Engineer's stamp with revision date and signature is on revised plan.
- ✓ 3. The total site is currently being platted into one lot. We realize you will not sign off for building permit approval until the platting has been approved, but would like to get drainage plan approval with the contingency of plat approval.
- ✓ 4. The calculations enclosed will reflect runoff before demolition of the motel located within Tract A.
- ✓ 5. Calculations have been revised using the new criteria within the "Notice of Emergency Rule".
- ✓ 6. A note has been added to the plan indicating the habitable finish floor elevation and the requirement of having the finish floor certified by the engineer prior to C.O.
7. Downstream capacity has been analyzed using revised calculations.

Your timely assistance in this matter is appreciated.

Cordially yours,

CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC.

Jackie S. McDowell
JSM:mf

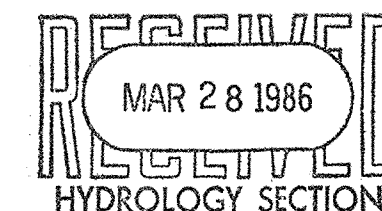


VICINITY MAP J-14-Z

NOTICE TO CONTRACTOR:

- THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION, 1985 WILL BE REFERRED TO HEREON AS THE "STANDARD SPECIFICATION".
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
 - IF CURB IS DEEPER FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
 - CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL DURING THE CONSTRUCTION PHASE, INCLUDING ANY PROVISIONS THAT NEED TO BE TAKEN TO DIVERT ANY SEDIMENT FROM ENTERING THE CITY RIGHT-OF-WAY. F.F. ELEV. WILL NEED TO BE CERTIFIED BY THE ENGINEER PRIOR TO C.O. RELEASE.
- GENERAL NOTES:
- TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A SURVEY PREPARED BY TOM MANN ASSOCIATES, INC. #3792, IN JANUARY AND FEBRUARY OF 1986.
 - PROJECT BENCHMARK: RIM OF MANHOLE LOCATED IN THE INTERSECTION OF ASPEN AVE. N.W. AND 3rd STREET N.W. ELEVATION = 4958.81 (MSLD). ACS BENCH MARK: A SQUARE, CHISELED ON TOP OF CONCRETE CURB AT THE NORTH/NORTHWEST CORNER LOCATED AT THE INTERSECTION OF 4th STREET N.W. AND CONSTITUTION AVE. N.W. ELEVATION = 4958.194 (MSLD 1929).
 - LEGAL DESCRIPTION: TRACT A AND LOTS 277 & 278A, BLOCK 3, MATHEW ADDITION.
 - REQ'D FLOOD PLAIN ELEV. = 4960.59.
 - KEYED NOTES:

- CONSTRUCT NEW HEADER CURB AS PER CITY STD. DWG. P-8 OR APPROVED EQUAL, MATCH EXISTING ELEVATIONS.
- CONSTRUCT NEW STANDARD CURB AS PER CITY STD. DWG. P-8 OR APPROVED EQUAL, MATCH EXISTING ELEVATIONS.
- MATCH NEW ELEVATIONS TO EXISTING ASPHALT ELEVATIONS.
- CONSTRUCT 1' WIDE VALLEY GUTTER SIMILAR TO ALLEY GUTTER AS PER CITY STD. DWG. P-8 OR APPROVED EQUAL.
- PROVIDE 1' WIDE CURB OPENING.
- PROVIDE 1' WIDE SIDEWALK CULVERT AS PER CITY STD. DWG. K-16.



DRAINAGE PLAN

SUNWEST BANK DRIVE-UP FACILITY

LOCATION AND DESCRIPTION:

THE SITE IS LOCATED SOUTH OF ASPEN AVENUE BETWEEN 3rd STREET AND 4th STREET CONTAINING APPROXIMATELY 2.17 ACRES. THE SITE IS PRESENTLY DEVELOPED, FAIRLY LEVEL, AND SLOPES TO 4th STREET, ASPEN AVENUE, AND 3rd STREET.

EXISTING CONDITION:

NO OFF-SITE RUNOFF ENTERS THE SITE DUE TO EXISTING ELEVATIONS. EXISTING RUNOFF ENTERS THE BOUNDARY STREETS AND IS PARTIALLY INTERCEPTED BY A STORM SEWER IN 3rd STREET. THE AREA OF THE SITE IS COMPLETELY DEVELOPED, THEREFORE RUNOFF IN THIS AREA WILL NOT INCREASE.

PROPOSED CONDITION:

PROPOSED DEVELOPMENT OF THE SITE INCLUDES A NEW DRIVE-UP FACILITY WITH ASSOCIATED DRIVING LANES, PARKING, AND LANDSCAPING. PROPOSED DEVELOPMENT OF THIS SITE WILL REDUCE TOTAL RUNOFF FROM THE SITE - SEE CALCULATIONS. WHEN SYSTEM 128-02B (A.M.D.S.) IS CONSTRUCTED, FLOOD PLAINS ON 2nd STREET AND 4th STREET BETWEEN MENAUL BOULEVARD AND ASPEN AVENUE WILL BE REMOVED. ALSO FLOOD PLAINS ON 1st STREET, 2nd STREET, AND 3rd STREET BETWEEN LOMAS BOULEVARD AND ASPEN AVENUE WILL BE REMOVED.

CALCULATIONS:

AREA = 2.17 ACRES
SOIL SERIES - Gc
HYDROLOGIC SOIL GROUP - B
I = 2.2 IN./HR. PLATE 22.2 D-2
6-HOUR, 100-YEAR RAINFALL = 2.2 IN. PLATE 22.2 D-1
I = (2.2)/(2.2) = 4.84 IN./HR.

EXISTING ON-SITE CONDITIONS:

PERCENT IMPERVIOUS = 80%
C = .078 PLATE 22.2 C-1
Q(100) = (0.78)(4.84)(2.17) = 8.19 CFS
Q(10) = (0.657)(8.19) = 5.38 CFS
CN = 90 PLATE 22.2 C-2
DIRECT RUNOFF = 1.3 IN. PLATE 22.2 C-4
V(100) = (1.3)(2.17)(43560)/12 = 10240 CU. FT.
V(10) = (0.657)(10240) = 6728 CU. FT.

PROPOSED ON-SITE CONDITIONS:

PERCENT IMPERVIOUS = 70%
C = 0.69 PLATE 22.2 C-1
Q(100) = (0.69)(4.84)(2.17) = 7.25 CFS
Q(10) = (0.657)(7.25) = 4.76 CFS
CN = 85 PLATE 22.2 C-2
DIRECT RUNOFF = 1.0 IN. PLATE 22.2 C-4
V(100) = (1.0)(2.17)(43560)/12 = 7877 CU. FT.
V(10) = (0.657)(7877) = 5175 CU. FT.

LEGEND

BUILDING (EXIST.)	
BUILDING (NEW)	
CURB (EXIST.)	
CURB (NEW)	
CURB & GUTTER (EXIST.)	
CURB & GUTTER (NEW)	
CONCRETE (EXIST.)	
CONCRETE (NEW)	
SPOT ELEVATION (EXIST.)	
SPOT ELEVATION (NEW)	
CONTOUR (EXIST.)	
CONTOUR (NEW)	
ASPHALT (EXIST.)	

GRADING & DRAINAGE PLAN

1" = 20'-0"

CUSTER and ASSOCIATES
ARCHITECTS - PLANNERS, AIA

ALBUQUERQUE, NEW MEXICO 87125
TELEPHONE 505-765-1020

VICTOR J. CHAVEZ
NEW MEXICO
5113
PROFESSIONAL SEAL
3/24/86

SUNWEST BANK
NEW NORTH FOURTH MOTOR BANK FACILITY
ALBUQUERQUE
NEW MEXICO

REVISIONS

GRADING & DRAINAGE PLAN

SHEET NO.
C-2



**CHAVEZ
GRIEVÉS / CONSULTING ENGINEERS, INC.**

4520 MONTGOMERY BLVD., SUITE 3
ALBUQUERQUE, N.M. 87109
(505) 881-7376

LETTER OF TRANSMITTAL

TO:

Design Hydrology Section

DATE:

3/26/86

JOB NO.

RE:

*Sunwest Bank
Drive Up Facility
(J-14/D24)*

Attn: Barbara

MAR 28 1986

GENTLEMEN:

We are sending you ☒ ATTACHED ☐ UNDER SEPARATE COVER the following items:

<input type="checkbox"/> SHOP DRAWINGS	<input type="checkbox"/> CHANGE ORDER	<input type="checkbox"/> SPECIFICATIONS
<input type="checkbox"/> COPY OF LETTER	<input type="checkbox"/> PLANS	
<input checked="" type="checkbox"/> PRINTS	<input type="checkbox"/> SAMPLES	

COPIES	DATE	NO.	DESCRIPTION
--------	------	-----	-------------

1			<i>Grading & Drainage Plan - Revised</i>
1			<i>Info. Sheet</i>
1			<i>Letter responding to comments</i>

THESE ARE TRANSMITTED as checked below:

<input checked="" type="checkbox"/> FOR APPROVAL	<input type="checkbox"/> RETURNED FOR CORRECTIONS
<input checked="" type="checkbox"/> FOR YOUR USE	<input type="checkbox"/> RESUBMIT <input type="checkbox"/> COPIES FOR APPROVAL
<input type="checkbox"/> AS REQUESTED	<input type="checkbox"/> SUBMIT <input type="checkbox"/> COPIES FOR DISTRIBUTION
<input type="checkbox"/> FOR REVIEW AND COMMENT	<input type="checkbox"/> RETURN <input type="checkbox"/> CORRECTED PRINTS
<input type="checkbox"/> APPROVED AS SUBMITTED	<input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US
<input type="checkbox"/> APPROVED AS NOTED	<input type="checkbox"/> FOR BIDS DUE <input type="checkbox"/> 19 <input type="checkbox"/>

REMARKS:

COPY TO:

file

SIGNED:

Jackie S. McDowell

If enclosures are not as noted, kindly notify us at once.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

March 14, 1986

Victor Chavez
Chavez-Grieves Consulting Engineers
4520 Montgomery Blvd., NE Suite #3
Albuquerque, New Mexico 87109

RE: DRAINAGE PLAN FOR SUNWEST BANK DRIVE-UP FACILITY
RECEIVED MARCH 10, 1986 (J-14/D24)

Dear Mr. Chavez:

Based on the information provided on your March 10, 1986 submittal, listed you will find certain items that need to be addressed before final approval:

1. New information sheet with resubmittal designation.
2. Engineer's stamp with revision date and signature.
3. Drainage easement or covenant required for cross-lot line drainage.
4. Field inspection has revealed that the portion within Tract A is completely undeveloped at this time (please adjust calculation to indicate these).
5. You will also need to use the new criteria found within the "Notice of Emergency Rule" signed by the Mayor on January 14, 1986, to recompute your developed undeveloped flow rates.

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

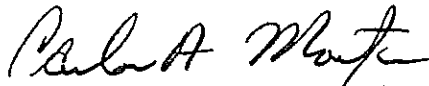
AN EQUAL OPPORTUNITY EMPLOYER

Victor Chavez
March 14, 1986
Page Two of Two

6. You must also indicate that the habitable finish floor elevation is the floodplain elevation, and that the engineer must certify the finish floor after completion.
7. Based on your new calculations, you may need to analyze downstream capacity.

If you have any questions regarding this project, call me at 766-7644.

Cordially,



Carlos A. Montoya, P.E.
City/County Floodplain Administrator

BJM:CAM/bsj

DRAINAGE INFORMATION SHEET

PROJECT TITLE: SUNWEST BANK Lively Fac. ZONE ATLAS/DRNG. FILE #: J-14/024

LEGAL DESCRIPTION: Lots 1 thru 6, 279 & 278a, Block 3,
Malibu Addition

CITY ADDRESS: _____

ENGINEERING FIRM: Chavez-Groves CONTACT: Jackie M^{rs} Daniell

ADDRESS: 4520 Montgomerie #3 PHONE: (505) 881-7376

OWNER: Sunwest Bank CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: Custer and Assoc. CONTACT: Phil Custer

ADDRESS: P.O. Box 25146 PHONE: (505) 765-1020

SURVEYOR: Tom Mann CONTACT: Jeff M. Moresco

ADDRESS: 811 Dallas NE PHONE: (505) 265-5611

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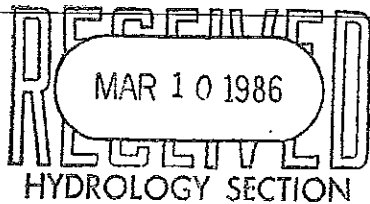
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED



DRB NO. 86-48 1/28/86

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

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☐ ENGINEER'S CERTIFICATION

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☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 3/10/86

BY: Jackie M^{rs} Daniell



**CHAVEZ
GRIEVES / CONSULTING ENGINEERS, INC.**

4520 MONTGOMERY BLVD., SUITE 3
ALBUQUERQUE, N.M. 87109
(505) 881-7376

LETTER OF TRANSMITTAL

TO:

Design Hydrology
Section

DATE:

3/10/86

JOB NO.

RE:

Sunwest Bank
Drive Up Facility

Attn: Barbara

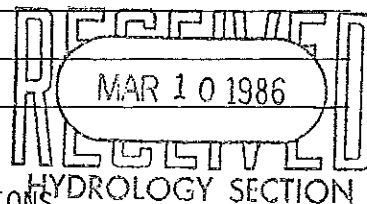
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☐ COPY OF LETTER ☐ PLANS
☐ PRINTS ☐ SAMPLES

COPIES DATE NO. DESCRIPTION

1 Grading & Drainage Plan
1 Info Sheet
1 Conference Recap



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☐ APPROVED AS NOTED ☐ FOR BIDS DUE 19

REMARKS:

COPY TO:

File

SIGNED:

Jackie S. McDowell

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