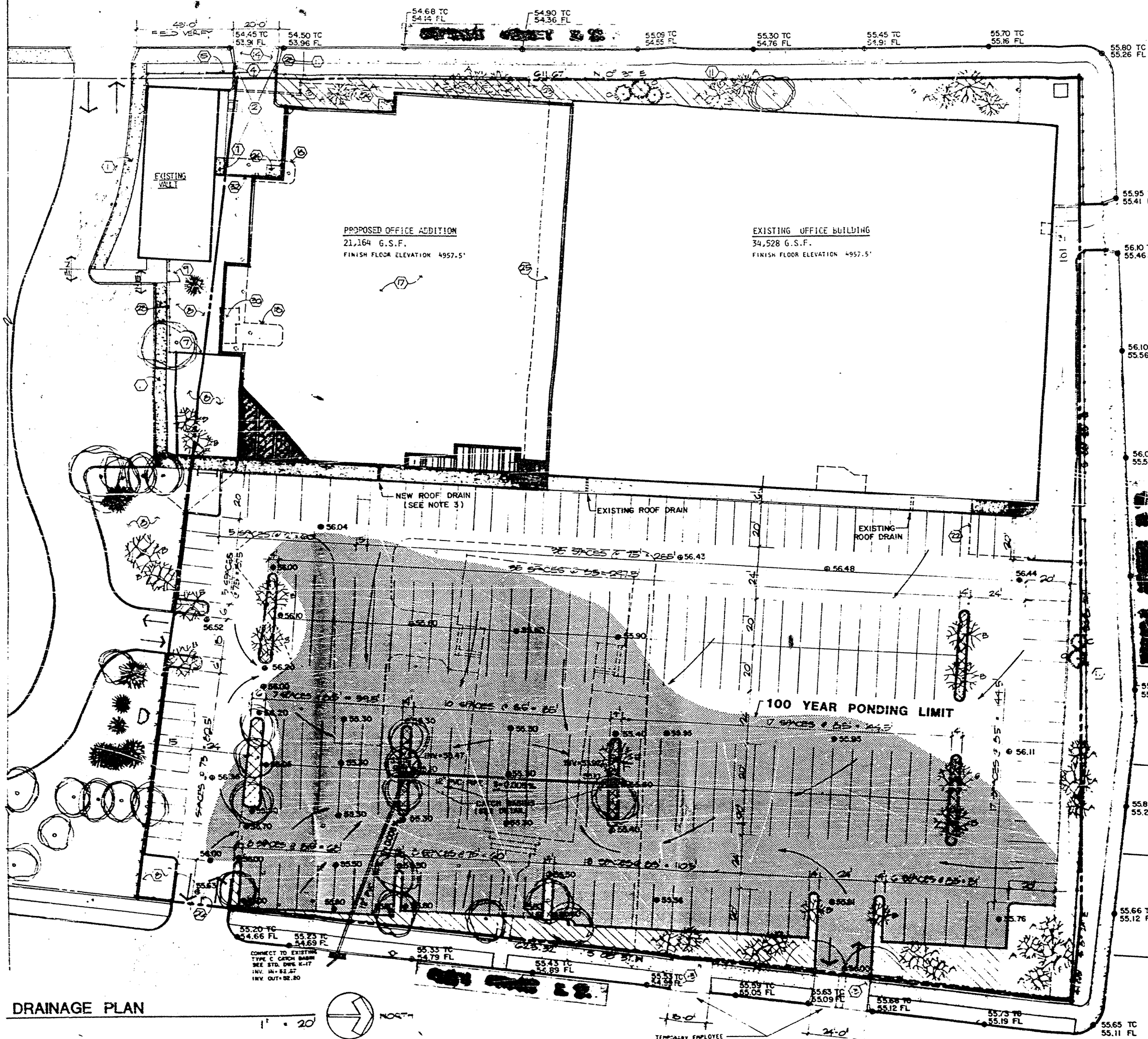
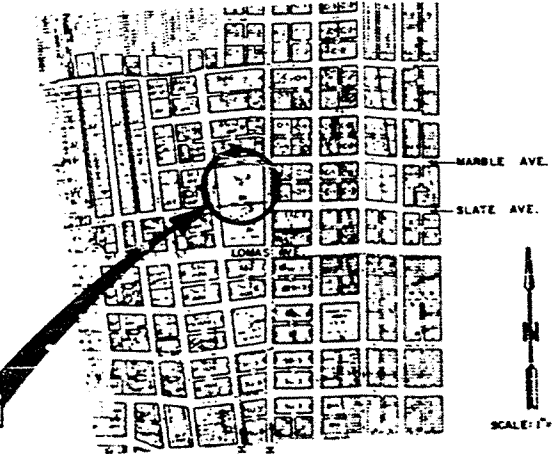




BENCH MARK:
CITY OF ALBUQUERQUE BENCH MARK, 8-224
LOCATED AT THE INTERSECTION OF SLATE AVENUE AND 6TH STREET N.W. IN THE
SOUTHEAST QUADRANT OF THE INTERSECTION.
A SQUARE, CHISELED ON TOP OF CONCRETE
AT THE SSE CURB RETURN.
ELEVATION 4555.157'
TEMPORARY BENCH MARK (TBM) FINISH FLOOR
AT SOUTH ENTRANCE OF EXISTING OFFICE BUILDING
IN N.W. CORNER OF BLOCK. ELEV. 4957.5'

SITE LOCATION

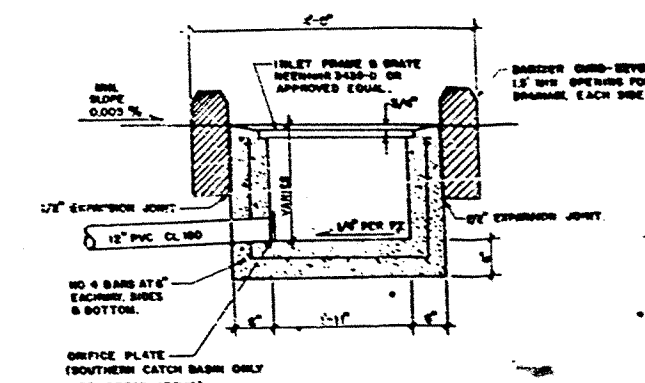
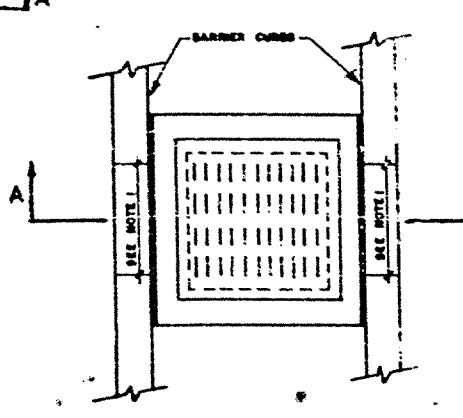
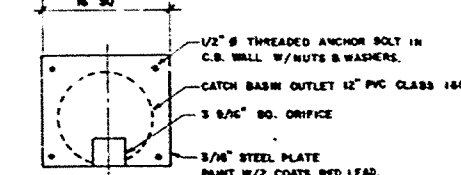


KEYED NOTES

1. NEW 4" CONCRETE SIDEWALK
2. NEW ASPHALTIC PAVING
3. HANDICAPPED RAMP - SEE
4. NEW CONCRETE CURB - SEE
5. EXISTING GATE - SEE
6. TEMPORARY CONSTRUCTION FENCE
7. NEW WOOD FENCE - SEE
8. AREA TO RECEIVE NEW SOO
9. NEW PEDESTRIAN GATE
10. EXISTING TRASH CONTAINERS
11. EXISTING CHAIN LINK FENCING
12. TEMPORARY GATE IN CHAIN LINK FENCING
13. NEW 4" CONCRETE DRIVEWAY (TEMPORARY)
14. NEW 4" CONCRETE DRIVEWAY (PERMANENT)
15. EXISTING CHAIN LINK GATE - SEE
16. NEW 4" CONCRETE SLAB AT OUTSIDE STAIRING AREA
17. REMOVE EXISTING ASPHALTIC PAVING IN AREA OF NEW DRIVEWAY/SLAB AS REQUIRED
18. REMOVE EXISTING CONCRETE CURB
19. NEW TREE IN PLANTING AREA
20. POINT OUT EXISTING STRIPPING - REQUIRED
21. NEW PAVING LOT STRIPPING
22. REMOVE EXISTING BLOCK WALL AND HATCH
23. EXISTING PEDESTRIAN GATE
24. NEW 4" CONCRETE SIDEWALK
25. REMOVE EXISTING CONCRETE SIDEWALK
26. TEMPORARY CONSTRUCTION GATE
27. EXISTING LAWN
28. NEW CHAIN LINK FENCING
29. TEMPORARY RAMP
30. REMOVE BUSHES - SEE PLUMBING SANITARY
31. CONCRETE WALL AND FOOTING TO BE REMOVED
32. NEW CONCRETE WALL

NOTES:

1. MINIMUM 1.5' OPENING IN BARRIER CURB FOR DRAINAGE.
2. SEE FIGURE 1 IN DRAINAGE CALCULATIONS FOR CROSS SECTIONS. CROSS SECTIONS EXTEND FULL LENGTH OF PARKING LOT.
3. ALL ROOF DRAINS ARE TO BE ROUTED TO THE PARKING LOT.



CATCH BASIN DETAILS

DESIGN DATA PROPERTY ZONE: SH-2 OFFICE SEISMIC GROUP: II OCCUPANCY GROUP: II TYPE OF CONSTRUCTION: TYPE II LEGAL DESCRIPTION: BLOCK 25, PERFECTO AMPLIC & BROTHERS ADDITION, 775 6TH N.W., ALBUQUERQUE, NEW MEXICO, USA	PARKING/LANDSCAPING REQUIREMENTS 1 PARKING SPACE REQUIRED/2000 SQ. FT. NET LEASABLE SPACE 31,686 S.F. NET LEASABLE AREA (EXISTING) 1,216 S.F. NET LEASABLE AREA (NEW) 32,902 S.F. NET LEASABLE (TOTAL) 12,194 27% SPACES 207 10% TRANSIT REDUCTION 7% REQUIRED 349 PROVIDED 178 S.F. PAVED PARKING AREA 12,695 S.F. LANDSCAPED AREA PROVIDED	LEGEND EXISTING CONCRETE WALK NEW CONCRETE WALK EXISTING CONCRETE CURB NEW CONCRETE CURB EXISTING TREES, SHRUBS NEW TREES NEW ASPHALT 2" IN EXISTING TREE TO BE REMOVED NEW SPOT ELEVATIONS EXISTING SPOT ELEVATIONS TC TOP OF CURB FL FLOW LINE DIRECTION OF FLOW
	NEW LANDSCAPING LONDON PLANE TREE - 3" CAL ARIZONA GREEN ASH - 2 1/2" CAL FRAXINUS VELUTINA PRUNUS SP. - 6" - 8" UPRIGHT PRUNUS SP. - 6" - 8" UPRIGHT VINCA MAJOR - 1 GAL AT 30" O.C. VINCA MAJOR NERIS BARBERS - 1 GAL AT 30" O.C. BERBERIS THUNBERGII - CRIMSON PIGEON	

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**ALBUQUERQUE NATIONAL BANK
OPERATIONS CENTER
DRAINAGE PLAN**



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REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW MEXICO, LICENSE NO. 10000

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