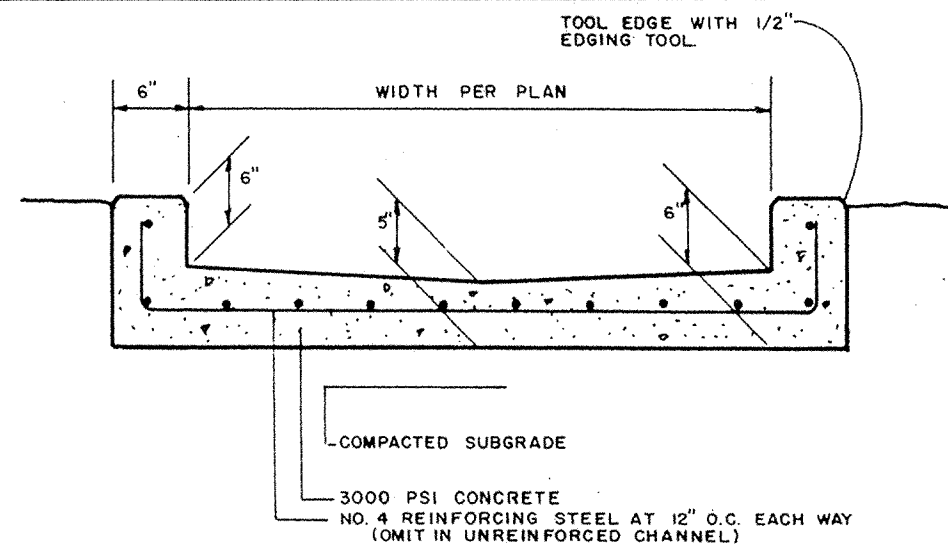




RECTANGULAR CHANNEL

LEGEND

G	GROUND
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
PH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
RD	ROOF DRAINAGE
PED	ELEC. OR TEL. PEDESTAL
---	FEMA FIRM BOUNDARY
---	DRAINAGE BASIN BOUNDARY
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING ELEVATION
---	PROPOSED ELEVATION
---	AS-BUILT ELEVATION

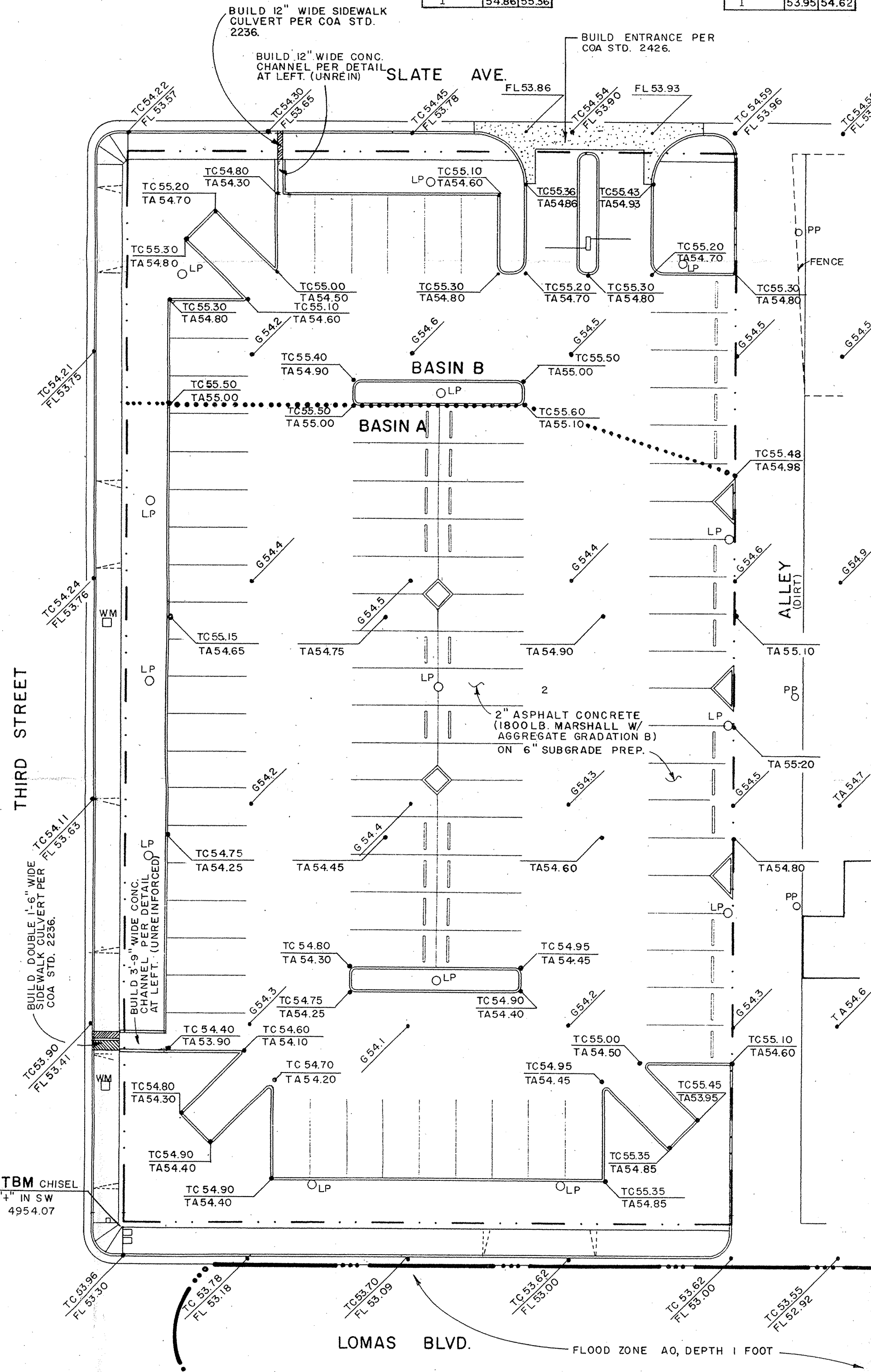
CONSTRUCTION APPROVAL

NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work within the City right-of-way, detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, 1986.
3. Two (2) working days prior to any excavation, the Contractor must contact New Mexico One Call System 260-1990 for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all potential obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to Arterial street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.

APPROVALS	NAME	DATE
A.C.E./ DESIGN	<i>Benny Marquez</i>	11/5/92
INSPECTOR		
A.C.E./ FIELD		

NOTE: REMOVE 4 DRIVEPADS ON THIRD STREET AND 1 DRIVEPAD ON LOMAS BLVD. INSTALL NEW SIDEWALK AND CURB AND GUTTER PER COA STD. 2430 & 2415.



PLAN
SCALE: 1" = 20'
NORTH

CURVE DATA

DELTA = 90°00'00"
RADIUS = 15.00'
ARC = 23.56'
TANGENT = 15.00'

POINT	FL	TC
0	53.82	54.49
1/4	53.91	54.55
1/2	54.14	54.70
3/4	54.47	54.92
1	54.86	55.36

CURVE DATA

DELTA = 90°00'00"
RADIUS = 15.00'
ARC = 23.56'
TANGENT = 15.00'

POINT	FL	TC
0	54.93	55.43
1/4	54.95	55.45
1/2	54.23	54.73
3/4	54.02	54.52
1	53.95	54.62

DRAINAGE DATA

PRECIPITATION ZONE 2

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE	BASIN
	year	(TABLE 4)	sq. ft.	(TABLE 8)	(TABLE 9)	cu. ft.	cfs	
EXISTING	100	C	34404	1.13	3.41	3240	2.69	A+B
	10	C	34404	0.52	1.71	1491	1.35	A+B
PROPOSED	100	B	3730	0.78	2.28	242	0.20	A
		D	21548	2.12	4.70	3807	2.33	A
		TOTAL	25278			4049	2.53	A
	10	B	3730	0.28	0.95	87	0.08	A
		D	21548	1.34	3.14	2406	1.55	A
		TOTAL	25278			2493	1.63	A
	100	B	2816	0.78	2.28	183	0.15	B
		D	5554	2.12	4.70	981	0.60	B
		TOTAL	8370			1164	0.75	B
	10	B	2816	0.28	0.95	66	0.06	B
		D	5554	1.34	3.14	620	0.40	B
		TOTAL	8370			686	0.46	B
	100		34404			5213	3.28	A+B
	10		34404			3179	2.09	A+B

BASIN OUTLETS

BASIN A

$$Q = CLH^{1.5} = 2.8(L)(0.45)^{1.5} = 2.53 \text{ cfs}$$

$$L = 2.99 \text{ ft} \quad \text{USE } L = 3'-9" \text{ w/ Dbl } 1'-6" \text{ Sidewalk Culvert}$$

BASIN B

$$Q = CLH^{1.5} = 2.8(L)(0.45)^{1.5} = 0.75 \text{ cfs}$$

$$L = 0.88 \text{ ft} \quad \text{USE } L = 1'-0"$$

DRAINAGE CONDITIONS

EXISTING CONDITION

THE SITE IS PRESENTLY DEVELOPED AS A GRAVELED PARKING LOT WITH A GENERAL SLOPE IN A WESTERLY DIRECTION. THERE IS NO CURB OR LANDSCAPING TO CONTROL OR DIRECT DISCHARGE FROM THE SITE. THERE ARE NUMEROUS LOW SPOTS ON THE SITE WHICH POND WATER. THERE IS AN UNPAVED ALLEY ALONG THE EAST SIDE OF THE SITE. THE ALLEY AND PORTIONS OF THE PROPERTY EAST OF THE ALLEY DRAIN ACROSS THE SUBJECT SITE.

PROPOSED CONDITION

THE SITE IS TO BE GRADED, CURBED, PAVED AND LANDSCAPED. GRADES HAVE BEEN DESIGNED ALONG THE EAST SIDE OF THE SITE TO ACCOMMODATE THE CONSTRUCTION OF THE ALLEY WHEN NEEDED. THIS SITE DOES NOT USE THE ALLEY FOR DRAINAGE OR VEHICULAR ACCESS. ALL DRAINAGE GENERATED ONSITE WILL BE DIRECTED TO PUBLIC STREETS VIA DRIVES OR SIDEWALK CULVERTS.

CONCLUSIONS

DISCHARGE RATES AND VOLUMES WILL INCREASE APPROXIMATELY 22% AND 60% RESPECTIVELY FOR THE 100 YEAR STORM.

SHEET FLOWS ACROSS PUBLIC SIDEWALKS WILL BE ELIMINATED.

SEDIMENT FROM THE SITE WILL BE ELIMINATED.

PARKING LOT NUISANCE PONDING WILL BE ELIMINATED.

THE SOUTHERLY BOUNDARY ADJUTS A FLOOD HAZARD AREA ZONED A0 - 1 FOOT DEEP, PER FEMA FIRM NO. 28, DATED OCTOBER 14, 1983. THE SITE IS NOT IMPACTED BY THE ZONED AREA.

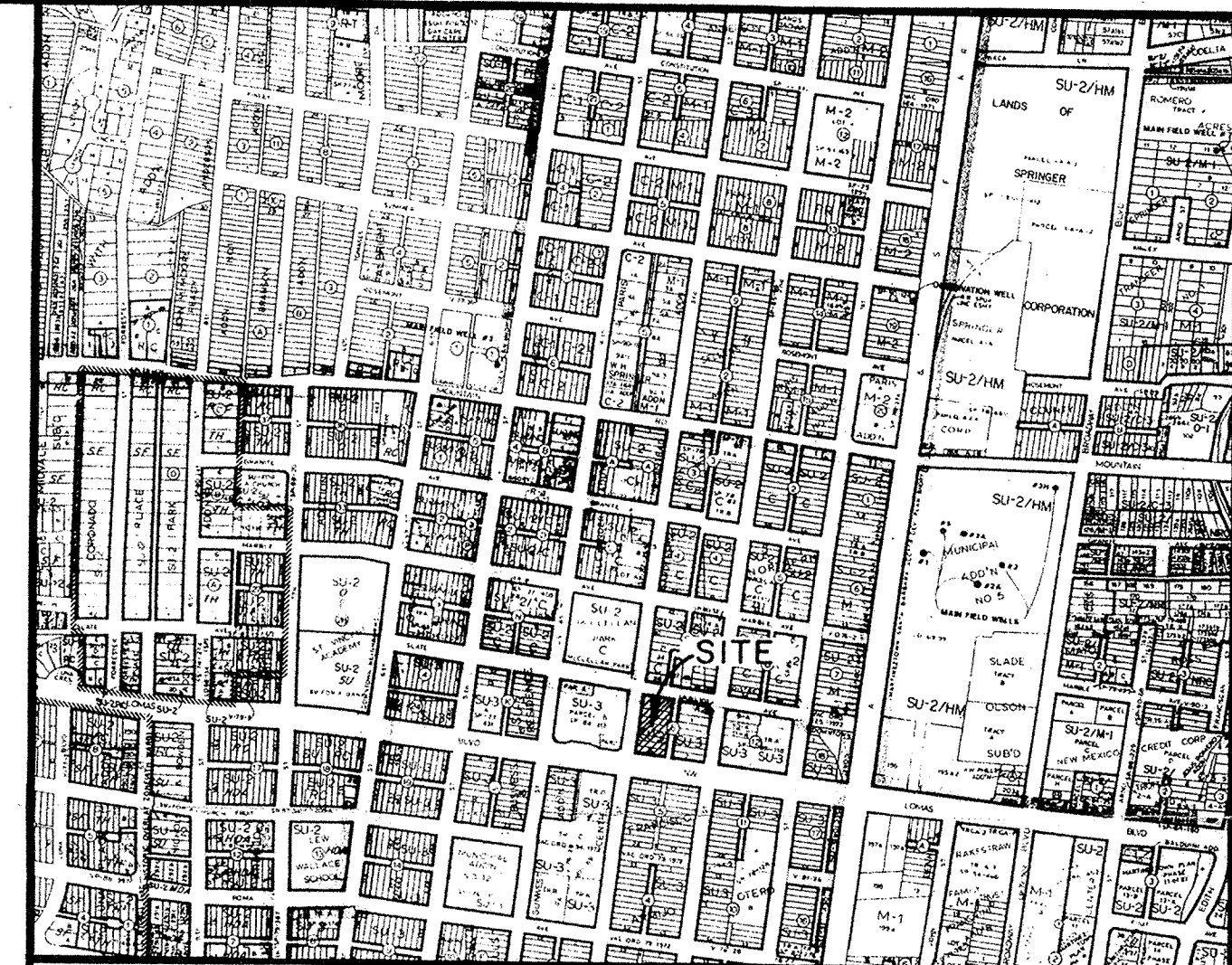
CONSTRUCTION NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

VICINITY MAP J-14



FEMA FIRM NO. 28



LEGAL DESCRIPTION

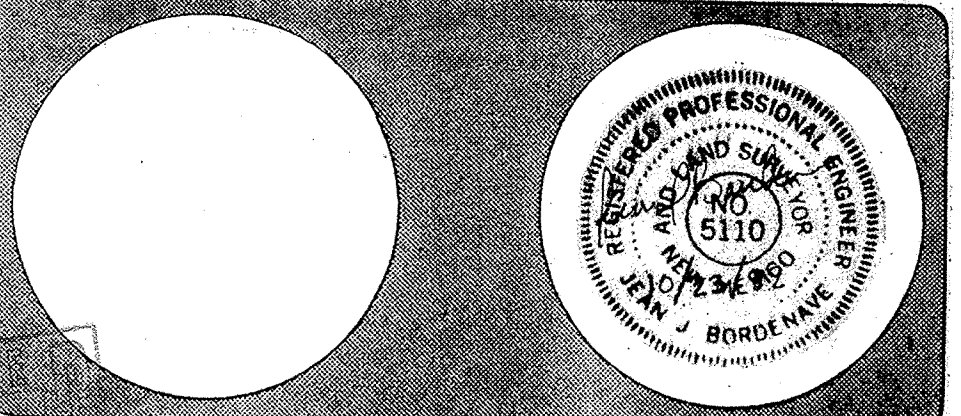
LOTS 10 THRU 16 & TRACT B, BLOCK 6, FRANCISCO ARMIJO Y OTERO ADDITION

CITY BENCHMARK

ACS 2-J14R ELEVATION 495440
ACS DISK IN SIDEWALK AT THE NORTHWEST CORNER OF THE FOURTH STREET / LOMAS BOULEVARD INTERSECTION.

Van H. Gilbert Architect AIA

Architecture Planning
319 Central NW, Suite 201, Albuquerque, NM, 87102 505/247-9955



OFFSITE PARKING LOT

UNITED NEW MEXICO BANK
ALBUQUERQUE, NEW MEXICO

Date: 10/23/92 Drawn By: JJB

GRADING AND DRAINAGE

Sheet
CI of