

GRADING and DRAINAGE PLAN 1" = 20'

LEGAL DESCRIPTION

ALL OF BLOCK 13, PERFECTO ARMIJO AND BROTHERS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE AS SHOWN AND DESIGNATED ON THE PLAT OF WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1987 IN BOOK D, FOLIO 116, BEING A PORTION OF SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

ALBUQUERQUE CONTROL STATION "4-J14" DATA: STANDARD ACS BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X=379591.81, Y=1487918.13, GROUND TO GRID FACTOR = 0.99967970, DELTA ALPHA = -00°13'53"

HYDROLOGY CALCULATIONS

ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE
 PRECIPITATION ZONE 2 - PER DPM 22.2
 100 - YR Design Storm (P) Depth (in)
 1hr 6hr 24hr 4day 10day
 2.01 2.35 2.75 3.30 3.95

EXISTING CONDITIONS									
TREATMENT CLASS	AREA (ACRE)	AREA %	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0
B	0.247	14%	0.78	2.28	0.56	699	699	699	699
C	0.194	11%	1.13	3.14	0.61	796	796	796	796
D	1.349	75%	2.12	4.70	6.34	10,381	12,340	15,033	18,216
TOTALS	1.790	100%			7.51	11,876	13,835	16,529	19,711

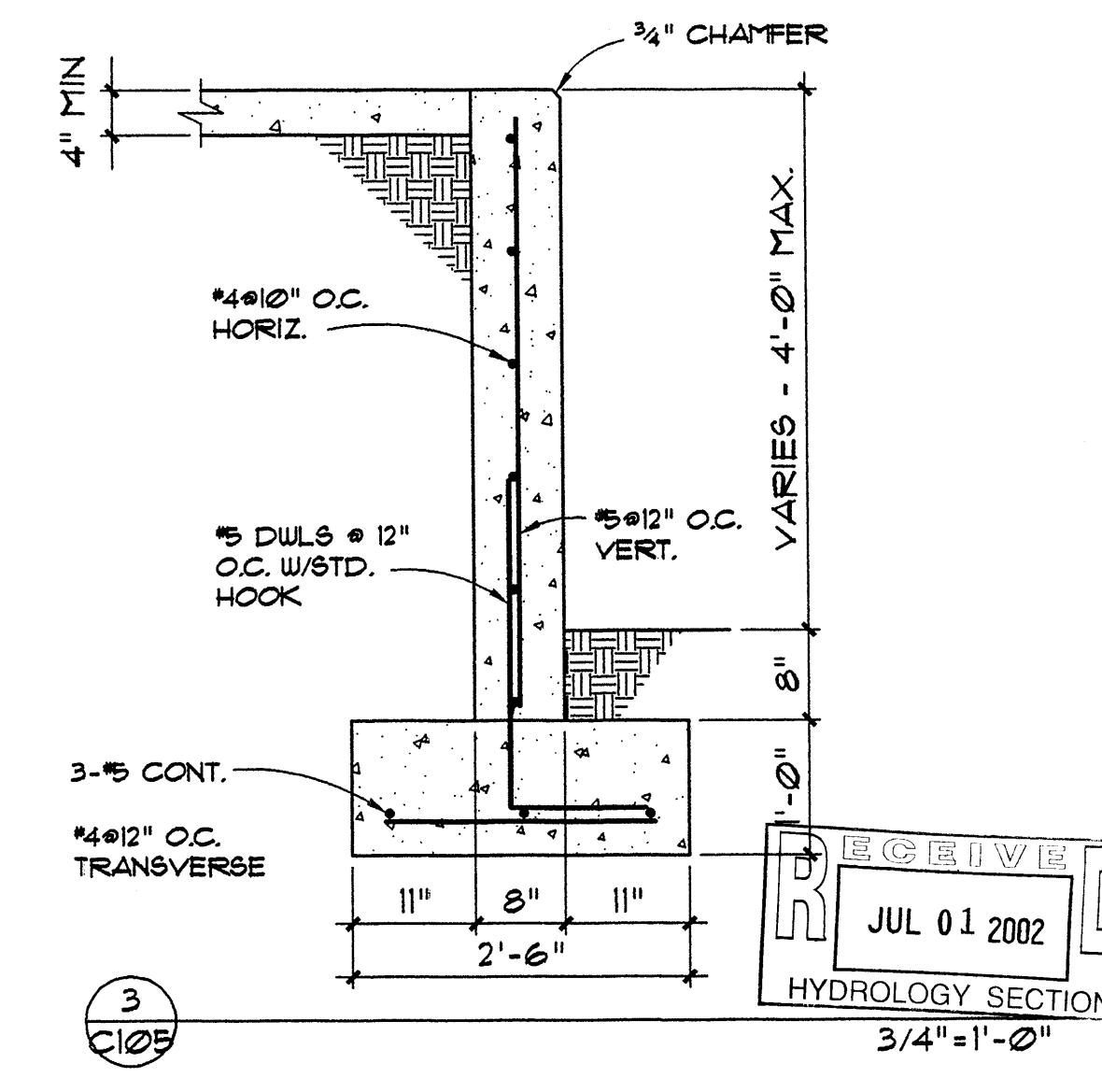
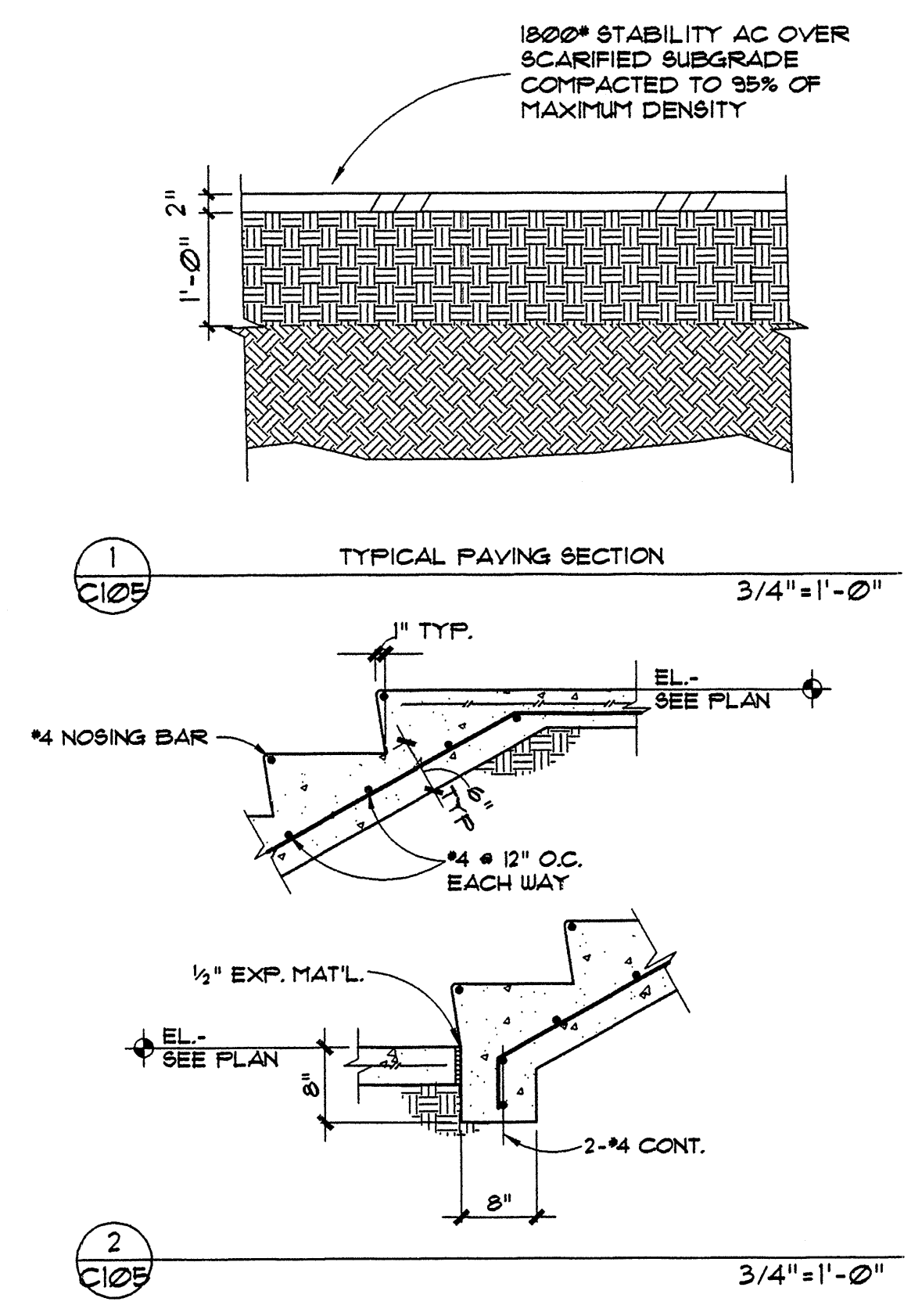
PROPOSED CONDITIONS									
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A	0.00	0%	0.53	1.56	0.00	0	0	0	0
B	0.281	16%	0.78	2.28	0.64	796	796	796	796
C	0.078	4%	1.13	3.14	0.24	320	320	320	320
D	1.431	80%	2.12	4.70	6.73	11,012	13,090	15,947	19,324
TOTALS	1.790	100%			7.61	12,128	14,206	17,063	20,439

KEYED NOTES

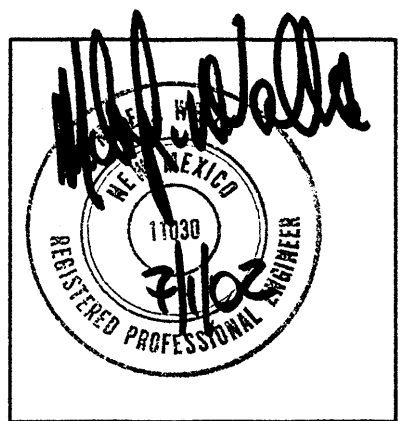
- 1 CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425
- 2 NEW ASPHALT CONCRETE PAVING SEE SECTION 1/C105
- 3 EXISTING CONCRETE BASKETBALL COURT TO REMAIN
- 4 NEW TREE WELL AT EXISTING TREES SEE ARCH.
- 5 EXISTING ASPHALT PAVING TO REMAIN
- 6 18" WIDE CONCRETE MOW STRIP SEE ARCH

LEGEND

- PROPERTY LINE
- 2030' PROPOSED SPOT ELEVATION
- 54.01' EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- SWALE DIRECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- TC TOP OF CONCRETE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW ASPHALT PAVING



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 Structural Engineering
 Civil Engineering
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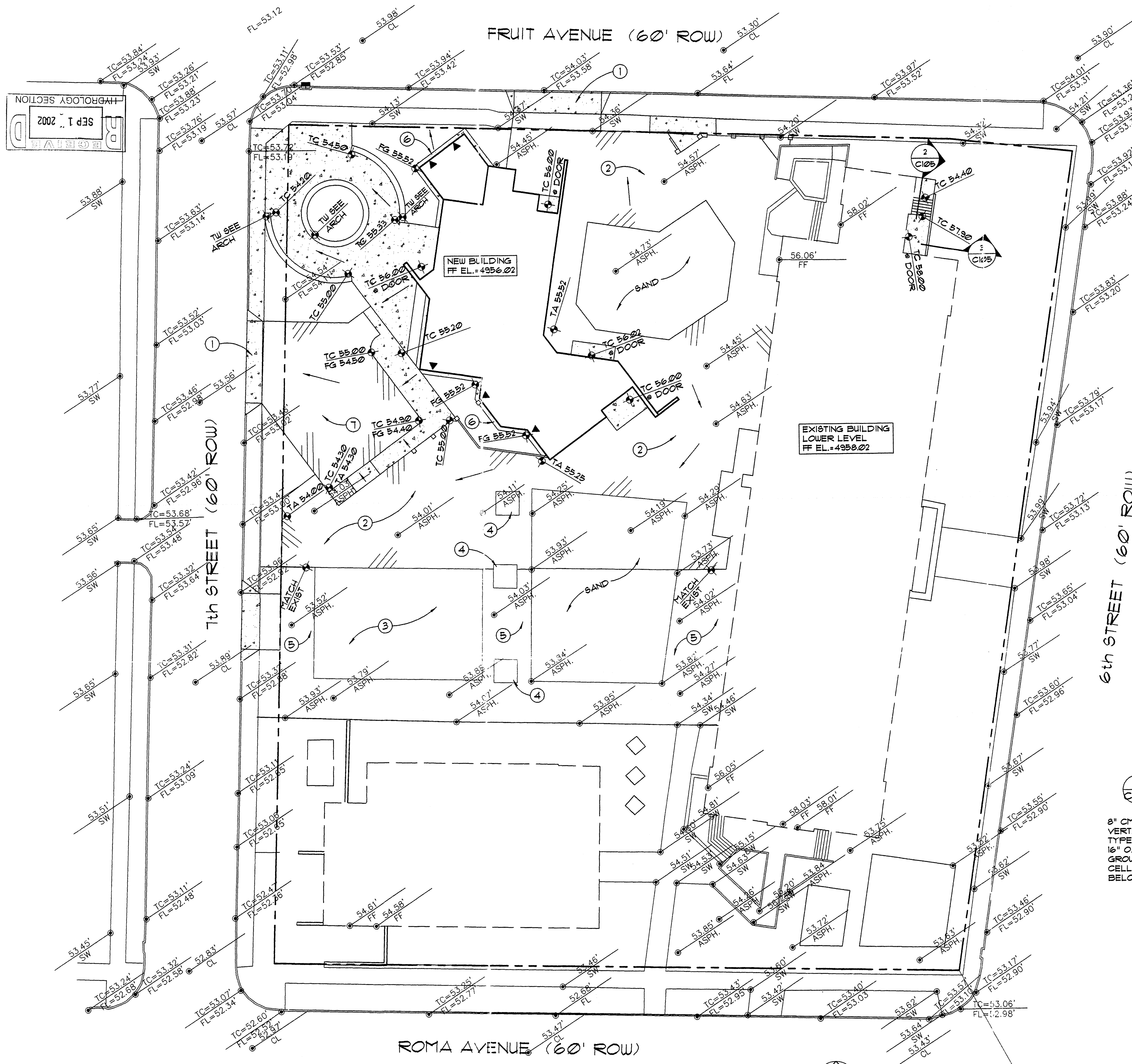
WRIGHT AND HAMMER
 ARCHITECTS
 1735 ALISO DRIVE, N.E.
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 87110 505-266-6764

ALBUQUERQUE PUBLIC SCHOOLS
LEW WALLACE ELEMENTARY SCHOOL
ADDITIONS & IMPROVEMENTS
 PHASE 1
 ALBUQUERQUE, NEW MEXICO

DATE:
 1 JULY, 2002
 REVISIONS:

RECEIVED
 JUL 01 2002
 HYDROLOGY SECTION

SHEET
C
 105
 OF



GRADING and DRAINAGE PLAN

LEGAL DESCRIPTION

ALL OF BLOCK 13, PERFECTO ARMIJO AND BROTHERS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE AS SHOWN AND DESIGNATED ON THE PLAT OF WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1987 IN BOOK D, FOLIO 116, BEING A PORTION OF SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

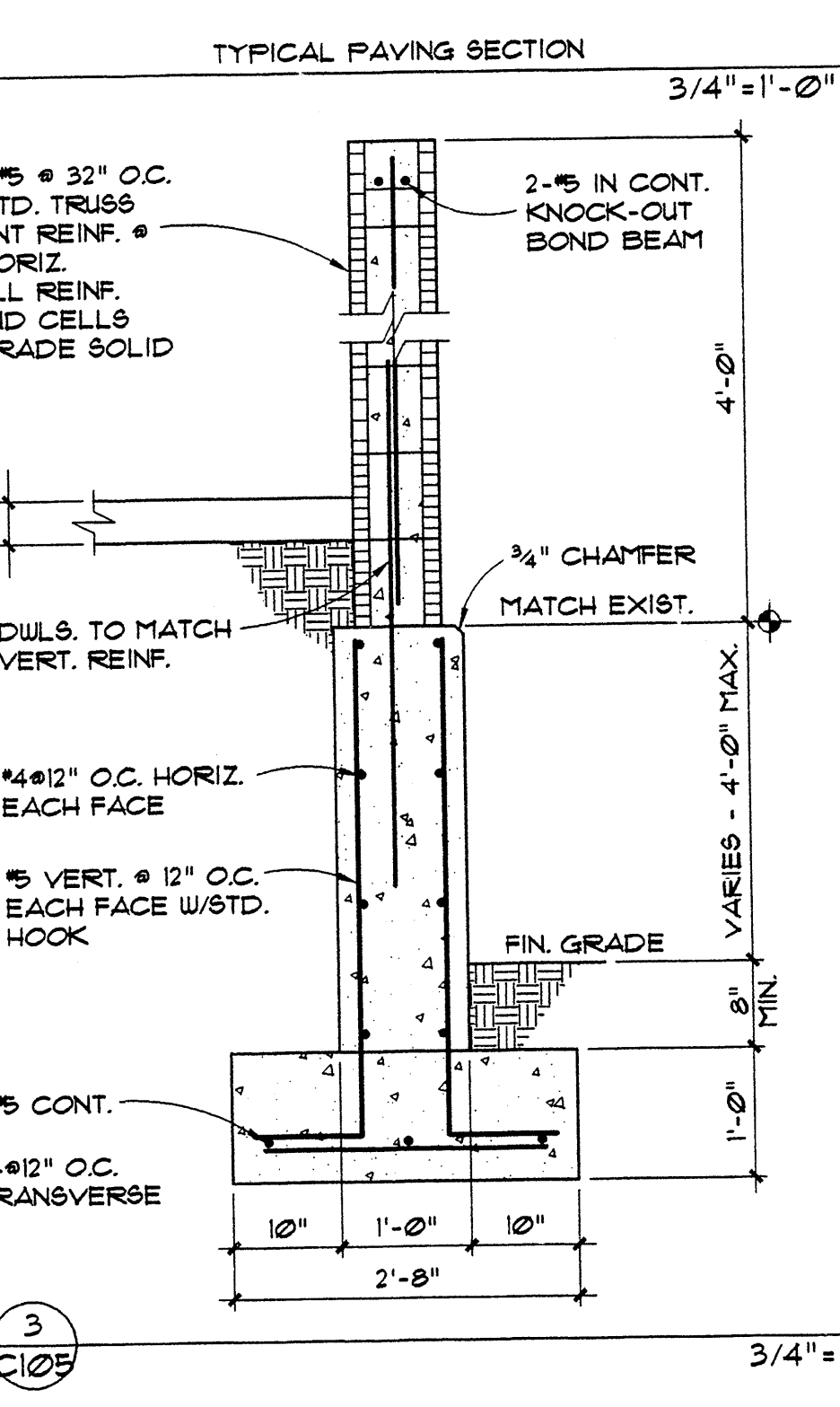
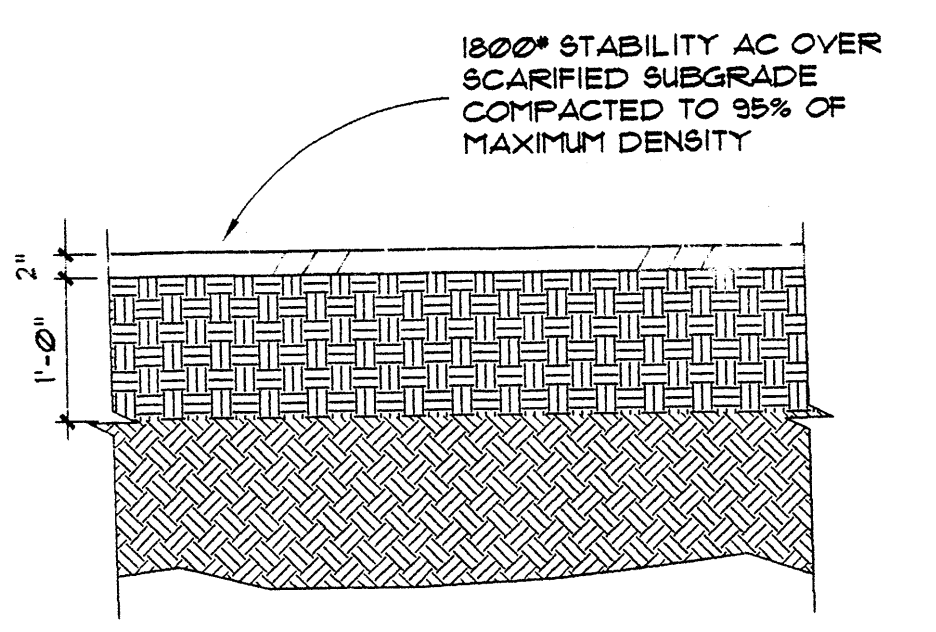
ALBUQUERQUE CONTROL STATION "4-J14" DATA: STANDARD ACS BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X=379871.8, Y=487978.13, GROUND TO GRID FACTOR = 0.99967970, DELTA ALPHA = -00°13'53"

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D	1.349	75%	2.12	4.70	6.34	10,381	12,340	15,033	18,216	18,216
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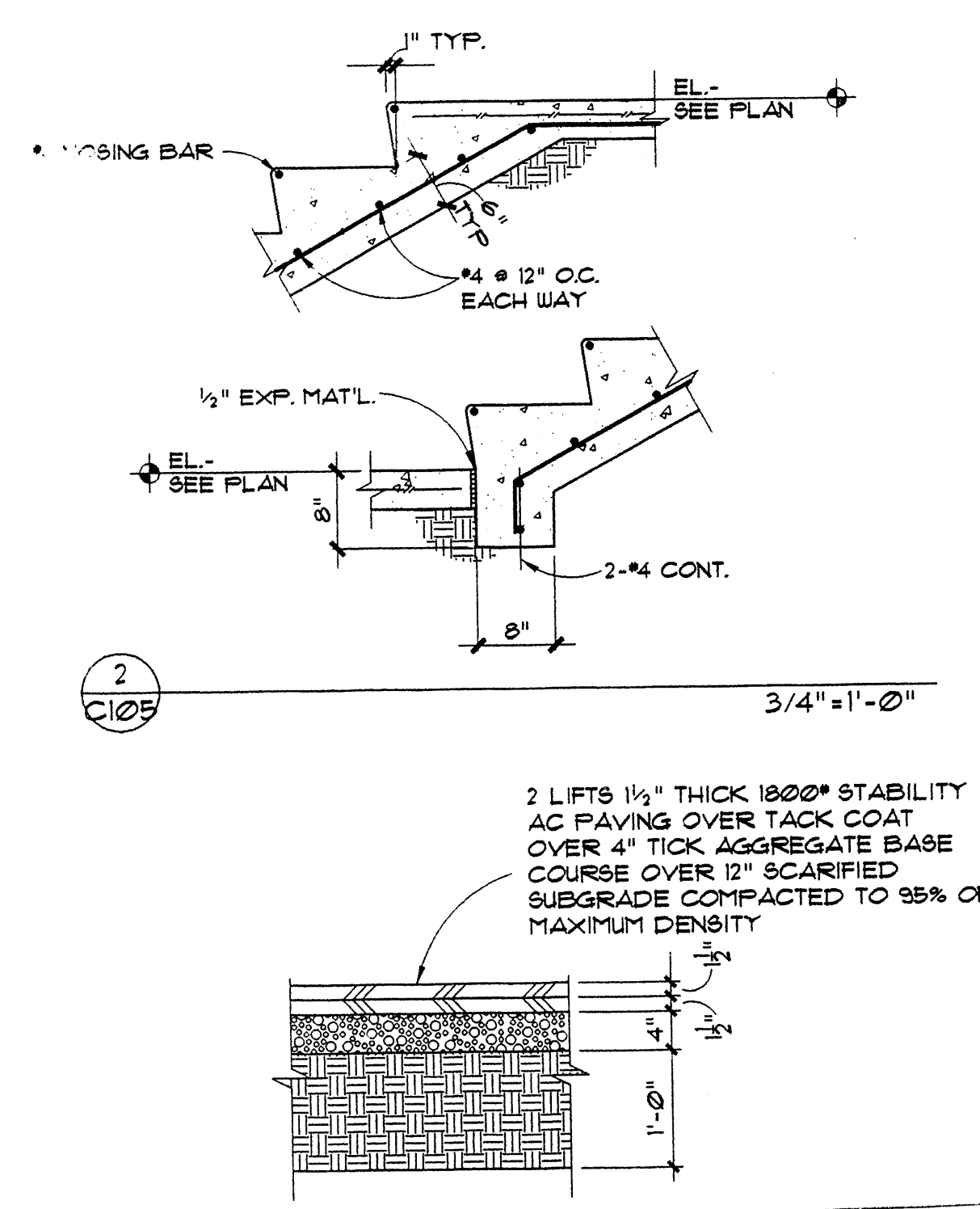


LEGEND

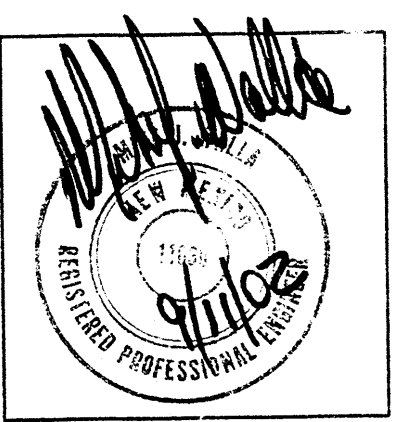
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- FL FLOWLINE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- NEW CONCRETE PAVING
- NEW ASPHALT PAVING
- ROOF DRAIN LOCATION

KEYED NOTES

- CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425
- NEW ASPHALT CONCRETE PAVING SEE SECTION 1/C105
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- NEW ASPHALT CONCRETE PAVING & PARKING LOT SEE SECTION 4/C105



TYPICAL PARKING LOT PAVING SECTION N.T.S.

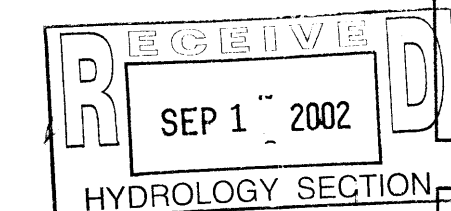


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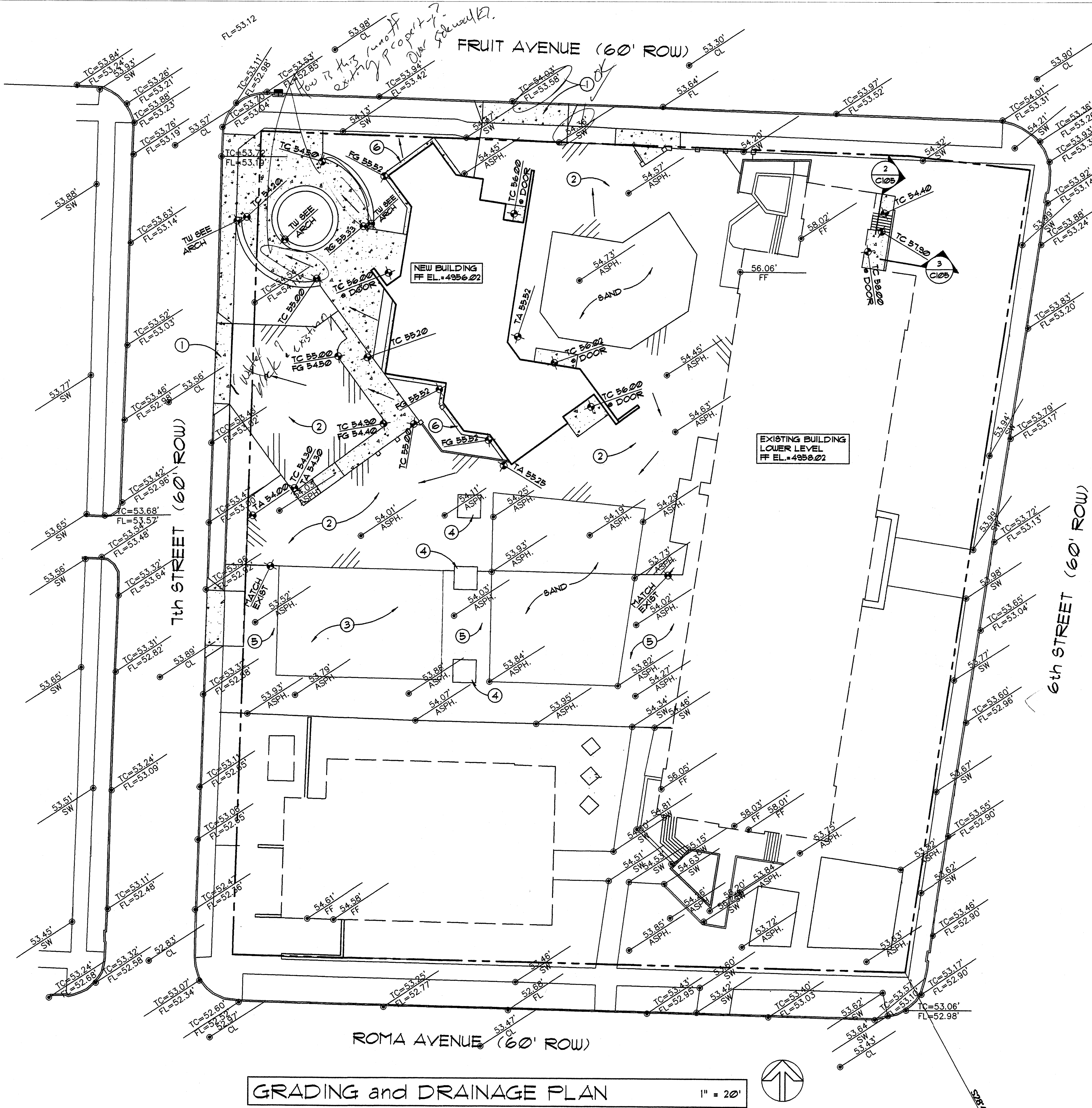
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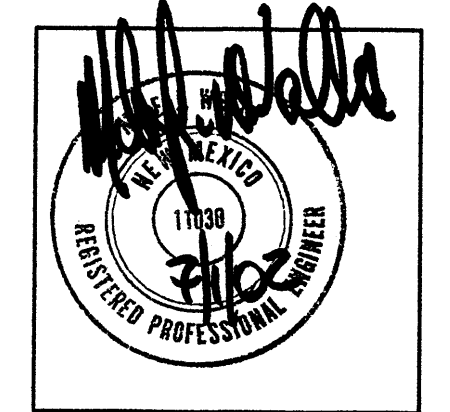
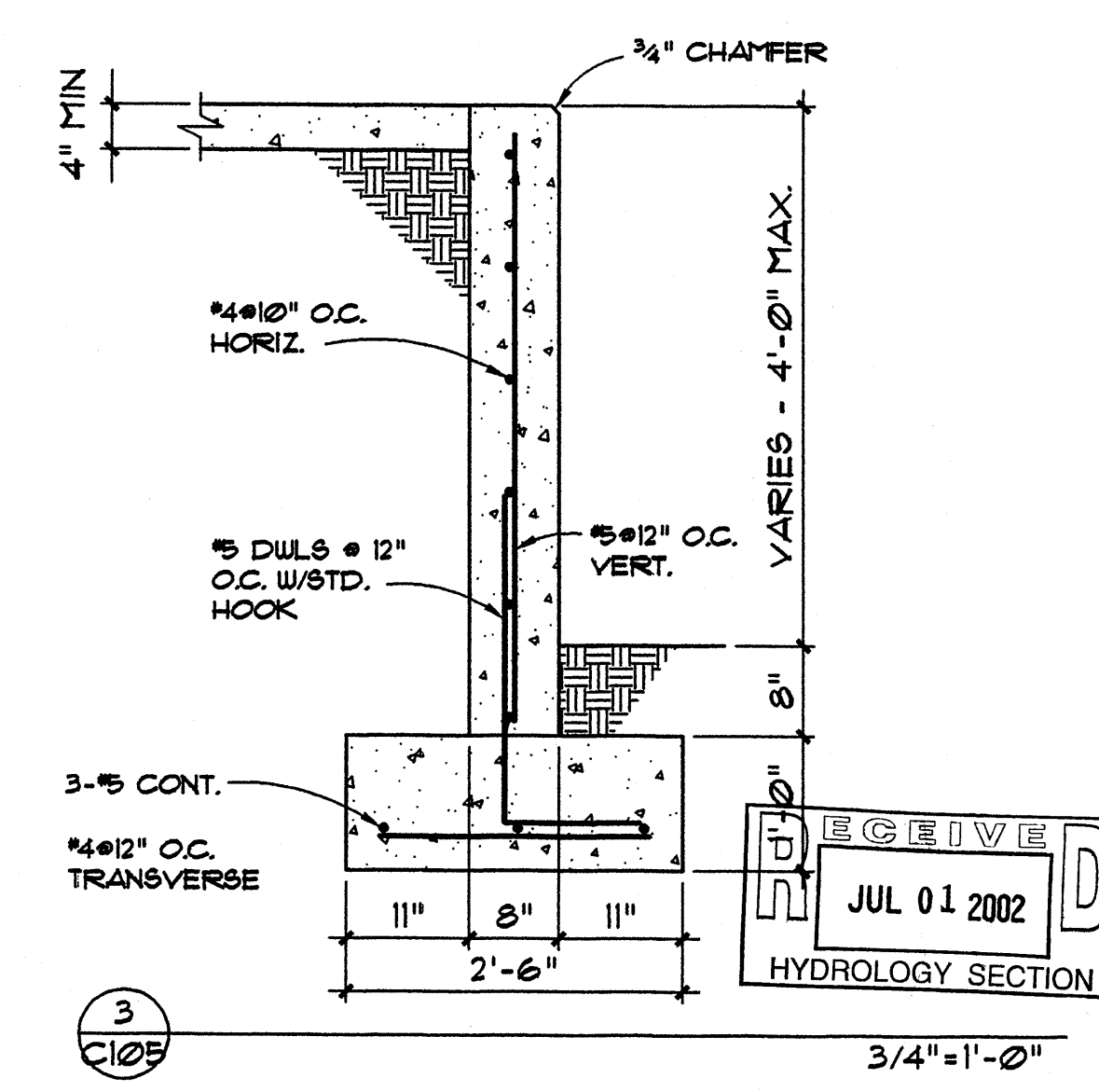
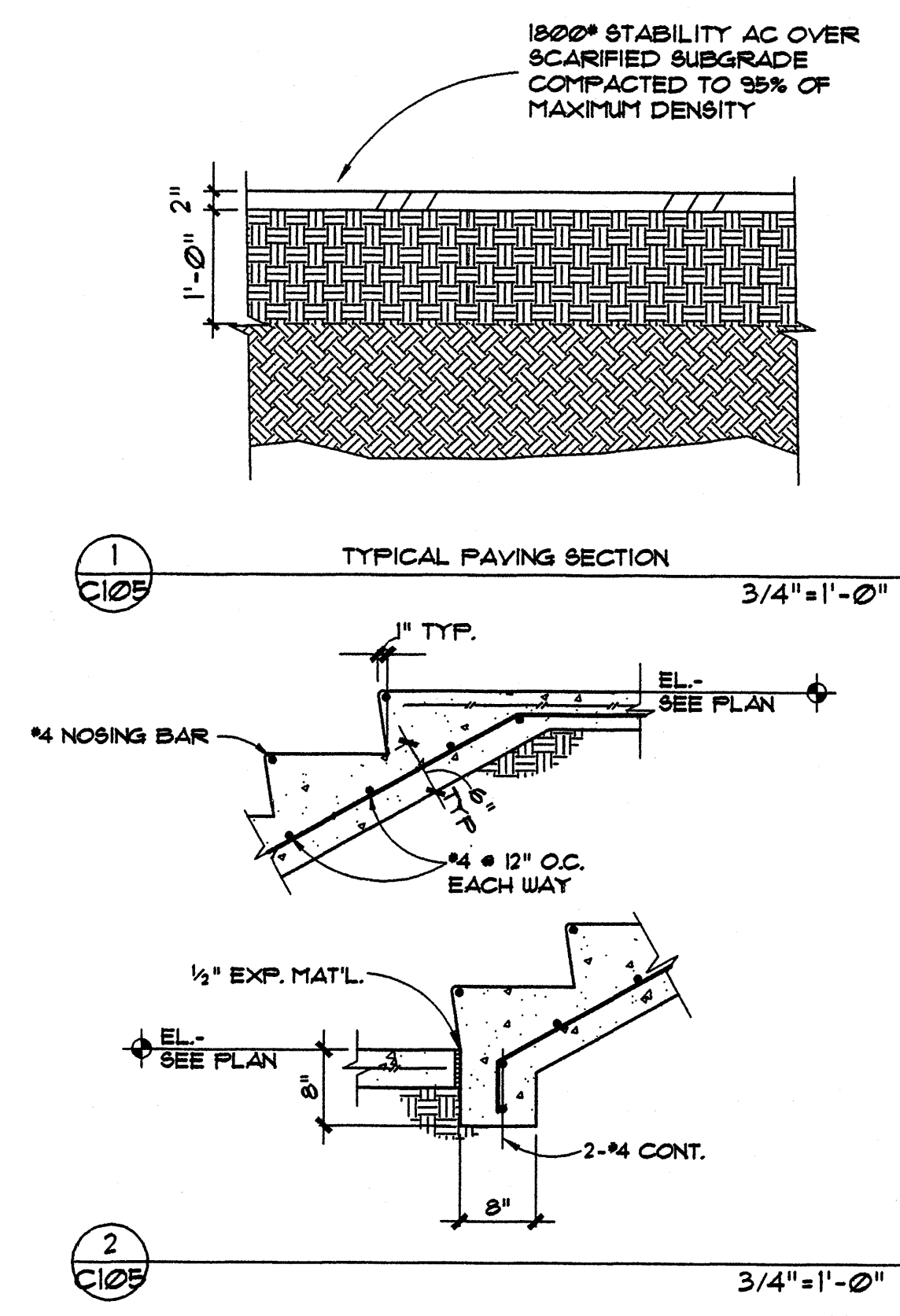


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LEGEND

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JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505)345-4250

GRADING AND DRAINAGE PLAN
LEW WALLACE ELEMENTARY SCHOOL

PROJECT BENCHMARK = TBM

BM # 4-J14; A STANDARD CITY OF ALBUQUERQUE DISK SET IN A SQUARE BLOCK OF CONCRETE, LOCATED IN THE S.W. CORNER OF PLANTER 7.5' EAST OF BACK OF CURB OF 6th ST. AND 22.0' SOUTH OF THE BACK OF CURB OF ROMA STREET.
ELEVATION = 4954.02 FEET (M.S.L.D.)

LEGAL DESCRIPTION

BLOCK 13, ARMINO BROTHERS ADDITION

NOTE: BOUNDARY DATA TAKEN FROM A TOPOGRAPHIC MAP BY ROSS SEYER ENGINEERING, OFFICE, DATED AUGUST 20, 1962; A CURRENT BOUNDARY SURVEY WAS NOT PERFORMED.

DRAINAGE PLAN

The following items concerning the Lew Wallace Elementary School Drainage Plan are contained herein:

1. Vicinity Map
2. Grading Plan
3. Calculations

As shown by the Vicinity Map, fully-developed public streets surround the site on all four sides. Fruit Avenue N.W. is on the north, 6th Street N.W. is on the east, Roma Avenue N.W. is on the south and 7th Avenue N.W. is on the west. This site is an existing school site within a fully developed area, thereby making this a modification to an existing site within an infill area.

As shown by Panel 28 of 50 of the National Flood Insurance Program Flood Boundary and Floodway Maps for the City of Albuquerque, New Mexico, dated October 14, 1983, this site is not located within or adjacent to a designated 100-year Flood Hazard Zone. The site generally slopes to the southwest, and drains to the adjacent streets. Public storm drain improvements are located within the surrounding streets.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations; 2) the limit and character of the existing improvements; 3) the limit and character of the proposed improvements. As shown by this Plan, the proposed improvements consist of minor additions to existing buildings, as well as site paving and landscaping improvements. The historic drainage pattern will not be altered by the new improvements.

The calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The peak discharge of runoff has been calculated using the Rational Method while the SCS Method has been used to quantify the volume of runoff generated. Both Methods have been used in accordance with the City of Albuquerque Development Process Manual, Volume II, coupled with the Mayor's Emergency Rule adopted January 14, 1986. As shown by these calculations, a minor increase in runoff will result from the site improvements. It is proposed that runoff continue to free discharge from the site for the following reasons: 1) this is a modification to an existing site within an infill area, 2) the increase in runoff is minor; 3) the historic drainage pattern in this infill area has not been altered; and 4) the site is adjacent to public storm drain improvements in the adjacent streets.

CONSTRUCTION NOTES:

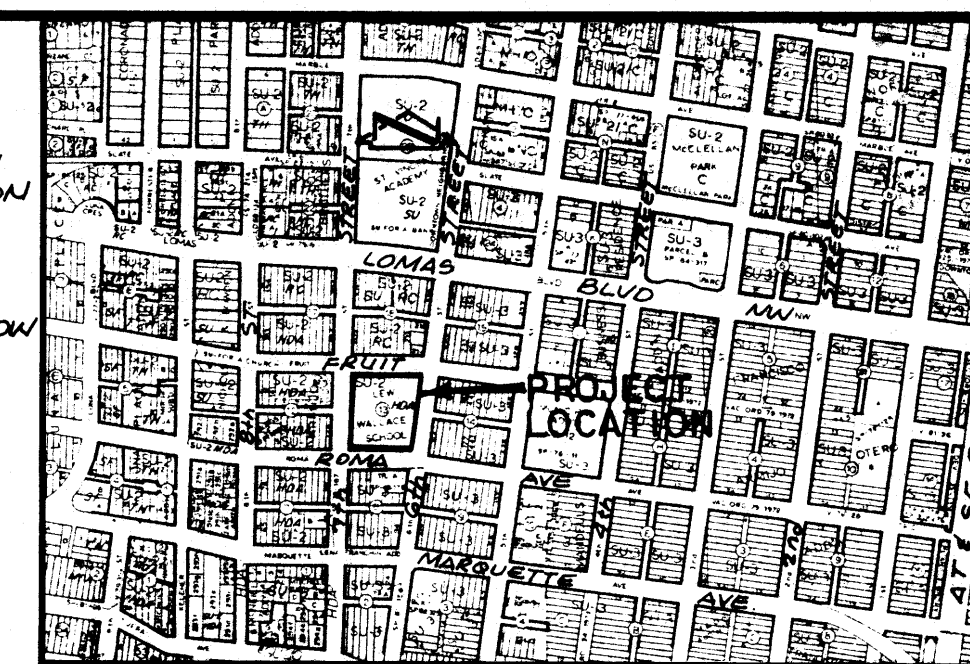
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED DIRECT OF FLOW
- TC TA E TOP OF ASPHALT FLOW LINE



VICINITY MAP
SCALE: 1" = 800' (APPROX.)

CALCULATIONS

Ground Cover Information

From SCS Bernalillo County Soil Survey, Plate 30: Gk - Glendale Loam
Hydrologic Soil Group: B
Existing Pervious CN = 69 (DPM Plate 22.2 C-3)
Open Space: fair condition)
Developed Pervious CN = 69 (DPM Plate 22.2 C-3)
Open Space: fair condition)

Time of Concentration/Time to Peak

$T_c = 0.0078 L^{0.77} / s^{0.385}$ (Kirpich Equation)

$T_p = T_c = 10$ min.

Point Rainfall

$P_6 = 2.22$ in. (DPM Plate 22.2 D-1)

Rational Method

Discharge: $Q = C i A$

where C varies
 $i = P_6 (6.84) T_c^{-0.51} = 4.69$ in/hr
 $P_6 = 2.22$ in (DPM Plate 22.2D-1)
 $T_c = 10$ min (minimum)
 $A =$ area, acres

SCS Method

Volume: $V = 3630(DRO) A$

Where DRO = Direct runoff in inches
 $A =$ area, acres

Existing Condition

$A_{total} = 78,000$ sf = 1.79 Ac
Roof area = 18,000 sf (0.23)
Paved area = 10,000 sf (0.13)
Landscaped area = 12,000 sf (0.15)
Undeveloped area = 38,000 sf (0.49)
 $C = 0.56$ (Weighted average per Emergency Rule, 1/14/86)
 $Q_{100} = C i A = 0.56(4.69)1.79 = 4.7$ cfs
% impervious = 36 %
Composite CN = 79 (DPM Plate 22.2 C-3)
DRO = 0.66 in (DPM Plate 22.2 C-4)
 $V_{100} = 3630 (DRO) A = 4300$ cf

Developed Condition

$A_{total} = 78,000$ sf = 1.79 Ac
Roof area = 19,000 sf (0.24)
Paved area = 33,000 sf (0.42)
Landscaped area = 15,000 sf (0.20)
Undeveloped area = 11,000 sf (0.14)
 $C = 0.72$ (Weighted average per Emergency Rule, 1/14/86)
 $Q_{100} = C i A = 0.72(4.69)1.79 = 6.0$ cfs
% impervious = 66 %
Composite CN = 88 (DPM Plate 22.2 C-3)
DRO = 1.15 in (DPM Plate 22.2 C-4)
 $V_{100} = 3630 (DRO) A = 7400$ cf

Comparison

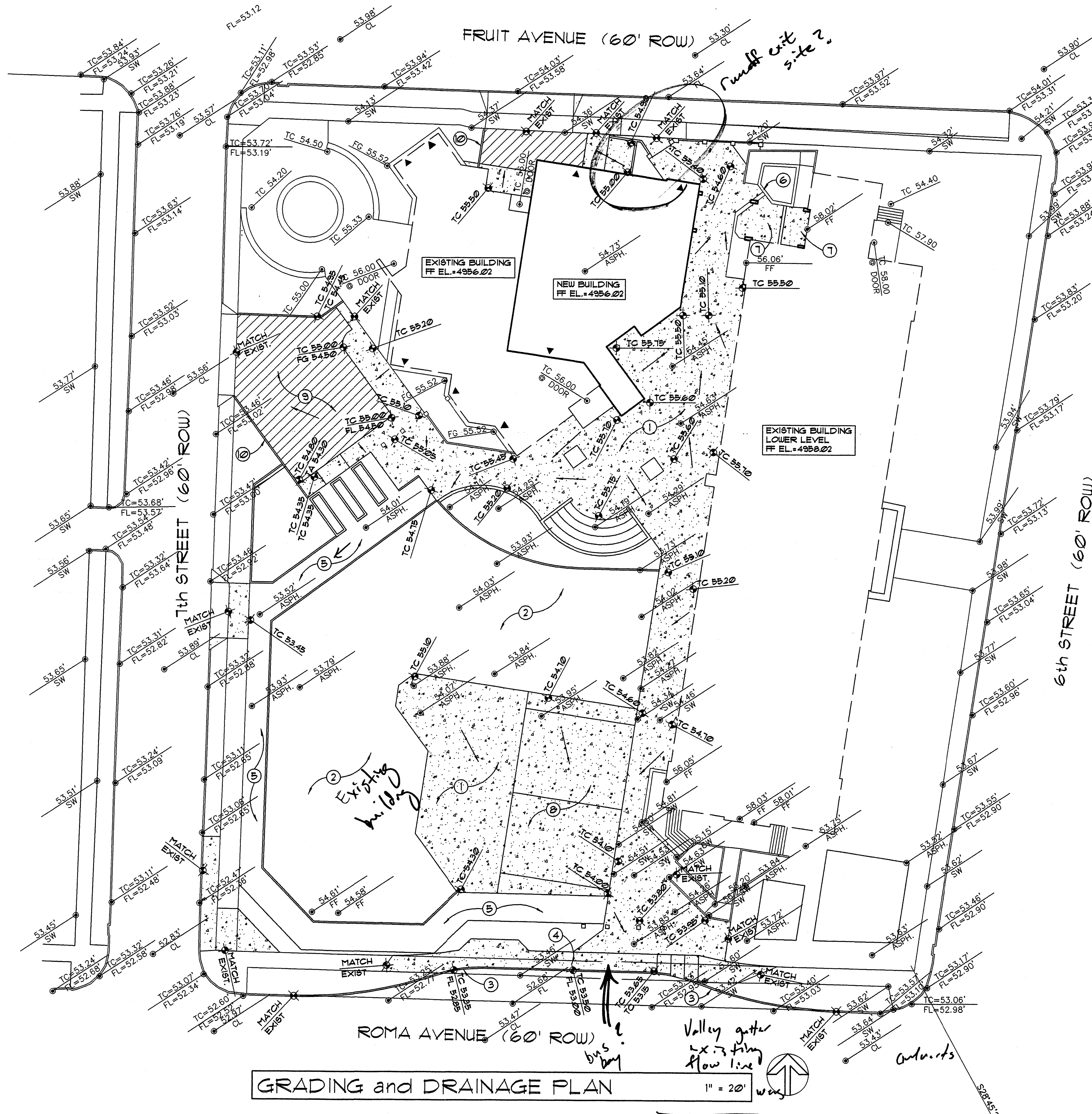
$\Delta Q_{100} = 6.0 - 4.7 = 1.3$ cfs (increase)
 $\Delta V_{100} = 7400 - 4300 = 3100$ cf (increase)



DEC 23 1991

12-20-91

DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
J.P.K.					910862
DRAWN BY					DATE
C.L.B.					11-91
APPROVED BY					SHEET
J.G.M.					OF 1



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ALBUQUERQUE CONTROL STATION "4-J14" DATA: STANDARD ACS BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X=9758181, Y=1481818.13, GROUND TO GRID FACTOR = 0.99961510, DELTA ALPHA = -00°13'53"

HYDROLOGY CALCULATIONS

ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE
PRECIPITATION ZONE 2 - PER DPM 22.2
100 - YR Design Storm (P) Depth (in)
1hr 6hr 24hr 4day 10day
2.01 2.35 2.75 3.30 3.95

EXISTING CONDITIONS TREATMENT CLASS	AREA (ACRE)	AREA %	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0
B	0.247	14%	0.78	2.28	0.56	699	699	699	699
C	0.194	11%	1.13	3.14	0.61	796	796	796	796
D	1.349	75%	2.12	4.70	6.34	10,381	12,340	15,033	18,216
TOTALS	1.790	100%			7.51	11,876	13,835	16,529	19,711

PROPOSED CONDITIONS TREATMENT CLASS	AREA (ACRE)	AREA %	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0
B	0.281	16%	0.78	2.28	0.84	796	796	796	796
C	0.078	4%	1.13	3.14	0.24	320	320	320	320
D	1.431	80%	2.12	4.70	6.73	11,012	13,090	15,947	19,324
TOTALS	1.790	100%			7.61	12,128	14,206	17,063	20,439

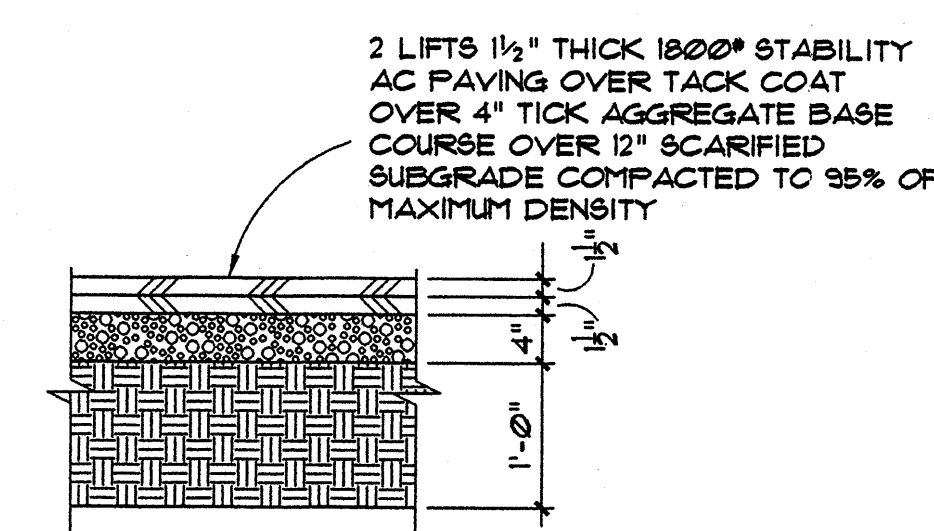


LEGEND

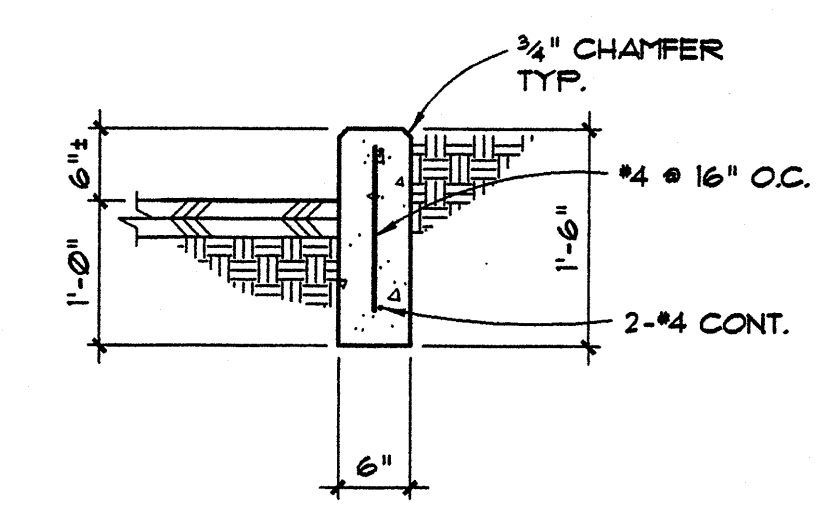
- PROPERTY LINE
- 54.30' PROPOSED SPOT ELEVATION
- 54.01' EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- SWALE DIRECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- TC TOP OF CONCRETE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW ASPHALT PAVING
- ▲ ROOF DRAIN LOCATION

KEYED NOTES

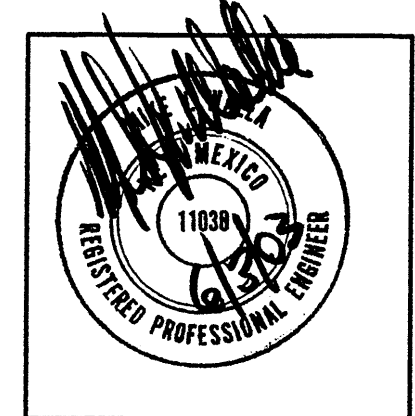
- NEW 4", 4000 PSI, CONCRETE PAVING REINFORCED WITH POLYPROPYLENE FIBERS OVER COMPACTED SUBGRADE - SEE C104 FOR JOINT PATTERN
- SAND PLAY AREA
- NEW CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING #2415
- CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DRAWING #2430
- GRAVEL RUNNING PATH
- EXISTING PLANTER WALL TO REMAIN
- REMOVE AND REPLACE CONCRETE SIDEWALK AND STAIRS AS REQUIRED TO INSTALL NEW BUILDING FOOTINGS
- NEW 5", 4000 PSI, AIR-ENTRAINED CONCRETE PAVING OVER SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY. REINFORCE W/4" #16" O.C. EACH WAY
- AC. PAVING PER 1/C105
- CONCRETE CURB PER 2/C105



1 TYPICAL PARKING LOT PAVING SECTION N.T.S.



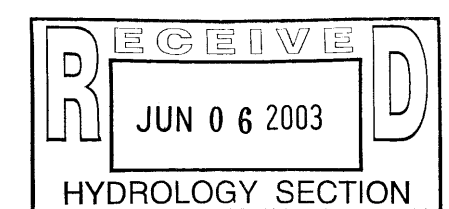
2 SECTION - TYPICAL HEADER CURB 3/4"=1'-0"



WRIGHT AND HAMMER
 ARCHITECTS
 1736 ALISO DRIVE, N.E.
 ALBUQUERQUE, N.M. 87110 505-266-6764

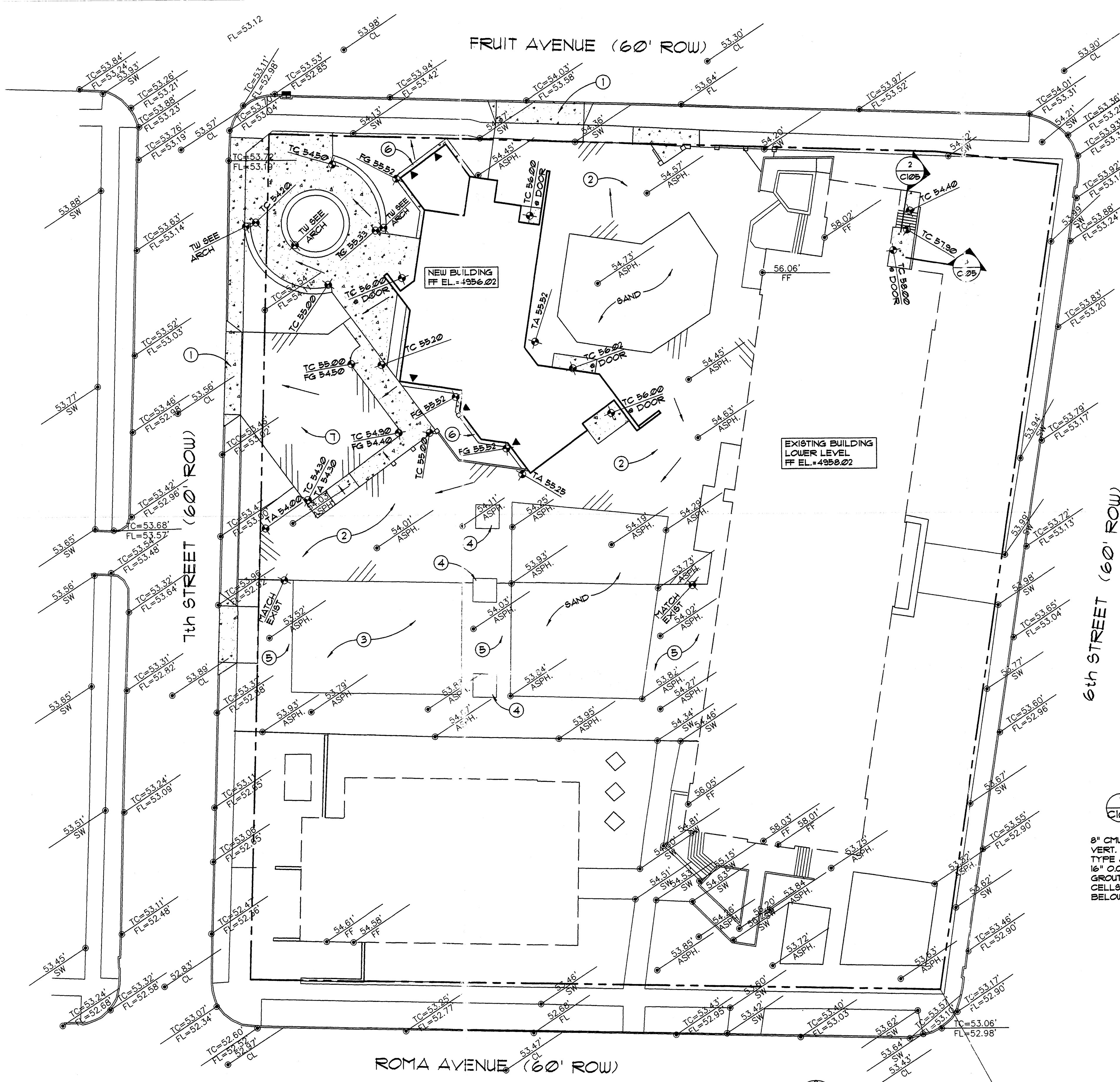
ALBUQUERQUE PUBLIC SCHOOLS
LEW WALLACE ELEMENTARY SCHOOL
PHASE 2
ADDITIONS & IMPROVEMENTS
 ALBUQUERQUE, NEW MEXICO

DATE:
 15 MAY, 2003
 REVISIONS:



Walla ENGINEERING LTD
 Structural Engineering
 Civil Engineering
 8100 Indian School Road NE, Suite 210
 Albuquerque, New Mexico 87110
 881-3008 • Facsimile 884-5390

SHEET
C 105
 OF



GRADING and DRAINAGE PLAN

1" = 20'

LEGAL DESCRIPTION

ALL OF BLOCK 13, PERFECTO ARMIJO AND BROTHERS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE AS SHOWN AND DESIGNATED ON THE PLAT OF WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1881 IN BOOK D, FOLIO 116, BEING A PORTION OF SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

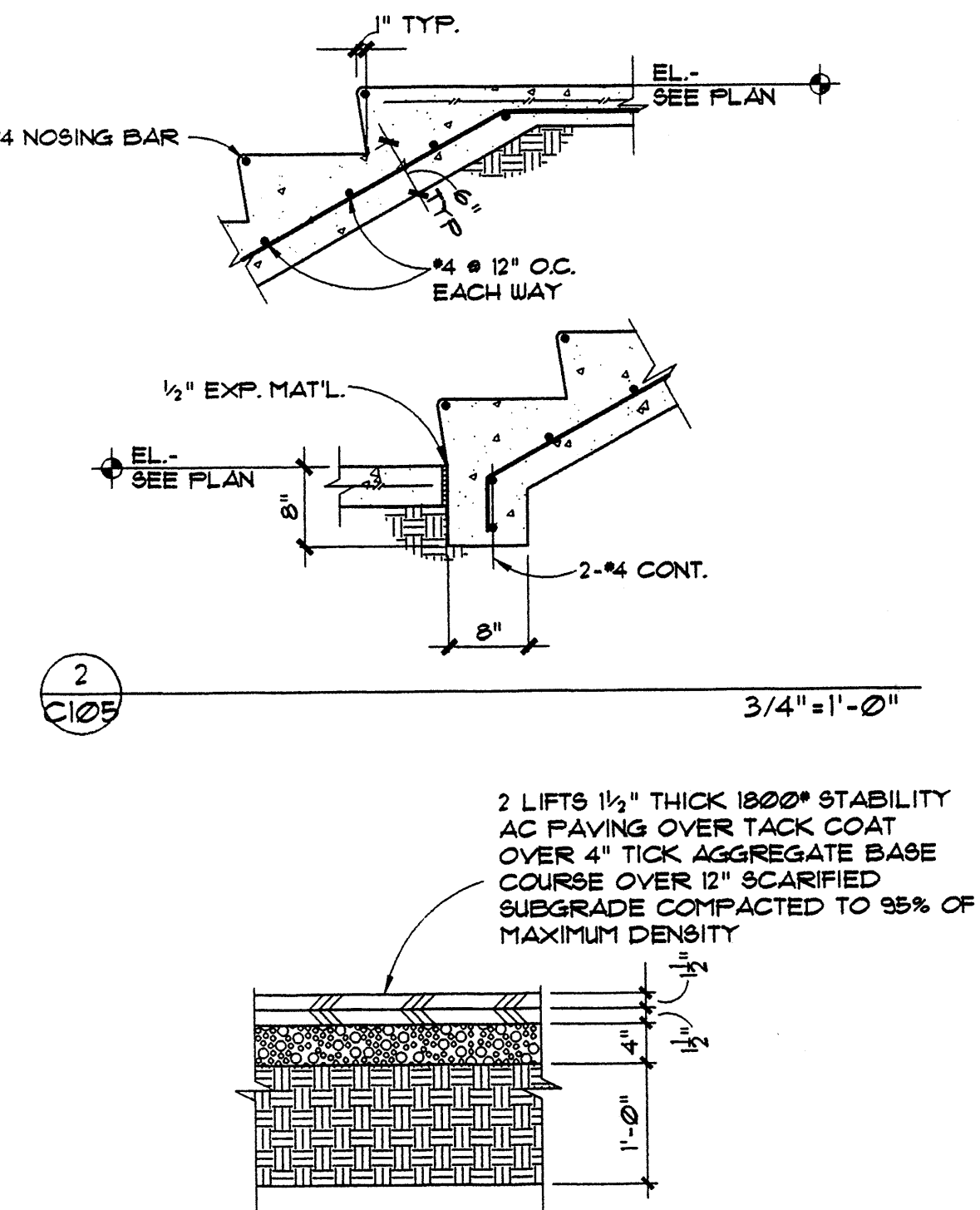
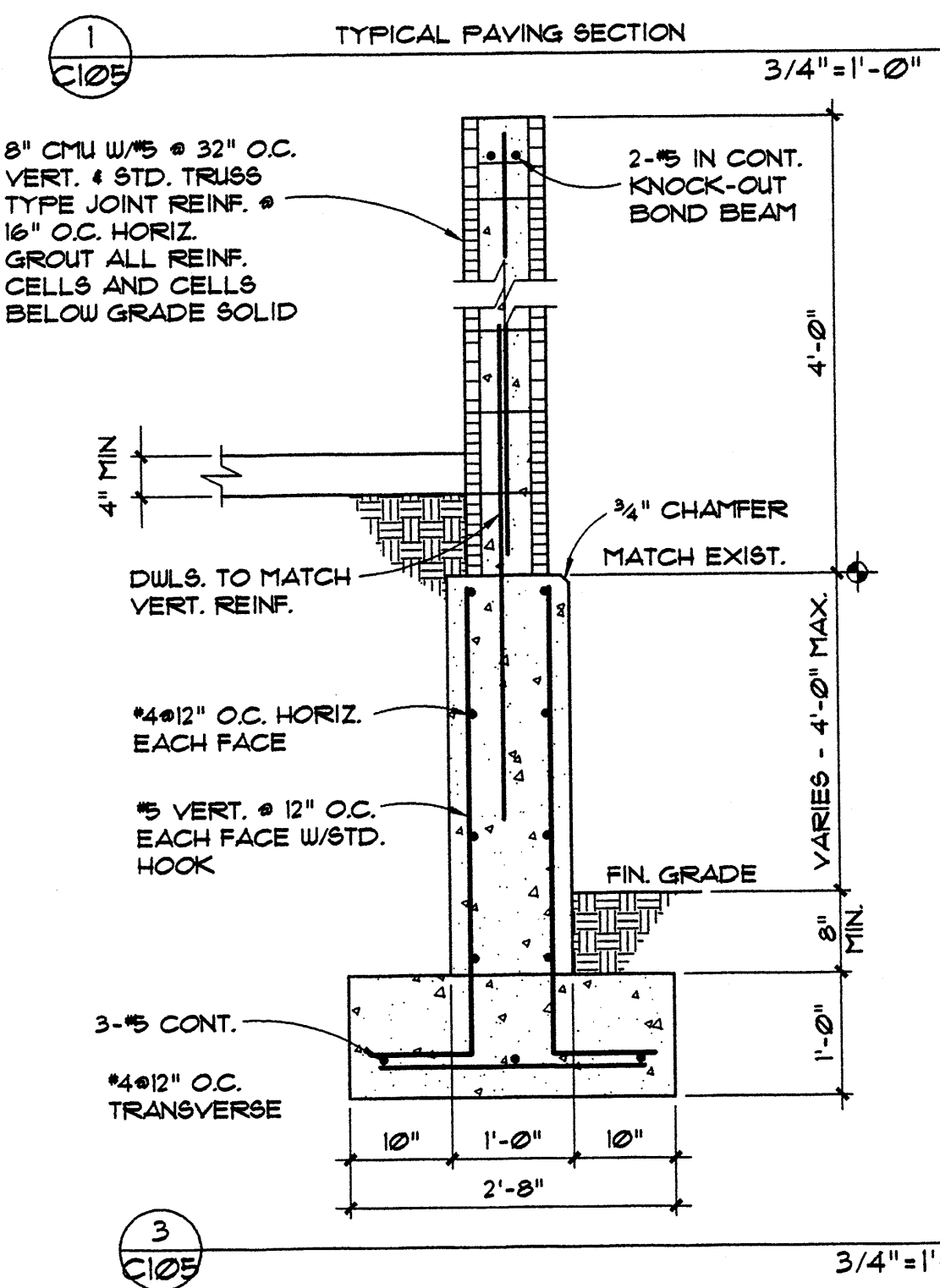
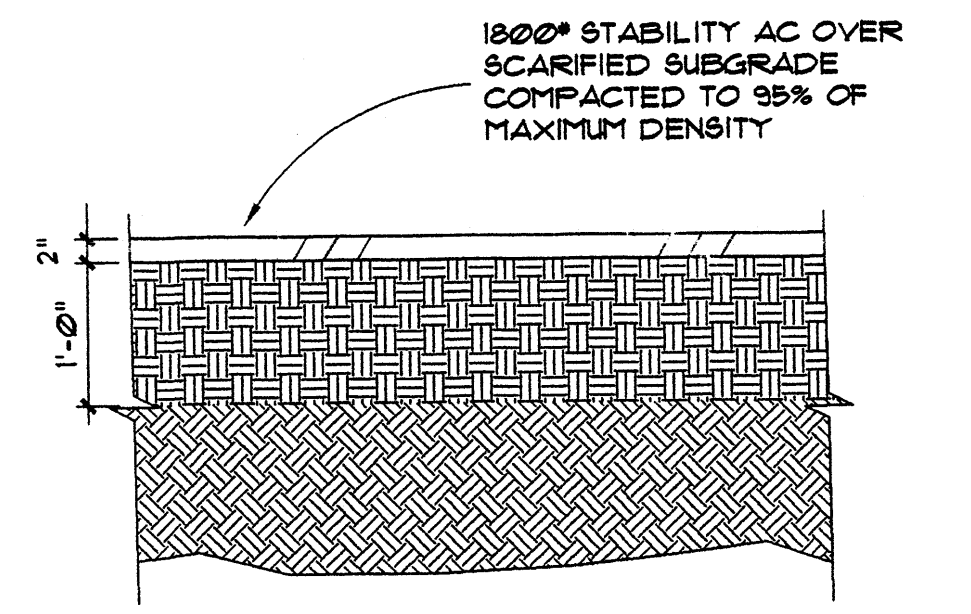
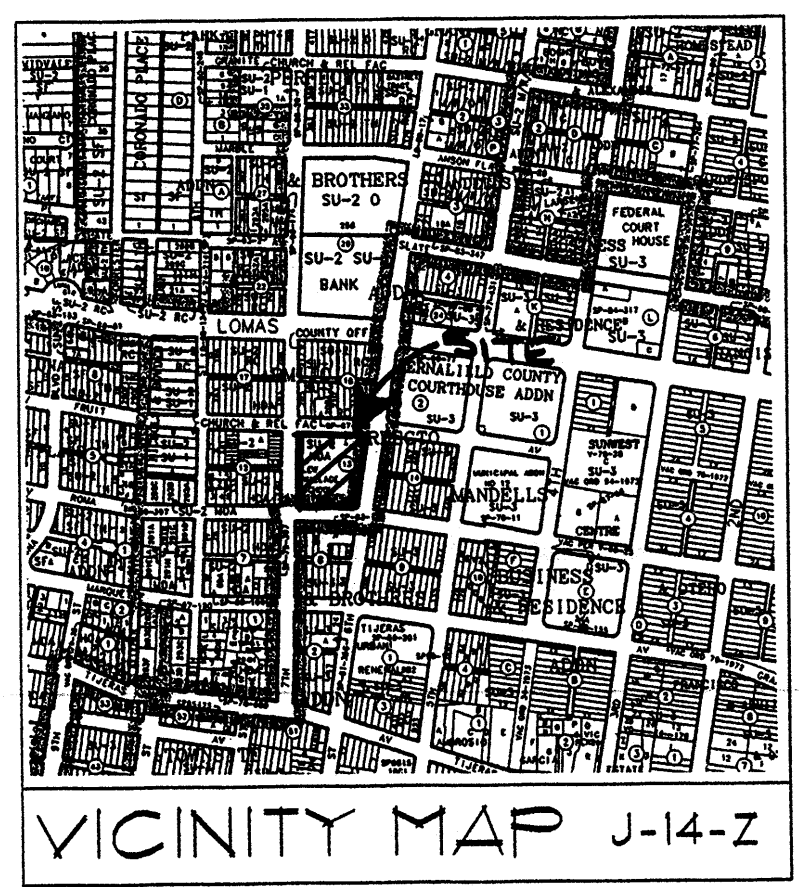
ALBUQUERQUE CONTROL STATION "4-J14" DATA: STANDARD ACS BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X=319591.81, Y=1481918.13, GROUND TO GRID FACTOR = 0.99967910, DELTA ALPHA = -00°13'53"

HYDROLOGIC CALCULATIONS

ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE
PRECIPITATION ZONE 2 - PER DPM 22.2
100 - YR Design Storm (P) Depth (in)
1hr 6hr 24hr 4day 10day
2.01 2.35 2.75 3.30 3.95

EXISTING CONDITIONS		AREA		P6	Q	Q	V6	V24	V4day	V10day
TREATMENT	CLASS	(ACRE)	%	(IN/AC)	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0	0
B	0.247	14%	0.78	2.28	0.56	699	699	699	699	699
C	0.194	11%	1.13	3.14	0.61	796	796	796	796	796
D	1.349	75%	2.12	4.70	6.34	10,381	12,341	15,033	18,216	18,216
TOTALS		1.790	100%		7.51	11,876	13,835	16,529	19,711	19,711

PROPOSED CONDITIONS		AREA		P6	Q	Q	V6	V24	V4day	V10day
TREATMENT	CLASS	(ACRE)	%	(IN/AC)	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0	0
B	0.281	16%	0.78	2.28	0.64	796	796	796	796	796
C	0.078	4%	1.13	3.14	0.24	320	320	320	320	320
D	1.431	80%	2.12	4.70	6.73	11,012	13,090	15,947	19,324	19,324
TOTALS		1.790	100%		7.61	12,128	14,206	17,063	20,439	20,439

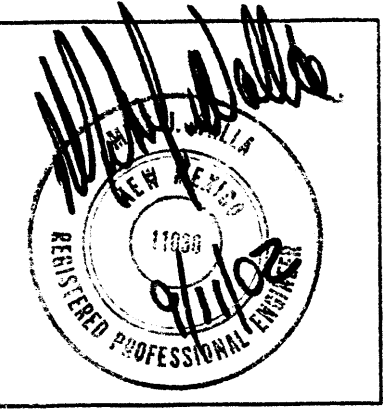


LEGEND

- PROPERTY LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- SWALE DIRECTION
- FINISHED FLOOR
- FINISHED GRADE
- TOP OF CONCRETE
- FLOWLINE
- TOP OF ASPHALT
- TOP OF WALL
- NEW CONCRETE PAVING
- NEW ASPHALT PAVING
- ROOF DRAIN LOCATION

KEYED NOTES

- CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425
- NEW ASPHALT CONCRETE PAVING SEE SECTION 1/C105
- EXISTING CONCRETE BASKETBALL COURT TO REMAIN
- NEW TREE WELL AT EXISTING TREES SEE ARCH.
- EXISTING ASPHALT PAVING TO REMAIN
- 18" WIDE CONCRETE MOW STRIP SEE ARCH
- NEW ASPHALT CONCRETE PAVING - PARKING LOT SEE SECTION 4/C105



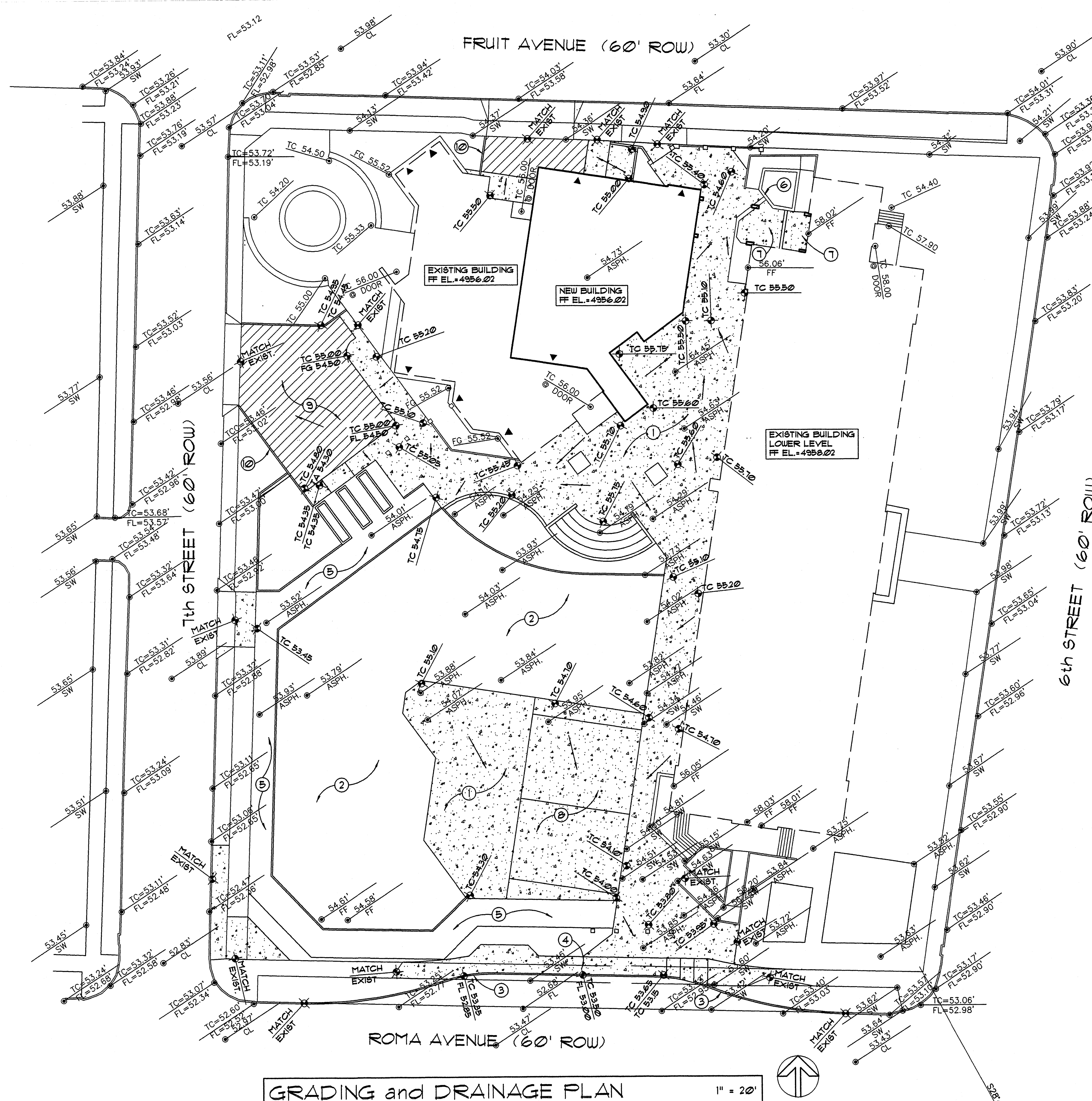
WRIGHT AND HAMMER
ARCHITECTS
1735 ALISO DRIVE, N.E.
ALBUQUERQUE, N.M. 87110
505.265.5764

ALBUQUERQUE PUBLIC SCHOOLS
LEW WALLACE ELEMENTARY SCHOOL
PHASE 1
ADDITIONS & IMPROVEMENTS
ALBUQUERQUE, NEW MEXICO

DATE:
1 JULY, 2002
REVISIONS:

SHEET
C
105
OF

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ENGINEERING LTD
Structural Engineering
Civil Engineering
2100 Indian School Road NE • Suite 210
Albuquerque • New Mexico • 87110
881-3008 • Facsimile 884-5390



GRADING and DRAINAGE PLAN

1" = 20'

LEGAL DESCRIPTION

ALL OF BLOCK 13, PERFECTO ARMIJO AND BROTHERS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE AS SHOWN AND DESIGNATED ON THE PLAT OF WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1881 IN BOOK D, FOLIO 116, BEING A PORTION OF SECTION 11, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

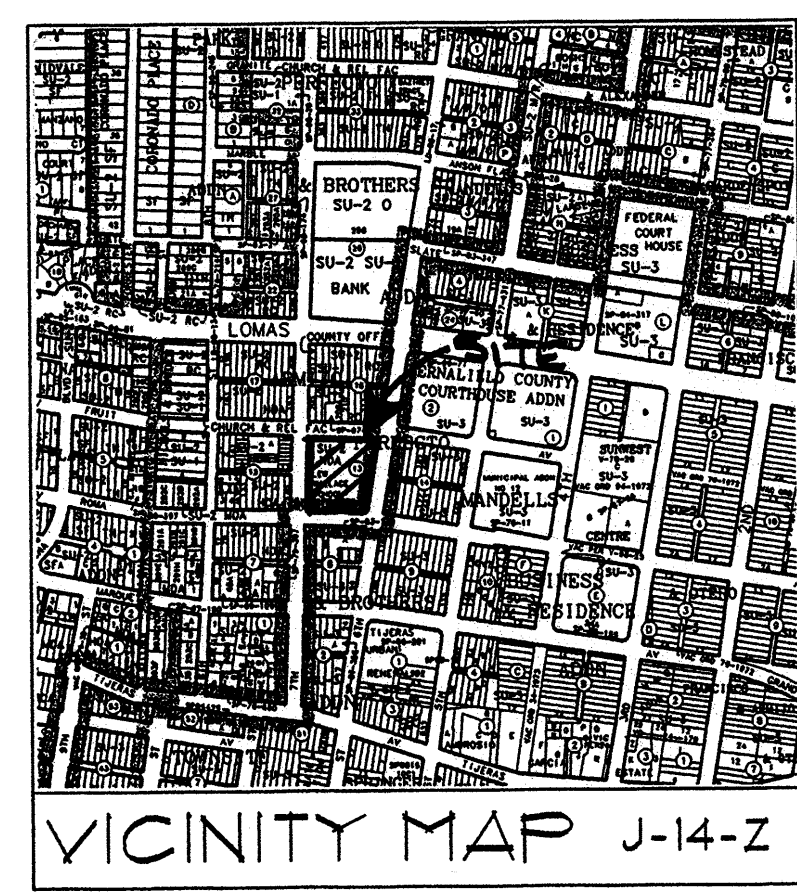
ALBUQUERQUE CONTROL STATION "4-J14" DATA: STANDARD ACS BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X=319591.81, Y=1481918.13, GROUND TO GRID FACTOR = 0.99961910, DELTA ALPHA = -00'13.53"

HYDROLOGY CALCULATIONS

ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE
PRECIPITATION ZONE 2 - PER DPM 22.2
100 - YR Design Storm (P) Depth (in)
1hr 6hr 24hr 4day 10day
2.01 2.35 2.75 3.30 3.95

EXISTING CONDITIONS	TREATMENT	AREA (ACRE)	AREA %	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
CLASS										
A	0.00	0%	0.53	1.56	0.00	0	0	0	0	0
B	0.247	14%	0.78	2.28	0.56	699	699	699	699	699
C	0.194	11%	1.13	3.14	0.61	796	796	796	796	796
D	1.349	75%	2.12	4.70	6.34	10,381	12,340	15,033	18,216	18,216
TOTALS	1.790	100%			7.51	11,876	13,835	16,529	19,711	19,711

PROPOSED CONDITIONS	TREATMENT	AREA (ACRE)	AREA %	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
CLASS										
A	0.00	0%	0.53	1.56	0.00	0	0	0	0	0
B	0.281	16%	0.78	2.28	0.64	796	796	796	796	796
C	0.078	4%	1.13	3.14	0.24	320	320	320	320	320
D	1.431	80%	2.12	4.70	6.73	11,012	13,090	15,947	19,324	19,324
TOTALS	1.790	100%			7.61	12,128	14,206	17,063	20,439	20,439

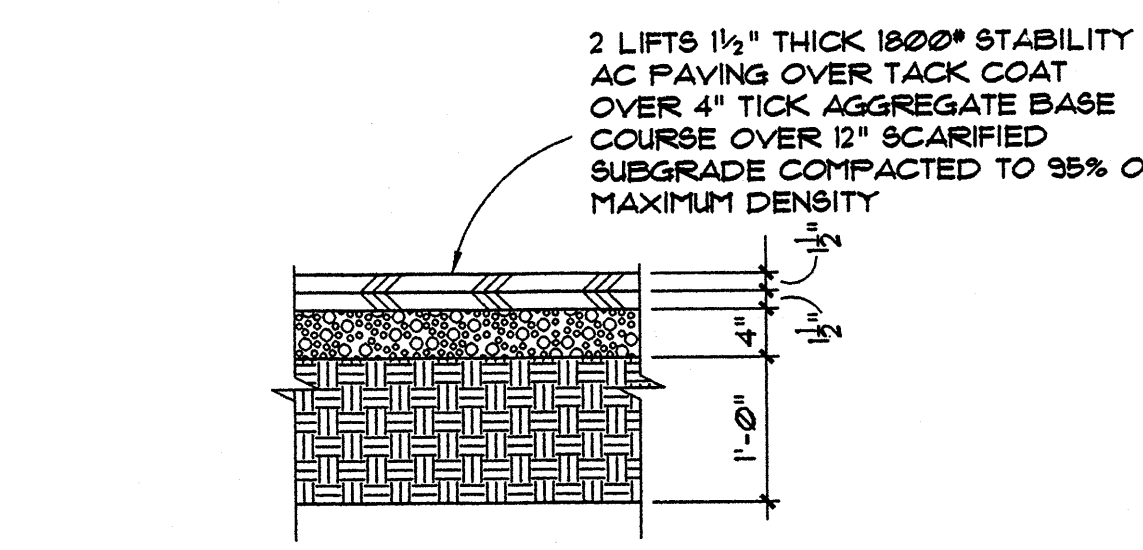


LEGEND

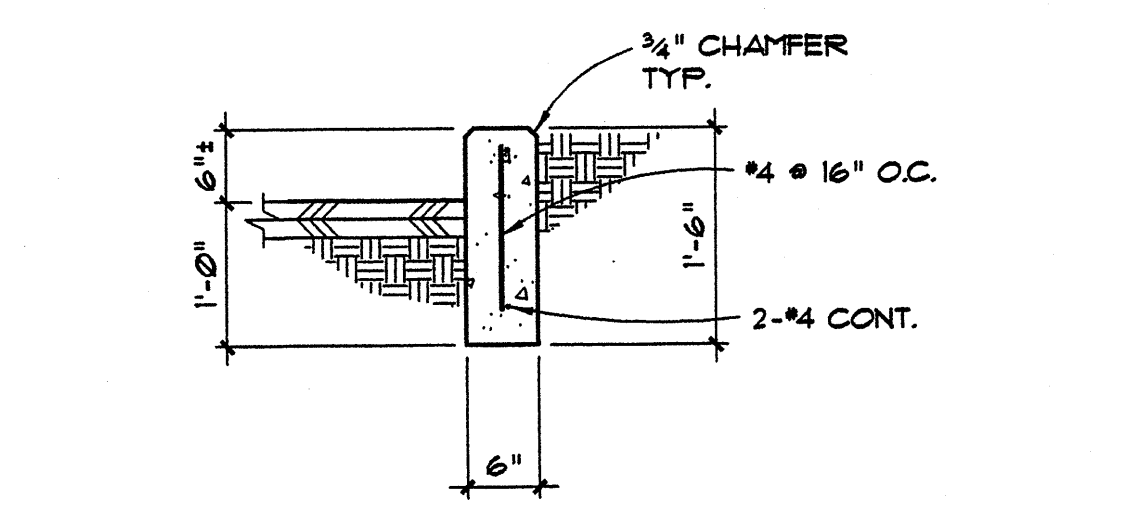
- PROPERTY LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- SUALL DIRECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- TC TOP OF CONCRETE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- NEW CONCRETE PAVING
- NEW ASPHALT PAVING
- ROOF DRAIN LOCATION

KEYED NOTES

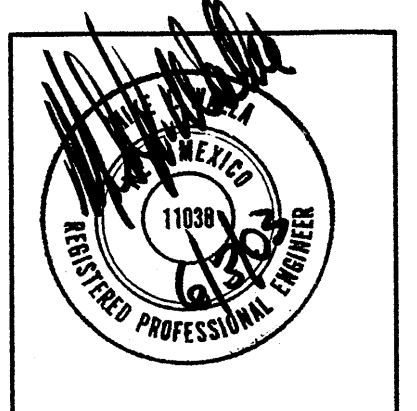
- NEW 4", 4000 PSI, CONCRETE PAVING REINFORCED WITH POLYPROPYLENE FIBERS OVER COMPACTED SUBGRADE - SEE C104 FOR JOINT PATTERN
- SAND PLAY AREA
- NEW CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING #2415
- CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DRAWING #2430
- GRAVEL RUNNING PATH
- EXISTING PLANTER WALL TO REMAIN
- REMOVE AND REPLACE CONCRETE SIDEWALK AND STAIRS AS REQUIRED TO INSTALL NEW BUILDING FOOTINGS
- NEW 5", 4000 PSI, AIR-ENTRAINED CONCRETE PAVING OVER SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY. REINFORCE W/4" x 16" O.C. EACH WAY
- AC. PAVING PER 1/C105
- CONCRETE CURB PER 2/C105



1 TYPICAL PARKING LOT PAVING SECTION N.T.S.



2 SECTION # TYPICAL HEADER CURB 3/4"=1'-0"

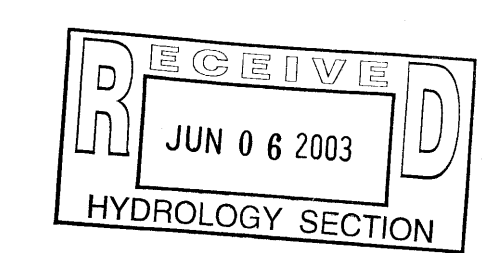


WRIGHT AND HAMMER
ARCHITECTS
1736 ALISO DRIVE, N.E.
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505-266-6764

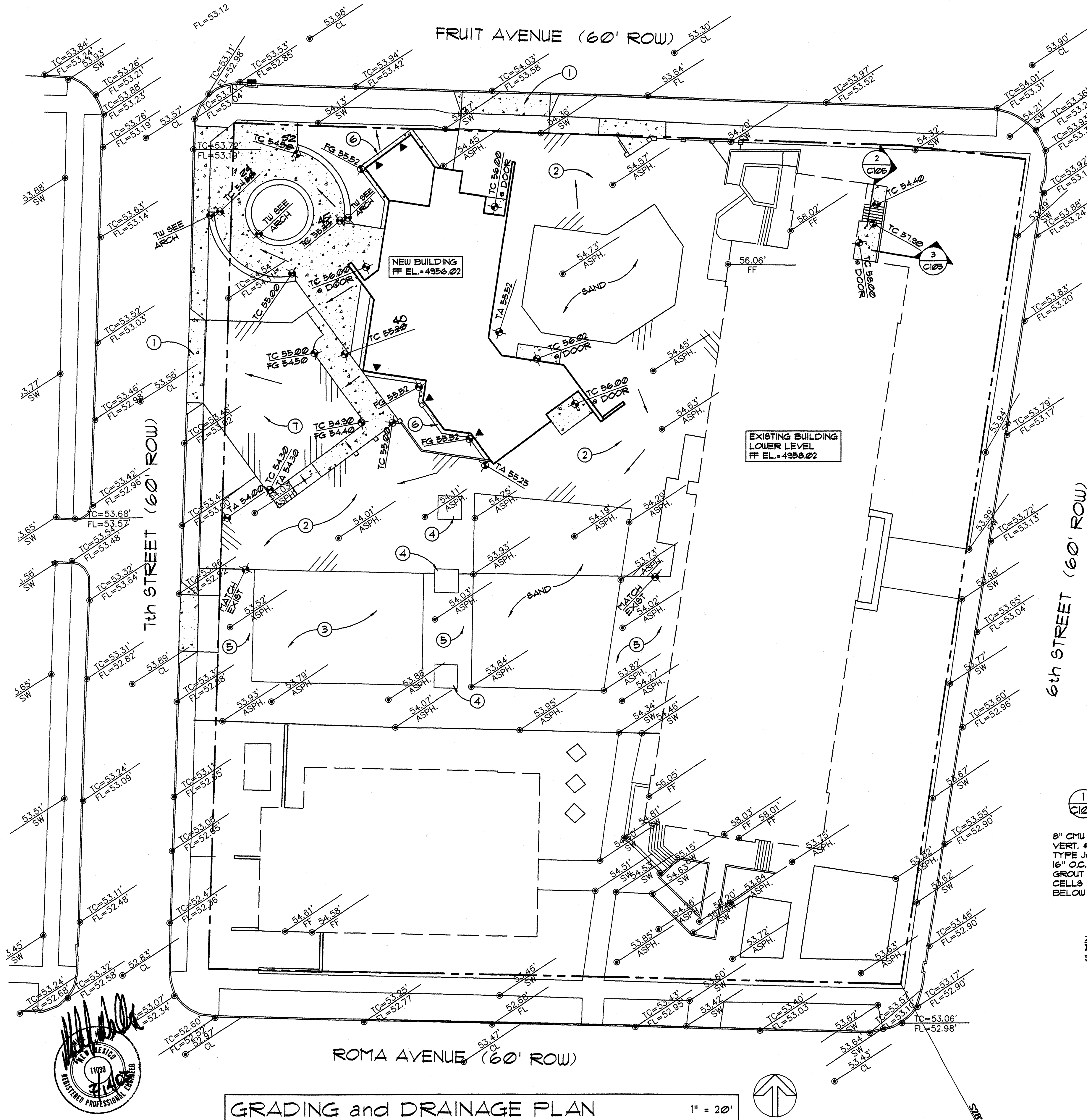
ALBUQUERQUE PUBLIC SCHOOLS
LEW WALLACE ELEMENTARY SCHOOL
PHASE 2
ADDITIONS & IMPROVEMENTS
ALBUQUERQUE, NEW MEXICO

DATE:
15 MAY, 2003
REVISIONS:

SHEET
C 105
OF

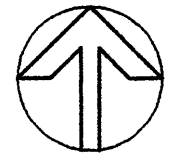


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Structural Engineering
Civil Engineering
5100 Indian School Road NE Suite 210
Albuquerque, New Mexico 87110
505-3005 Fax 505-5390



GRADING and DRAINAGE PLAN

1" = 20'

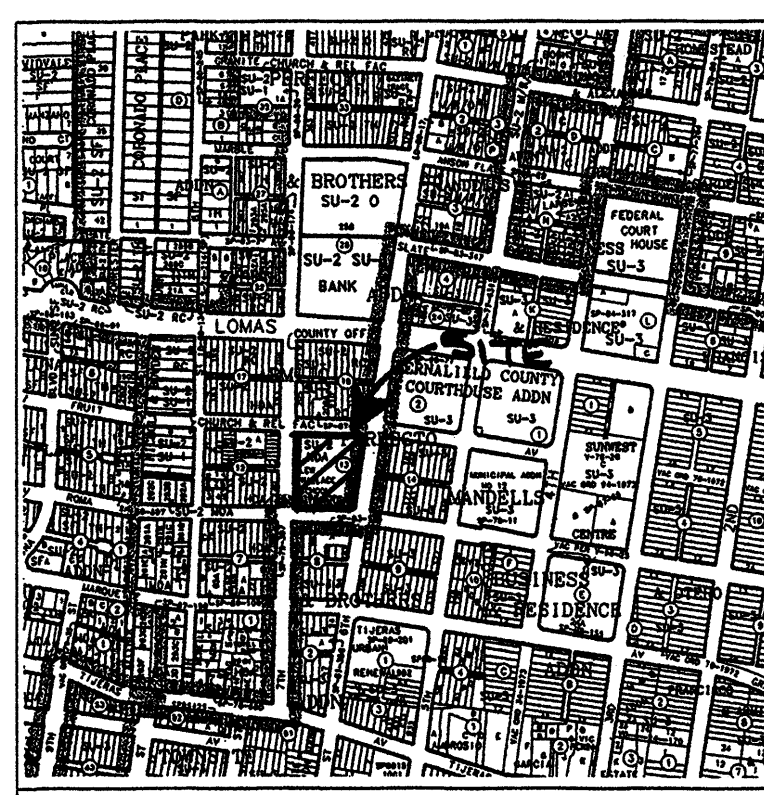


HYDROLOGY CALCULATIONS

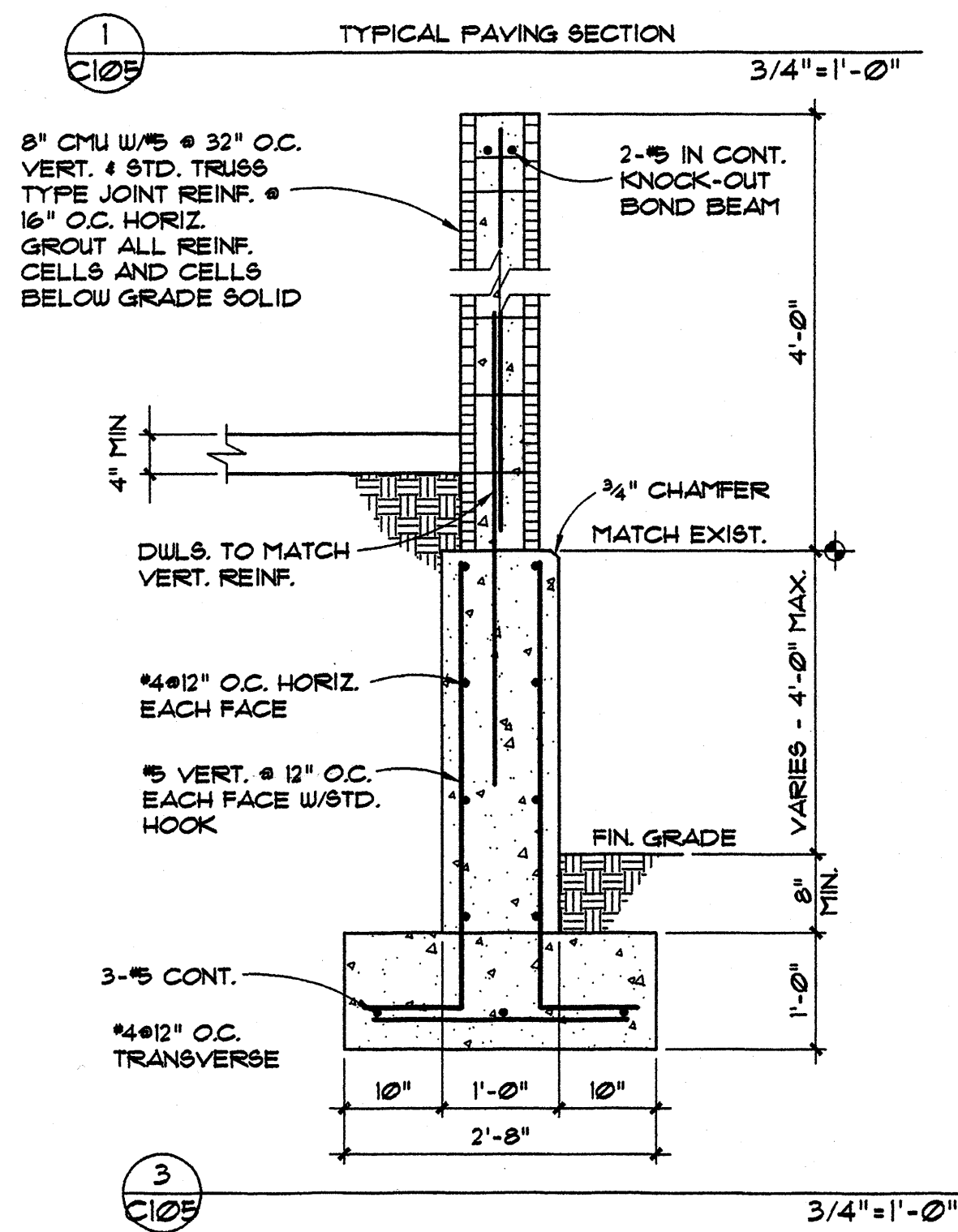
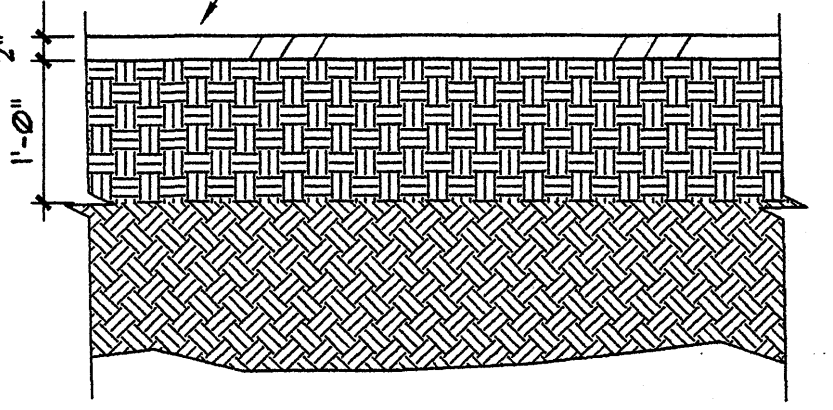
ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE
 PRECIPITATION ZONE 2 - PER DPM 22.2
 100 - YR Design Storm (P) Depth (in)
 1hr 6hr 24hr 4day 10day
 2.01 2.35 2.75 3.30 3.95

EXISTING CONDITIONS	TREATMENT CLASS	AREA (ACRE)	%	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0	0
B	0.247	14%	0.78	2.28	0.56	699	699	699	699	699
C	0.194	11%	1.13	3.14	0.61	796	796	796	796	796
D	1.349	75%	2.12	4.70	6.34	10,381	12,340	15,033	18,216	
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A	0.00	0%	0.53	1.56	0.00	0	0	0	0	0
B	0.281	15%	0.78	2.28	0.64	796	796	796	796	796
C	0.078	4%	1.13	3.14	0.24	320	320	320	320	320
D	1.431	80%	2.12	4.70	6.73	11,012	13,090	15,947	19,324	
TOTALS	1.790	100%			7.61	12,128	14,206	17,063	20,439	



1800# STABILITY AC OVER SCARIFIED SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY

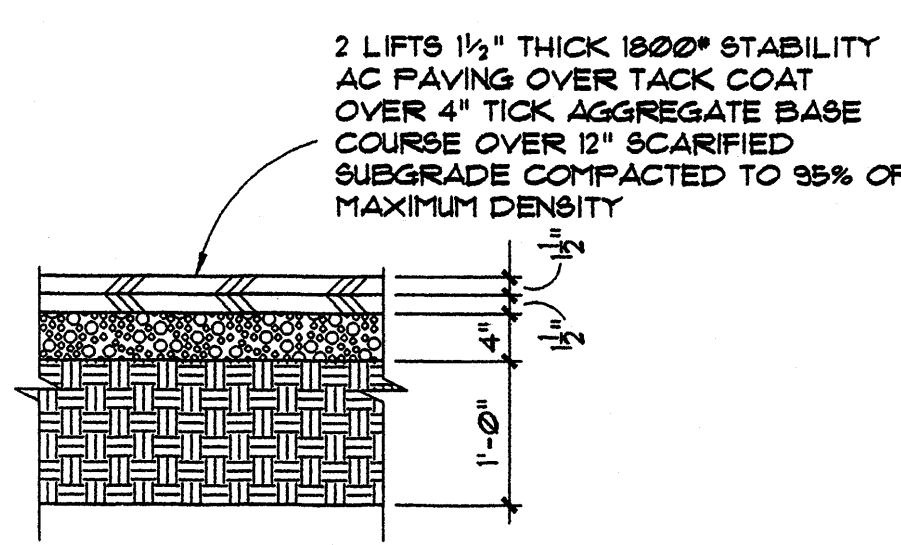
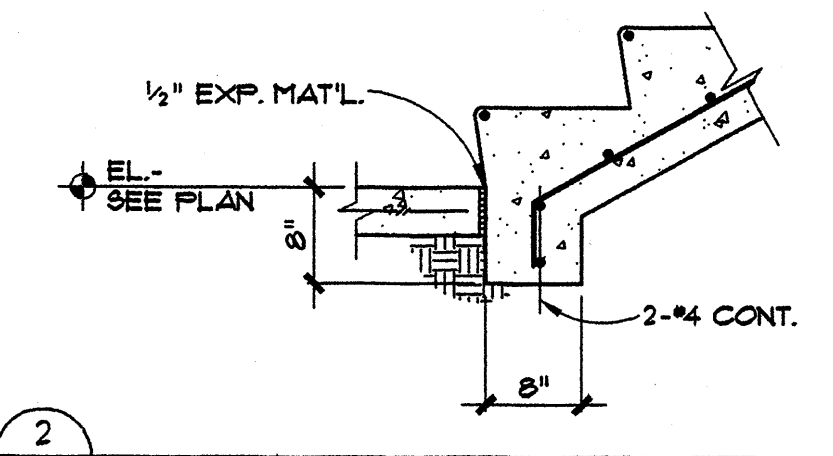
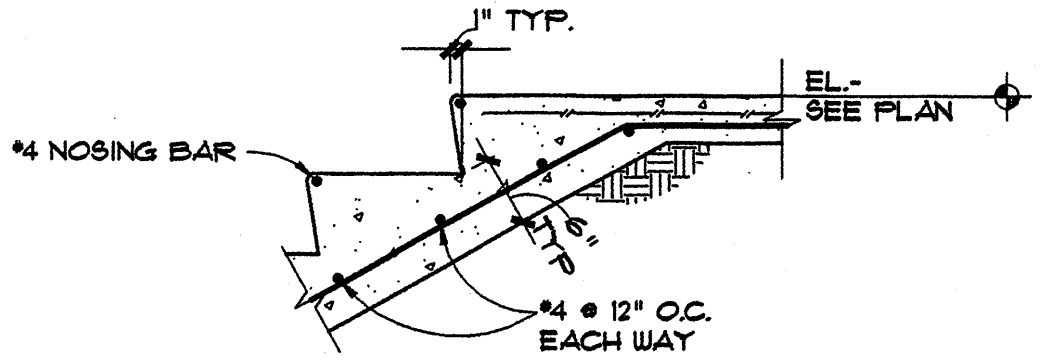


LEGEND

- PROPERTY LINE
- 54.01' PROPOSED SPOT ELEVATION
- 54.01' EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- SWALE DIRECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- TC TOP OF CONCRETE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- NEW CONCRETE PAVING
- NEW ASPHALT PAVING
- ▲ ROOF DRAIN LOCATION
- 52 AS CONSTRUCTED ELEVATION

KEYED NOTES

- CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425
- NEW ASPHALT CONCRETE PAVING SEE SECTION 1/C105
- EXISTING CONCRETE BASKETBALL COURT TO REMAIN
- NEW TREE WELL AT EXISTING TREES SEE ARCH.
- EXISTING ASPHALT PAVING TO REMAIN
- 18" WIDE CONCRETE MOW STRIP SEE ARCH
- NEW ASPHALT CONCRETE PAVING & PARKING LOT SEE SECTION 4/C105



SITE VERIFICATION STATEMENT

I HAVE PHYSICALLY VISITED THE SUBJECT PROPERTY AND VERIFIED THAT THE EXISTING TOPOGRAPHY INDICATED ON THIS PLAN DOES DESCRIBE CURRENT FIELD CONDITIONS. THE FIELD CONDITIONS ARE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE ORIGINALLY APPROVED DESIGN DRAWINGS.

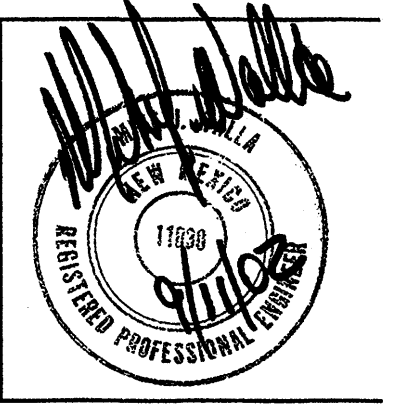
SIGNED
 MIKE J. WALLA, P.E.

LEGAL DESCRIPTION

ALL OF BLOCK 13, PERFECTO ARMIJO AND BROTHERS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE AS SHOWN AND DESIGNATED ON THE PLAT OF WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1981 IN BOOK D, FOLIO 116, BEING A PORTION OF SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

ALBUQUERQUE CONTROL STATION "4-J14" DATA: STANDARD ACS BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X=519991.01, Y=1487918.13, GROUND TO GRID FACTOR = 0.999961910, DELTA ALPHA = -00°13'53"



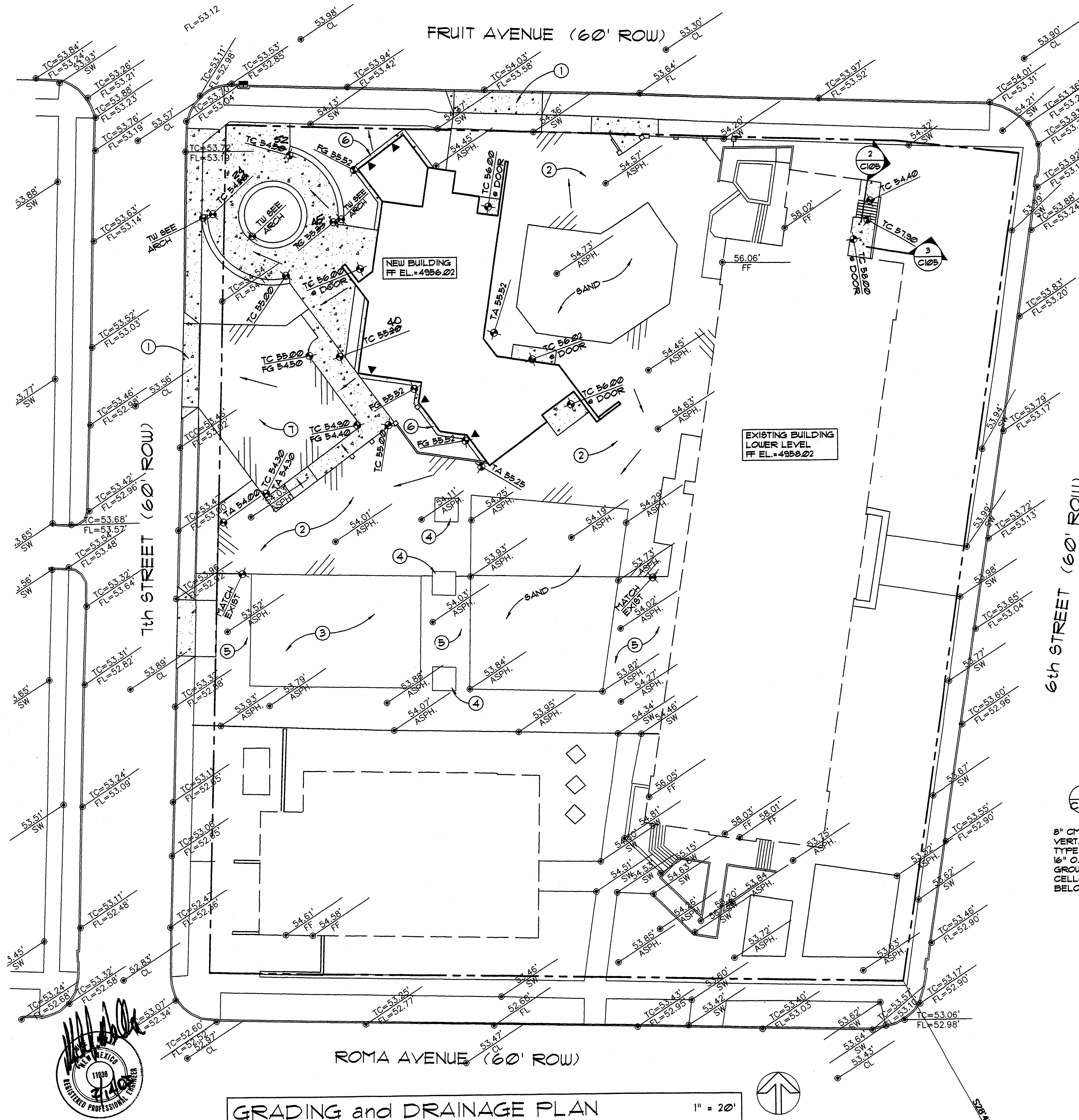
WRIGHT AND HAMMER
 ARCHITECTS
 1735 ALISO DRIVE
 ALBUQUERQUE, N.M.
 87110 506-266-8761

ALBUQUERQUE PUBLIC SCHOOLS
 LEW WALLACE ELEMENTARY SCHOOL
 ADDITIONS & IMPROVEMENTS
 ALBUQUERQUE, NEW MEXICO

DATE:
 1 JULY, 2002
 REVISIONS:

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 OF

Walla
 ENGINEERING LTD
 Structural Engineering
 Civil Engineering
 8100 Indian School Road NE, Suite 210
 Albuquerque, New Mexico 87110
 881-3008 • Facsimile 882-5390



HYDROLOGY CALCULATIONS

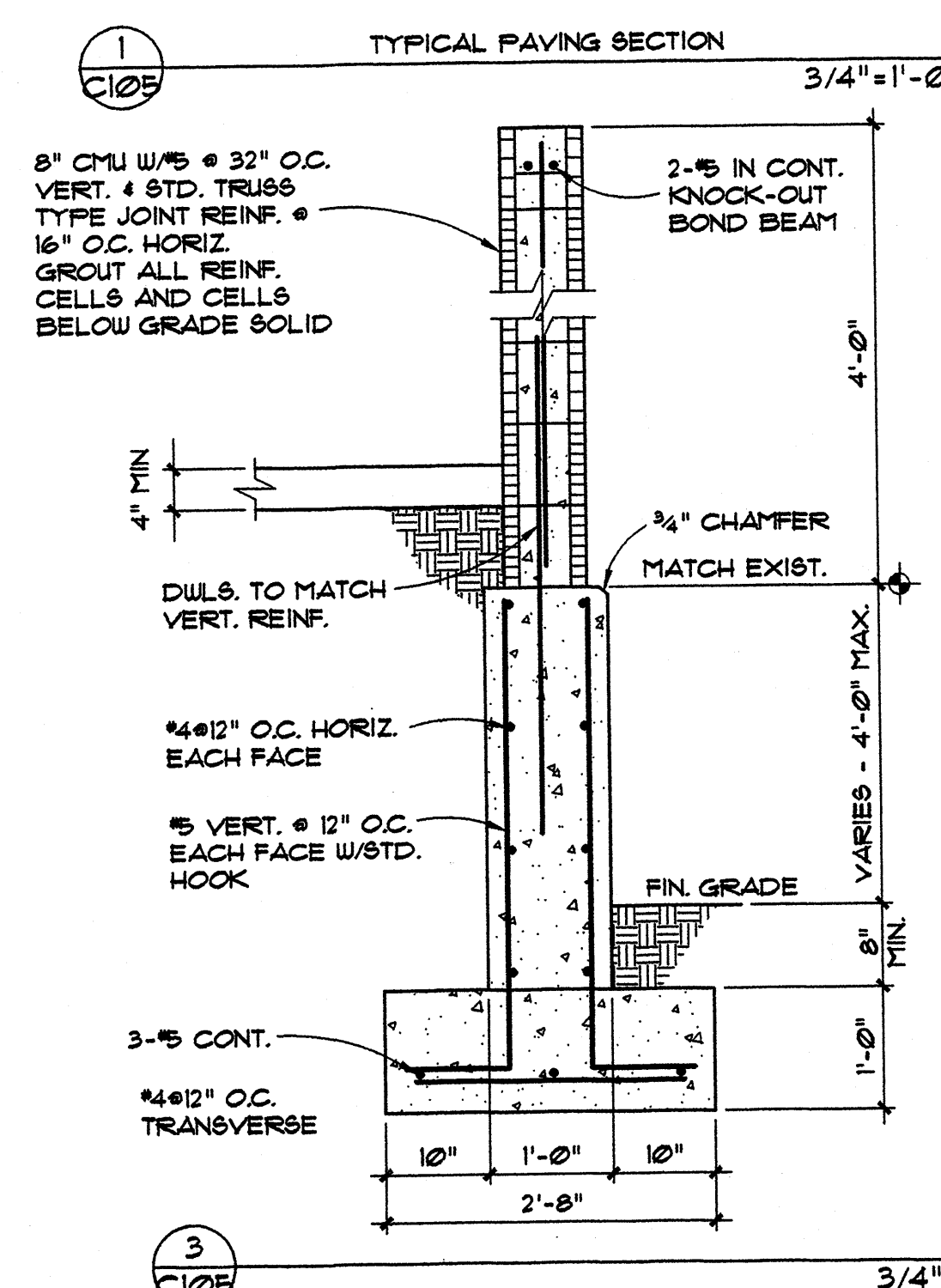
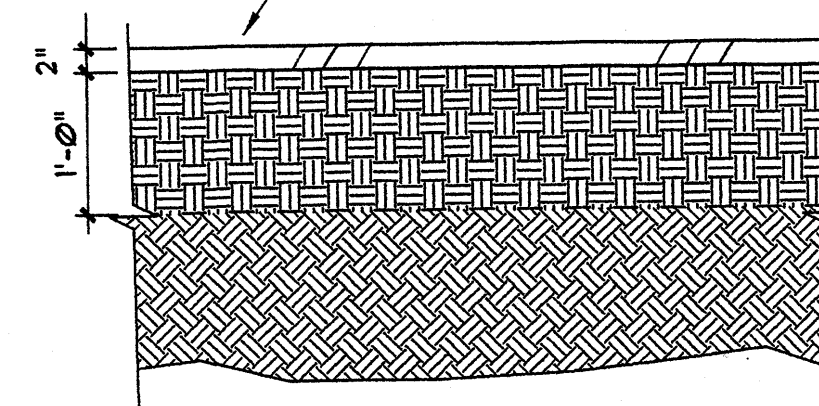
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EXISTING CONDITIONS	TREATMENT	AREA (ACRE)	AREA (%)	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.58	0.00	0	0	0	0	0
B	0.247	14%	0.78	2.28	0.56	699	699	699	699	699
C	0.194	11%	1.13	3.14	0.61	796	796	796	796	796
D	1.349	75%	2.12	4.70	6.34	10,381	12,340	15,033	18,216	18,216
TOTALS		1.790	100%			7.51	11,876	13,835	16,529	19,711

PROPOSED CONDITIONS	TREATMENT	AREA (ACRE)	AREA (%)	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.58	0.00	0	0	0	0	0
B	0.281	16%	0.78	2.28	0.64	796	796	796	796	796
C	0.078	4%	1.13	3.14	0.24	320	320	320	320	320
D	1.431	80%	2.12	4.70	6.73	11,012	13,090	15,947	19,324	19,324
TOTALS		1.790	100%			7.61	12,128	14,206	17,063	20,439



1800' STABILITY AC OVER SCARIFIED SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY

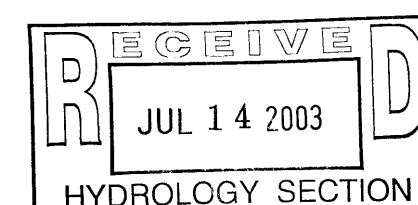
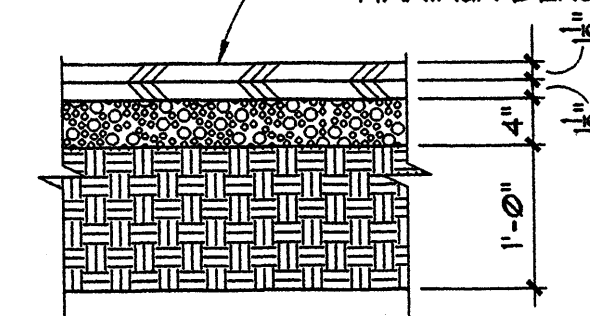
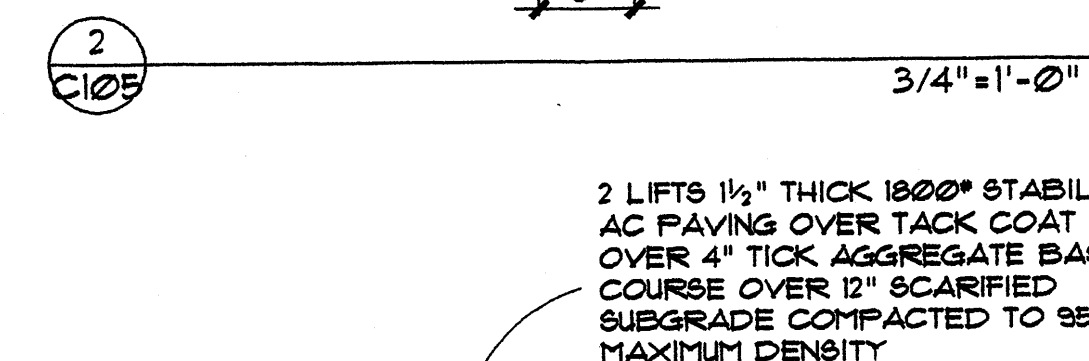
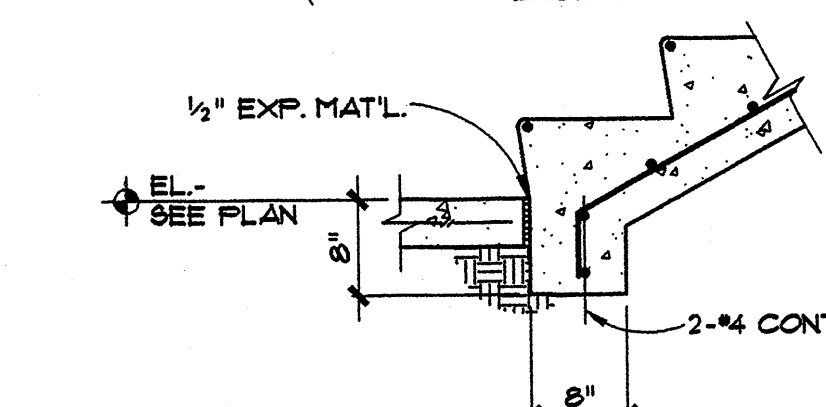
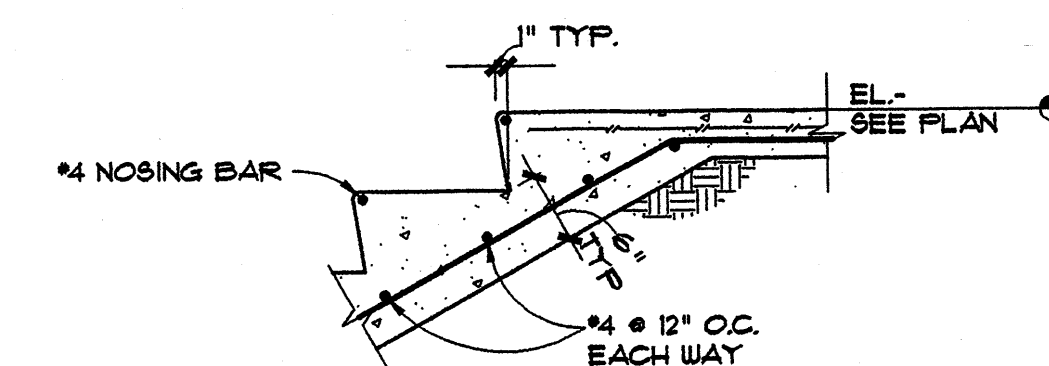


LEGEND

- PROPERTY LINE
- 50.30' PROPOSED SPOT ELEVATION
- 54.01' EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- SWALE DIRECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- TC TOP OF CONCRETE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TU TOP OF WALL
- NEW CONCRETE PAVING
- NEW ASPHALT PAVING
- ▲ ROOF DRAIN LOCATION
- TC 54.52 AS CONSTRUCTED ELEVATION

KEYED NOTES

- CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425
- NEW ASPHALT CONCRETE PAVING SEE SECTION 1/C105
- EXISTING CONCRETE BASKETBALL COURT TO REMAIN
- NEW TREE WELL AT EXISTING TREES SEE ARCH.
- EXISTING ASPHALT PAVING TO REMAIN
- 18" WIDE CONCRETE MOW STRIP SEE ARCH
- NEW ASPHALT CONCRETE PAVING • PARKING LOT SEE SECTION 4/C105



SITE VERIFICATION STATEMENT

I HAVE PHYSICALLY VISITED THE SUBJECT PROPERTY AND VERIFIED THAT THE EXISTING TOPOGRAPHY INDICATED ON THIS PLAN DOES DESCRIBE CURRENT FIELD CONDITIONS. THE FIELD CONDITIONS ARE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE ORIGINALLY APPROVED DESIGN DRAWINGS.

SIGNED
 MIKE J. WALLA, P.E.

LEGAL DESCRIPTION

ALL OF BLOCK 13, PERFECTO ARMIJO AND BROTHERS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE AS SHOWN AND DESIGNATED ON THE PLAT OF WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1981 IN BOOK D, FOLIO 116, BEING A PORTION OF SECTION 17, TOWNSHIP 12 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

ALBUQUERQUE CONTROL STATION "4-J14" DATA: STANDARD ACS BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X=3189121, Y=1481918.13, GROUND TO GRID FACTOR = 0.99961910, DELTA ALPHA = -00°13'53"



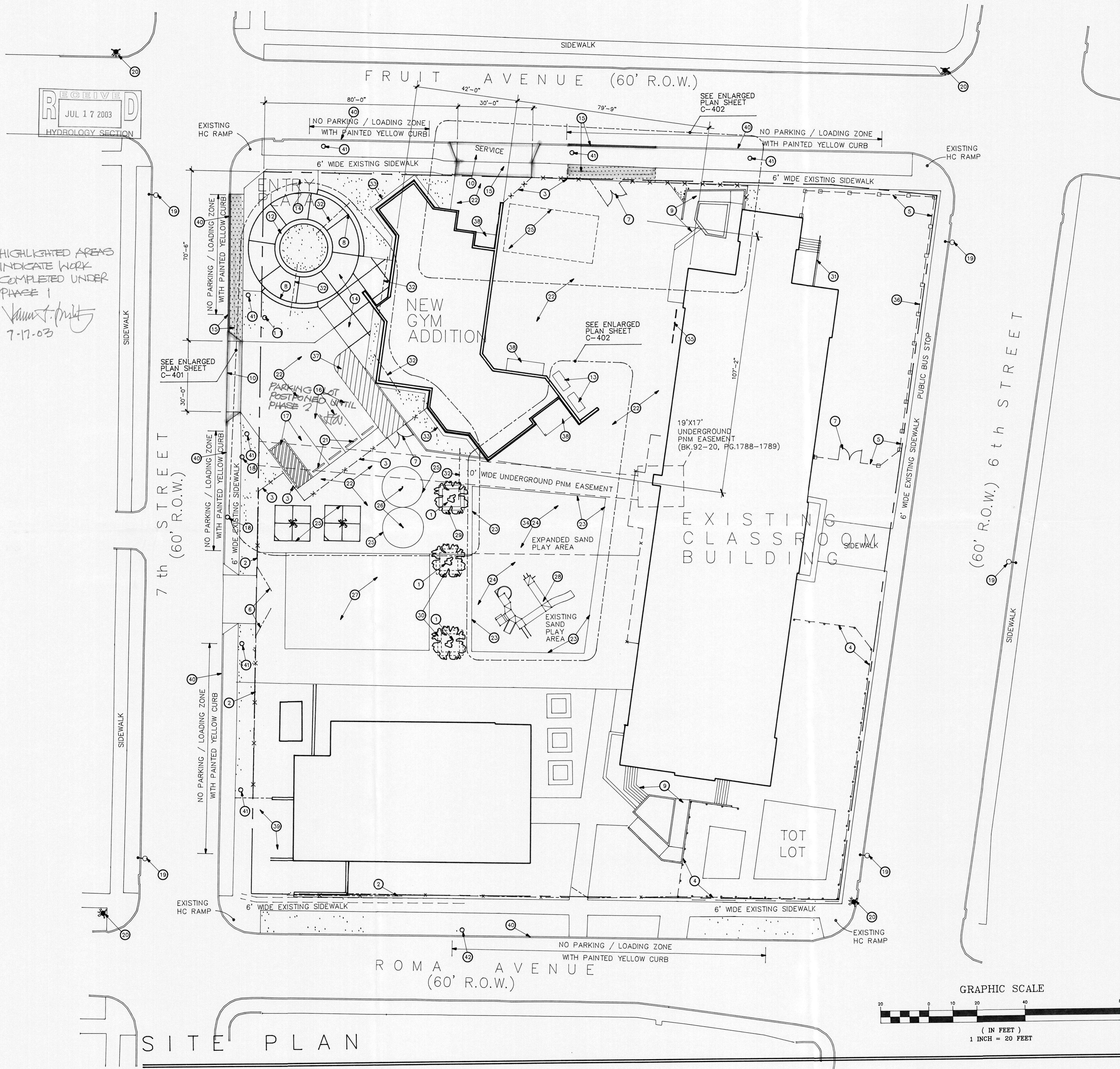
WRIGHT AND HAMMER
 ARCHITECTS
 1736 ALISO DRIVE, N.E.
 ALBUQUERQUE, N.M. 87110
 800-266-6764

ALBUQUERQUE PUBLIC SCHOOLS
 LEW WALLACE ELEMENTARY SCHOOL
 PHASE 1
 ADDITIONS & IMPROVEMENTS
 ALBUQUERQUE, NEW MEXICO

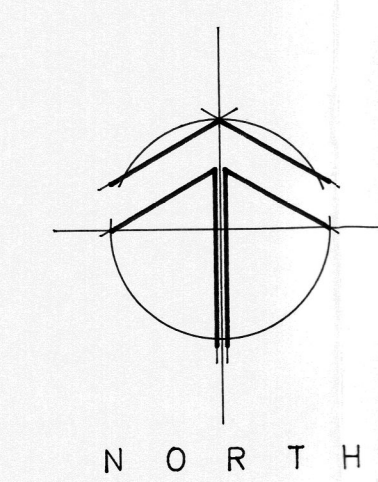
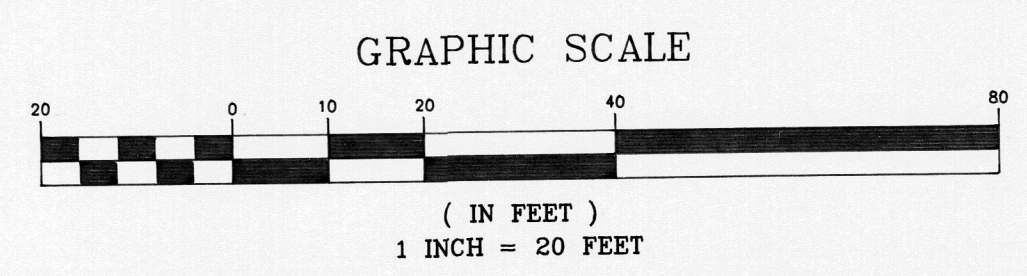
DATE:
 1 JULY, 2002
 REVISIONS:

SHEET
 C
 105
 OF

Walla
 ENGINEERING LTD
 Structural Engineering
 Civil Engineering
 2100 Indian School Road NE • Suite 210
 Albuquerque, New Mexico 87110
 881-3008 • Facsimile 884-5390



SITE PLAN



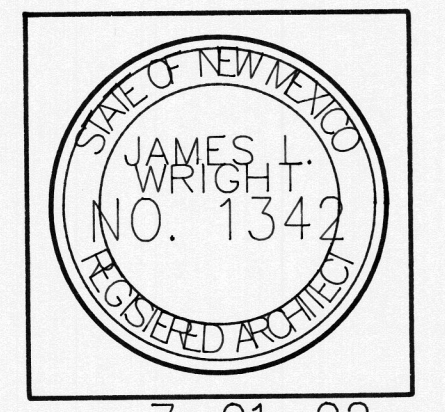
SCALE: 1" = 20'-0"

KEYED NOTES -- THIS SHEET :

- 1 EXISTING TREE AND BENCH -- TAKE CARE TO PROTECT WATERING AREA DURING INSTALLATION OF NEW PAVING.
- 2 EXISTING 6'-0" HIGH CHAIN-LINK FENCE.
- 3 NEW 6'-0" HIGH CHAIN-LINK FENCE.
- 4 EXISTING 6'-0" HIGH STEEL TUBE FENCE WITH PILASTERS.
- 5 NEW 6'-0" HIGH STEEL TUBE FENCE WITH PILASTERS. SEE DETAIL SHEET C-502.
- 6 EXISTING SERVICE GATE TO REMAIN.
- 7 NEW GATE TO MATCH FENCE TYPE.
- 8 NEW SITE WALL.
- 9 EXISTING RAMP AND STAIRS.
- 10 NEW CURB CUT PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 11 RE-LOCATED NON-ILLUMINATED SIGN.
- 12 RAISED PLANTER. SEE DETAIL SHEET C-501.
- 13 RELOCATED BENCHES (BY GEN. CONTRACTOR). SEE DETAIL SHEET C-501.
- 14 CONCRETE PLAZA / WALK. SAWCUT JOINTS IN PATTERN INDICATED. SEE DETAIL SHEET C-501.
- 15 NEW 6" CURB / GUTTER AND/OR NEW 6" WIDE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 16 STANDARD 8'-6" WIDE X 20'-0" LONG PARKING SPACE, PAINTED STRIPING.
- 17 VAN PARKING WITH 8'-6" WIDE X 20'-0" SPACE AND 8'-0" WIDE X 20'-0" LOADING AREA, PAINTED STRIPING.
- 18 EXISTING UTILITY POLE.
- 19 EXISTING STREET LIGHT.
- 20 EXISTING FIRE HYDRANT.
- 21 NEW PARKING BUMPER, TYPICAL. SEE DETAIL SHEET C-501.
- 22 NEW ASPHALT PAVING.
- 23 NEW SAND PERIMETER (BY GEN. CONTRACTOR). SEE DETAIL SHEET C-501.
- 24 NEW WASHED PLAY SAND TO A MINIMUM DEPTH OF 12" (PROVIDED & INSTALLED BY APS PLAYGROUND CONTRACTOR).
- 25 PAINTED GRAPHICS. SEE ENLARGED PLAN SHEET C-402.
- 26 RELOCATED TETHERBALL POLES.
- 27 EXISTING BASKETBALL COURT.
- 28 PLAY STRUCTURE (RELOCATED BY APS PLAYGROUND CONTRACTOR. REFURBISH AS REQUIRED FOR NEW INSTALLATION). SEE ENLARGED PLAN SHEET C-401.
- 29 EXISTING TREE WELL BENCH TO REMAIN.
- 30 RELOCATED TREE WELL BENCH. SEE SIMILAR DETAILS SHEET C-501.
- 31 NEW CONCRETE STEPS AND LANDING. SEE PLAN SHEET A-102.
- 32 IRRIGATION SLEEVE. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 33 18" WIDE CONCRETE APRON. LOCATE AT BUILDING PERIMETER. SEE WALL SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- 34 NEW PLAY EQUIPMENT. SEE ENLARGED PLAN SHEET C-402.
- 35 EXISTING 12 STALL BIKE PARKING TO REMAIN.
- 36 18" WIDE CONCRETE MOW STRIP. LOCATE UNDER WROUGHT IRON FENCING IN FRONT YARD (ONLY).
- 37 PAINTED STRIPED PAVING.
- 38 CONCRETE SLAB. SEE GRADING AND DRAINAGE PLAN SHEET C-105.
- 39 EXISTING REFUSE AREA.
- 40 PAINT CURB IN AREA OF LOADING ZONE.
- 41 NEW NO PARKING SIGN, COORDINATE WITH LOCATION OF LANDSCAPING, SIDEWALK, ETC. SEE SIMILAR SIGN DETAIL SHEET C-501.
SIGN TEXT: NO PARKING LOADING ZONE
- 42 NEW NO PARKING SIGN, COORDINATE WITH LOCATION OF LANDSCAPING, SIDEWALK, ETC. SEE SIMILAR SIGN DETAIL SHEET C-501.
SIGN TEXT: NO PARKING BUS LOADING ZONE

GENERAL NOTES -- THIS SHEET :

- A WORK PERFORMED IN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY MAY REQUIRE A SEPARATE PERMIT, AND MAY BE REQUIRED TO BE PERFORMED BY A CONTRACTOR LISTED BY THE CITY OF ALBUQUERQUE AS APPROVED FOR WORK IN THE CITY RIGHT-OF-WAY.



7-01-02

WRIGHT AND HAMMER

ARCHITECTS

1735 ALBUQUERQUE DRIVE, N.E.
ALBUQUERQUE, N.M. 87110
505-266-6784

ALBUQUERQUE PUBLIC SCHOOLS

LEW WALLACE ELEMENTARY SCHOOL

PHASE 1

ADDITIONS & IMPROVEMENTS

ALBUQUERQUE, NEW MEXICO

DATE:
1 JULY, 2002

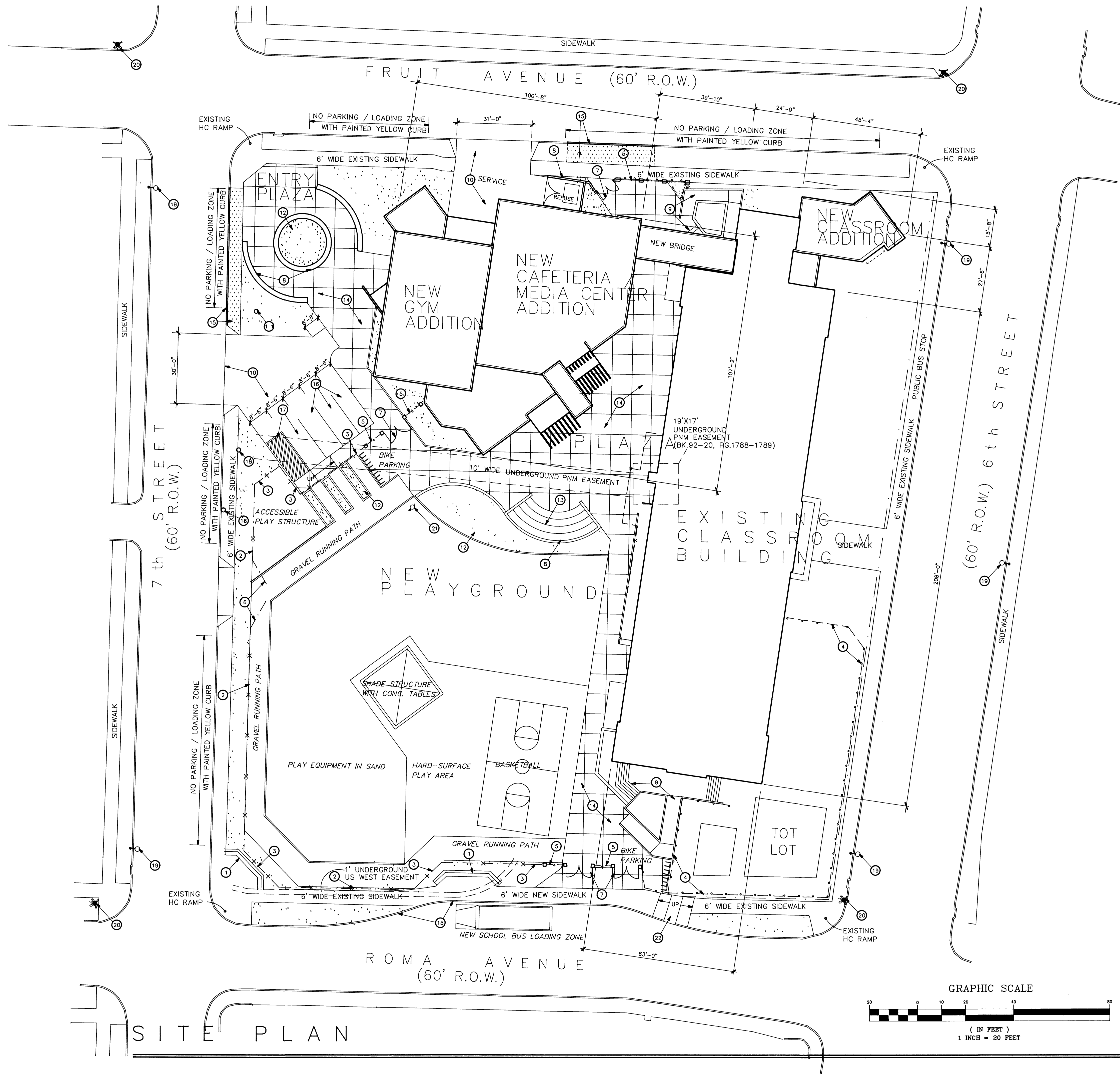
REVISIONS:
13 SEPT., 2002

SHEET

104

OF

C



KEYED NOTES :

- 1 NEW BENCH.
- 2 EXISTING 6'-0" HIGH CHAIN-LINK FENCE.
- 3 NEW 6'-0" HIGH CHAIN-LINK FENCE.
- 4 EXISTING 6'-0" HIGH WROUGHT-IRON FENCE.
- 5 NEW 6'-0" HIGH WROUGHT-IRON FENCE.
- 6 EXISTING SERVICE GATE TO REMAIN.
- 7 NEW GATE TO MATCH FENCE TYPE.
- 8 NEW SITE WALL.
- 9 EXISTING RAMP AND STAIRS.
- 10 NEW CURB CUT AND DRIVEWAY PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 11 RE-LOCATED NON-ILLUMINATED SIGN.
- 12 RAISED PLANTER.
- 13 CONCRETE AMPHITHEATER.
- 14 CONCRETE PLAZA / WALK.
- 15 NEW 6" CURB / GUTTER AND NEW 6" WIDE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 16 STANDARD 8'-6" WIDE X 20'-0" LONG PARKING SPACE.
- 17 VAN PARKING WITH 8'-6" WIDE X 20'-0" SPACE AND 8'-6" WIDE X 20'-0" LOADING AREA.
- 18 EXISTING UTILITY POLE.
- 19 EXISTING STREET LIGHT.
- 20 EXISTING FIRE HYDRANT.
- 21 WATERING HYDRANT.
- 22 NEW HC ACCESS RAMP.

BUILDING AREAS

GYM/CAFETERIA/MEDIA CENTER BUILDING	
GYM	3,290 SF
CAFETERIA / KITCHEN	3,642 SF
SUPPORT (STAIR)	1,059 SF
FIRST FLOOR TOTAL	7,991 SF
MEDIA CENTER / TEACHER'S LOUNGE	3,707 SF
BRIDGE	663 SF
SECOND FLOOR TOTAL	4,370 SF
GYM/CAFETERIA/MEDIA CENTER BUILDING TOTAL	12,361 SF
CLASSROOM ADDITION	
CLASSROOM	904 SF
BRIDGE EXTENSION	158 SF
FIRST FLOOR TOTAL	1,062 SF
CLASSROOM	904 SF
BRIDGE EXTENSION	158 SF
SECOND FLOOR TOTAL	1,062 SF
CLASSROOM ADDITION TOTAL	2,124 SF
EXISTING CLASSROOM BUILDING	
FIRST FLOOR TOTAL	13,804 SF
SECOND FLOOR TOTAL	13,804 SF
EXISTING CLASSROOM BUILDING	27,608 SF

PARKING

PARKING SPACES	
PARKING SPACES REQUIRED	0
PARKING SPACES PROVIDED	4 (1 HANDICAPPED)
BICYCLE SPACES	
BICYCLE SPACES REQUIRED	12.5
BICYCLE SPACES PROVIDED	16

EXISTING CONDITION

TOTAL AREA = 78,000 SF = 1.79 AC.
 ROOF AREA = 18,000 SF (0.24)
 PAVED AREA = 33,000 SF (0.42)
 LANDSCAPED AREA = 15,000 SF = (0.20)
 UNDEVELOPED AREA = 11,000 SF = (0.14)

DEVELOPED CONDITION

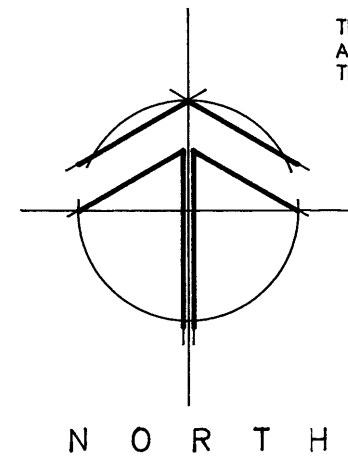
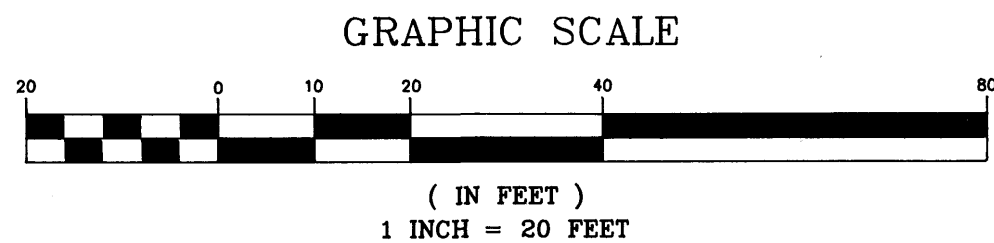
TOTAL AREA = 78,000 SF = 1.79 AC.
 ROOF AREA = 22,000 SF (0.28)
 PAVED AREA = 22,000 SF (0.28)
 LANDSCAPED AREA = 16,000 SF = (0.21)
 UNDEVELOPED AREA = 18,000 SF = (0.23)

GRADING

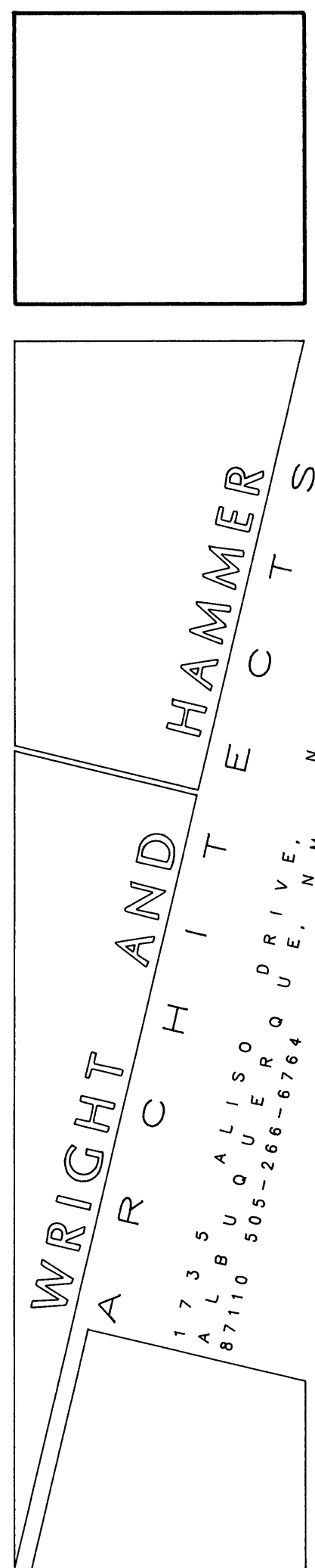
FULLY-DEVELOPED PUBLIC STREETS SURROUND THE SITE ON ALL FOUR SIDES. FRUIT AVENUE N.W. IS ON THE NORTH, 6TH STREET N.W. IS ON THE EAST, ROMA AVENUE N.W. IS ON THE SOUTH AND 7TH AVENUE N.W. IS ON THE WEST. THIS SITE IS AN EXISTING SCHOOL SITE WITHIN A FULLY DEVELOPED AREA, THEREBY MAKING THIS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA.

AS SHOWN BY PARCEL 28 OF 50 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD BOUNDARY AND FLOODWAY MAPS FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, DATED OCTOBER 14, 1983, THIS SITE IS NOT LOCATED WITHIN OR ADJACENT TO A DESIGNATED 100-YEAR FLOOD HAZARD ZONE. THE SITE GENERALLY SLOPES TO THE SOUTHWEST, AND DRAINS TO THE ADJACENT STREETS. PUBLIC STORM DRAIN IMPROVEMENTS ARE LOCATED WITHIN THE SURROUNDING STREETS.

THE PROPOSED IMPROVEMENTS CONSIST OF MINOR ADDITIONS TO EXISTING BUILDINGS, AS WELL AS SITE PAVING AND LANDSCAPING AND PLAYGROUND IMPROVEMENTS. THE HISTORIC DRAINAGE PATTERN WILL NOT BE ALTERED BY THE NEW IMPROVEMENTS.



SCALE: 1" = 20'-0"



ALBUQUERQUE PUBLIC SCHOOLS
LEW WALLACE ELEMENTARY SCHOOL
 ADDITION & IMPROVEMENTS
 ALBUQUERQUE, NEW MEXICO

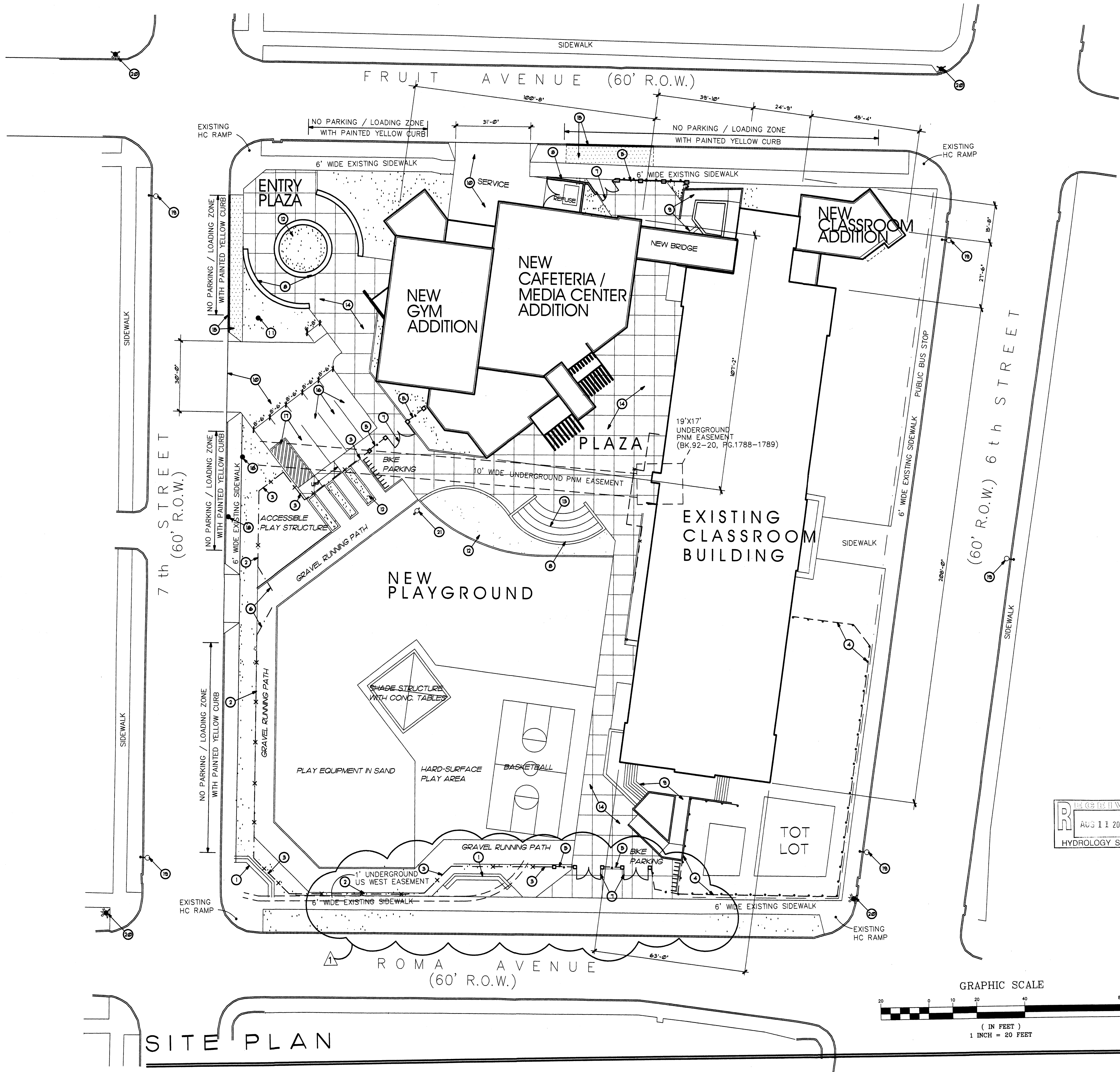
DATE:
 26 OCT., 2001

REVISIONS:

SHEET

C-2

2 OF 6



KEYED NOTES :

- 1 NEW BENCH.
- 2 EXISTING 6'-0" HIGH CHAIN-LINK FENCE.
- 3 NEW 6'-0" HIGH CHAIN-LINK FENCE.
- 4 EXISTING 6'-0" HIGH WROUGHT-IRON FENCE.
- 5 NEW 6'-0" HIGH WROUGHT-IRON FENCE.
- 6 EXISTING SERVICE GATE TO REMAIN.
- 7 NEW GATE TO MATCH FENCE TYPE.
- 8 NEW SITE WALL.
- 9 EXISTING RAMP AND STAIRS.
- 10 NEW CURB CUT AND DRIVEWAY PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 11 RE-LOCATED NON-ILLUMINATED SIGN.
- 12 RAISED PLANTER.
- 13 CONCRETE AMPHITHEATER.
- 14 CONCRETE PLAZA / WALK.
- 15 NEW 6' CURB / GUTTER AND NEW 6' WIDE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 16 STANDARD 8'-6" WIDE X 20'-0" LONG PARKING SPACE.
- 17 VAN PARKING WITH 8'-6" WIDE X 20'-0" SPACE AND 8'-6" WIDE X 20'-0" LOADING AREA.
- 18 EXISTING UTILITY POLE.
- 19 EXISTING STREET LIGHT.
- 20 EXISTING FIRE HYDRANT.
- 21 WATERING HYDRANT.
- 22 NEW HC ACCESS RAMP.

BUILDING AREAS

GYM/CAFETERIA/MEDIA CENTER BUILDING	
GYM	3,290 SF
CAFETERIA / KITCHEN	3,842 SF
SUPPORT (STAIR)	1,095 SF
FIRST FLOOR TOTAL	7,991 SF
MEDIA CENTER / TEACHER'S LOUNGE	3,701 SF
BRIDGE	863 SF
SECOND FLOOR TOTAL	4,564 SF
GYM/CAFETERIA/MEDIA CENTER BUILDING TOTAL	12,555 SF
CLASSROOM ADDITION	
CLASSROOM	924 SF
BRIDGE EXTENSION	150 SF
FIRST FLOOR TOTAL	1,074 SF
CLASSROOM	924 SF
BRIDGE EXTENSION	150 SF
SECOND FLOOR TOTAL	1,074 SF
CLASSROOM ADDITION TOTAL	2,148 SF
EXISTING CLASSROOM BUILDING	
FIRST FLOOR TOTAL	19,804 SF
SECOND FLOOR TOTAL	19,804 SF
EXISTING CLASSROOM BUILDING	39,608 SF

PARKING

PARKING SPACES	
PARKING SPACES REQUIRED	4 (1 HANDICAPPED)
PARKING SPACES PROVIDED	4
BICYCLE SPACES	
BICYCLE SPACES REQUIRED	125
BICYCLE SPACES PROVIDED	16

EXISTING CONDITION

TOTAL AREA = 19,800 SF = 1.75 AC.
 ROOF AREA = 19,800 SF (0.24)
 PAVED AREA = 33,200 SF (0.42)
 LANDSCAPED AREA = 19,800 SF = (0.20)
 UNDEVELOPED AREA = 11,000 SF = (0.14)

DEVELOPED CONDITION

TOTAL AREA = 19,800 SF = 1.75 AC.
 ROOF AREA = 22,000 SF (0.28)
 PAVED AREA = 22,000 SF (0.28)
 LANDSCAPED AREA = 19,800 SF = (0.21)
 UNDEVELOPED AREA = 19,800 SF = (0.23)

GRADING

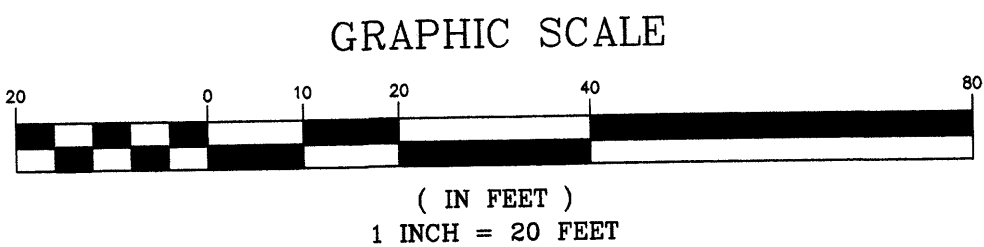
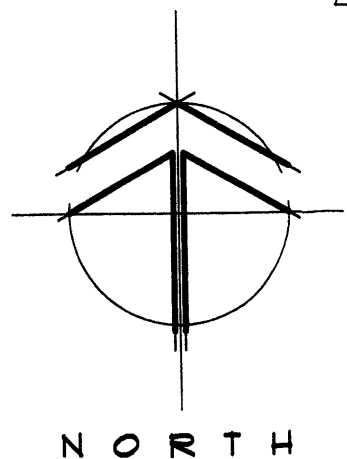
FULLY-DEVELOPED PUBLIC STREETS SURROUND THE SITE ON ALL FOUR SIDES. FRUIT AVENUE N.W. IS ON THE NORTH, 6TH STREET N.W. IS ON THE EAST, ROMA AVENUE N.W. IS ON THE SOUTH AND 7TH AVENUE N.W. IS ON THE WEST. THIS SITE IS AN EXISTING SCHOOL SITE WITHIN A FULLY DEVELOPED AREA THEREBY MAKING THIS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA.

AS SHOWN BY PARCEL 28 OF 50 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD BOUNDARY AND FLOODWAY MAPS FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, DATED OCTOBER 14, 1983, THIS SITE IS NOT LOCATED WITHIN OR ADJACENT TO A DESIGNATED 100-YEAR FLOOD HAZARD ZONE. THE SITE GENERALLY SLOPES TO THE SOUTHWEST, AND DRAINS TO THE ADJACENT STREETS. PUBLIC STORM DRAIN IMPROVEMENTS ARE LOCATED WITHIN THE SURROUNDING STREETS.

THE PROPOSED IMPROVEMENTS CONSIST OF MINOR ADDITIONS TO EXISTING BUILDINGS, AS WELL AS SITE PAVING AND LANDSCAPING AND PLAYGROUND IMPROVEMENTS. THE HISTORIC DRAINAGE PATTERN WILL NOT BE ALTERED BY THE NEW IMPROVEMENTS.

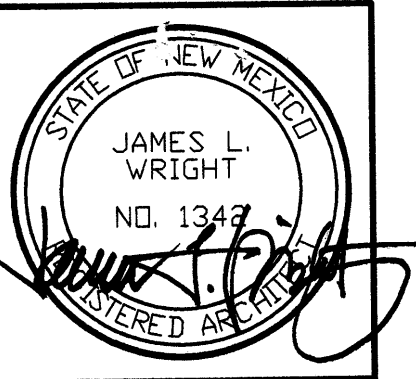
REVISIONS:

- 1 DELETE NEW SCHOOL BUS PULL-OUT LANE. EXISTING CURB, GUTTER, AND SIDEWALK CONFIGURATION TO REMAIN.



SCALE: 1" = 20'-0"

SITE DEVELOPMENT PLAN APPROVAL	
SU-3 DOWNTOWN URBAN CENTER	
FILE NO:	AA 1601589
PLANNING DIRECTOR	DATE 7-6-04

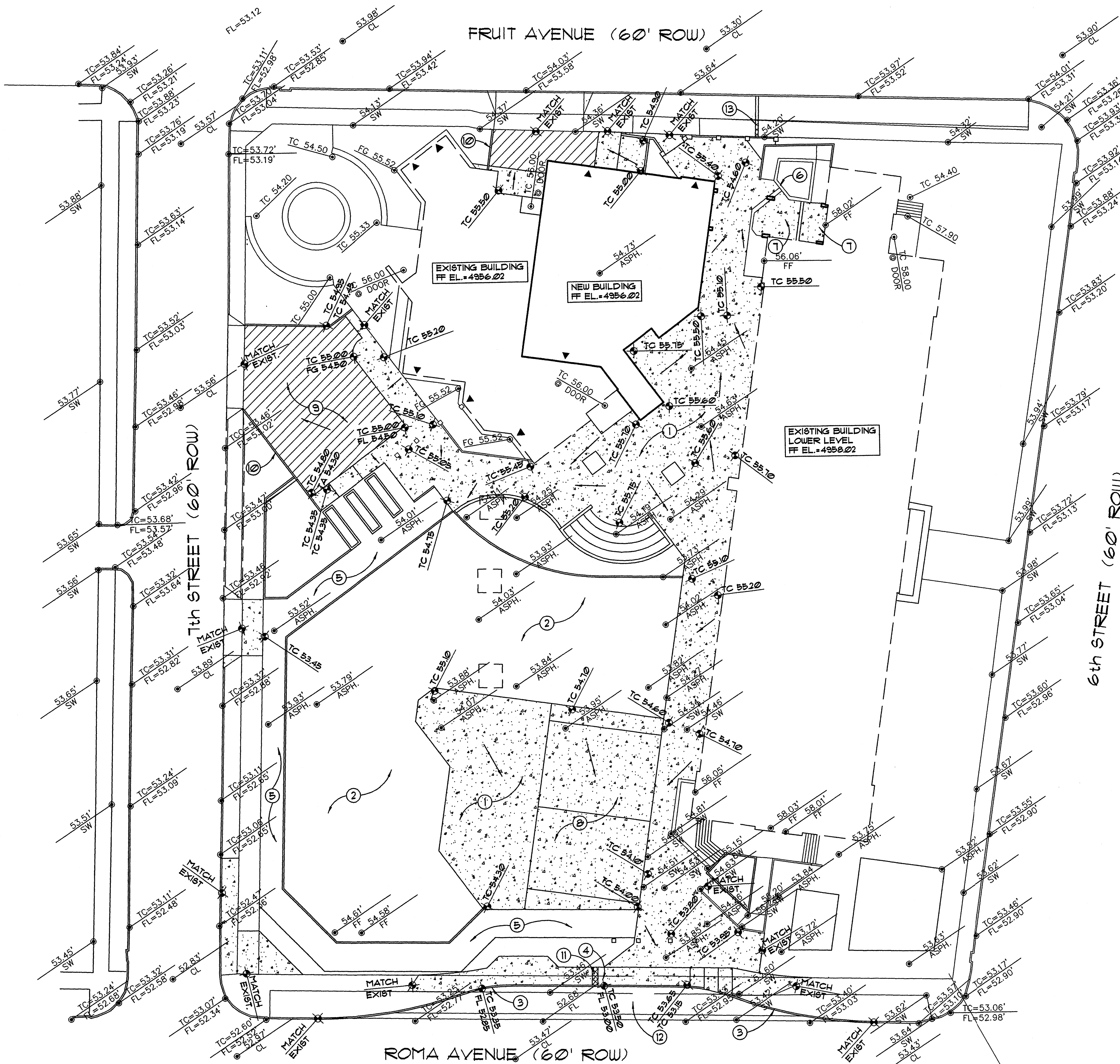


IO-31-01
 WRIGHT AND HAMMER
 ARCHITECTS
 1735 ALBUQUERQUE DRIVE, N.E.
 ALBUQUERQUE, N.M. 87110
 505-266-6764

ALBUQUERQUE PUBLIC SCHOOLS
LEW WALLACE ELEMENTARY SCHOOL
ADDITION & IMPROVEMENTS
 ALBUQUERQUE, NEW MEXICO

DATE: 26 OCT., 2001
 REVISIONS:
 1 29 JUNE, 2004

SHEET
C-2
 2 OF 6



GRADING and DRAINAGE PLAN

1" = 20'

LEGAL DESCRIPTION

ALL OF BLOCK 13, PERFECTO ARMIJO AND BROTHERS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE AS SHOWN AND DESIGNATED ON THE PLAT OF WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1881 IN BOOK 2, FOLIO 116, BEING A PORTION OF SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

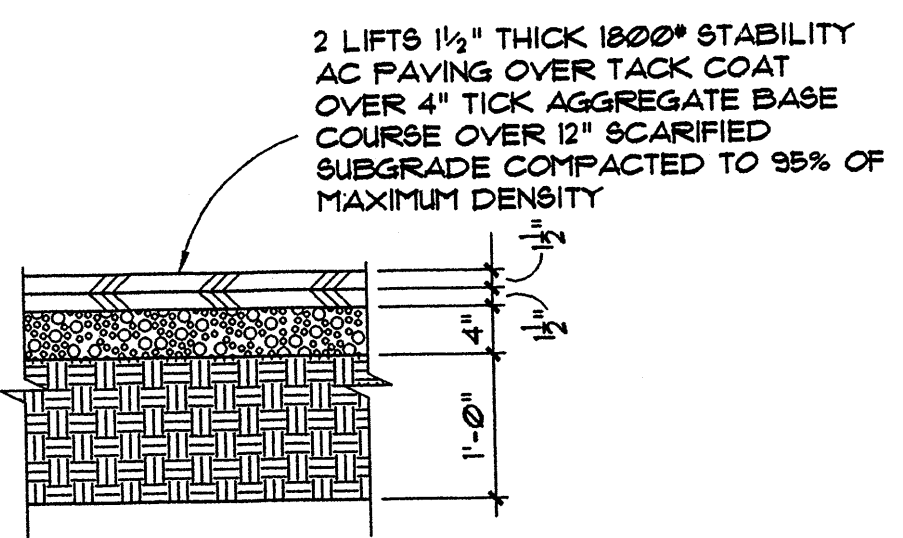
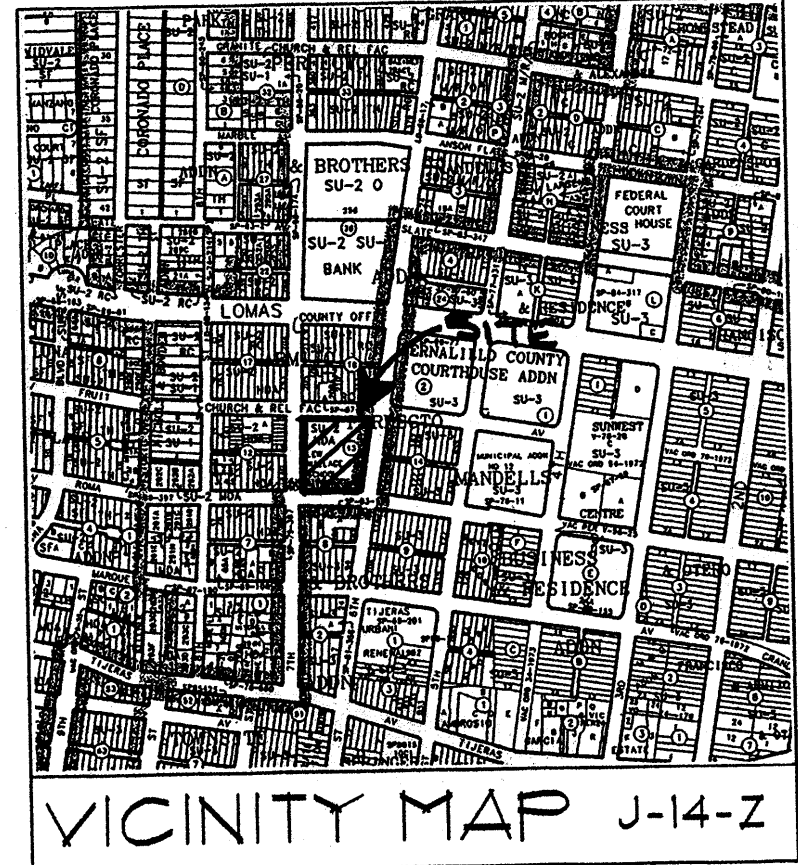
ALBUQUERQUE CONTROL STATION "4-J14" DATA: STANDARD ACS BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X=319591.81, Y=1481918.13, GROUND TO GRID FACTOR = 0.99961910, DELTA ALPHA = -20'13.53"

HYDROLOGY CALCULATIONS

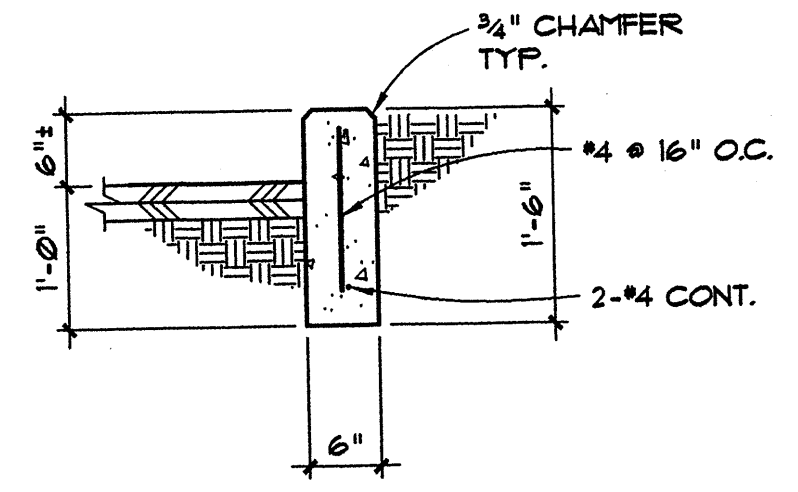
ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE
PRECIPITATION ZONE 2 - PER DPM 22.2
100 - YR Design Storm (P) Depth (in)
1hr 8in 24hr 4day 10day
2.01 2.35 2.75 3.30 3.95

EXISTING CONDITIONS	TREATMENT	AREA (ACRE)	AREA (%)	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0	0
B	0.247	14%	0.78	2.28	0.56	699	699	699	699	699
C	0.194	11%	1.13	3.14	0.61	796	796	796	796	796
D	1.349	75%	2.12	4.70	6.34	10,381	12,340	15,033	18,216	18,216
TOTALS	1.790	100%			7.51	11,876	13,835	16,529	19,711	19,711

PROPOSED CONDITIONS	TREATMENT	AREA (ACRE)	AREA (%)	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0	0
B	0.281	16%	0.78	2.28	0.64	796	796	796	796	796
C	0.078	4%	1.13	3.14	0.24	320	320	320	320	320
D	1.431	80%	2.12	4.70	6.73	11,012	13,090	15,947	19,324	19,324
TOTALS	1.790	100%			7.61	12,128	14,206	17,063	20,439	20,439



1 TYPICAL PARKING LOT PAVING SECTION N.T.S.



2 SECTION - TYPICAL HEADER CURB 3/4" = 1'-0"

APPROVALS	NAME	DATE
INSPECTOR		
PERMIT NO.	MAP NO.	J-14-Z

LEGEND

- PROPERTY LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- SWALE DIRECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- TC TOP OF CONCRETE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- NEW CONCRETE PAVING
- NEW ASPHALT PAVING
- ROOF DRAIN LOCATION

KEYED NOTES

- NEW 4" 4000 PSI, CONCRETE PAVING REINFORCED WITH POLYPROPYLENE FIBERS OVER COMPACTED SUBGRADE - SEE C104 FOR JOINT PATTERN
- SAND PLAY AREA
- NEW CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING 2415
- CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DRAWING 2430
- GRAVEL RUNNING PATH
- EXISTING PLANTER WALL TO REMAIN
- REMOVE AND REPLACE CONCRETE SIDEWALK AND STAIRS AS REQUIRED TO INSTALL NEW BUILDING FOOTINGS
- NEW 5" 4000 PSI, AIR-ENTRAINED CONCRETE PAVING OVER SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY. REINFORCE W/4" x 16" O.C. EACH WAY
- AC. PAVING PER C105
- CONCRETE CURB PER 2/C105
- NEW 2'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DRAWING 2236
- NEW BUS BAY WITH VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING 2466
- NEW 1'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DRAWING 2236

PUBLIC R.O.W. CONSTRUCTION NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THE CONTRACT SHALL, EXCEPT AS OTHERWISE STATED AND PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION 1988"
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING LINES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE (ARTERIAL/COLLECTOR).
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

RECEIVED
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HYDROLOGY SECTION

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Structural Engineering
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Albuquerque, New Mexico 87110
861-3008 • Facsimile 864-5390



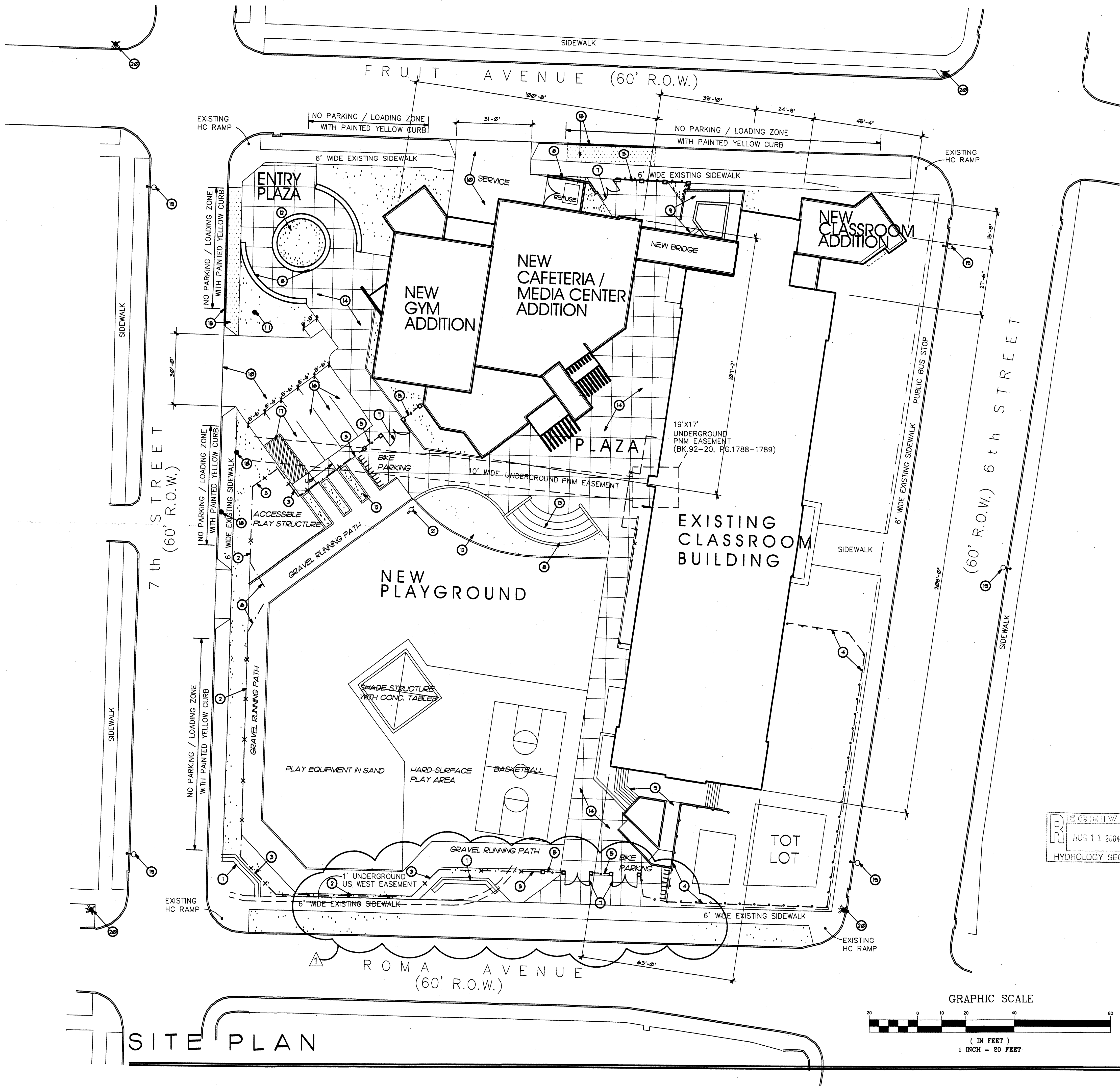
WRIGHT AND HAMMER
ARCHITECTS
1735 ALISO DRIVE
ALBUQUERQUE, N.M. 87110
505-266-9164

ALBUQUERQUE PUBLIC SCHOOLS
LEW WALLACE ELEMENTARY SCHOOL
PHASE 2
ADDITIONS & IMPROVEMENTS
ALBUQUERQUE, NEW MEXICO

DATE:
15 MAY, 2003

REVISIONS:

SHEET
C
105
OF



- KEYED NOTES :
- 1 NEW BENCH.
 - 2 EXISTING 6'-0" HIGH CHAIN-LINK FENCE.
 - 3 NEW 6'-0" HIGH CHAIN-LINK FENCE.
 - 4 EXISTING 6'-0" HIGH WROUGHT-IRON FENCE.
 - 5 NEW 6'-0" HIGH WROUGHT-IRON FENCE.
 - 6 EXISTING SERVICE GATE TO REMAIN.
 - 7 NEW GATE TO MATCH FENCE TYPE.
 - 8 NEW SITE WALL.
 - 9 EXISTING RAMP AND STAIRS.
 - 10 NEW CURB CUT AND DRIVEWAY PER CITY OF ALBUQUERQUE STANDARD DETAIL.
 - 11 RE-LOCATED NON-ILLUMINATED SIGN.
 - 12 RAISED PLANTER.
 - 13 CONCRETE AMPHITHEATER.
 - 14 CONCRETE PLAZA / WALK.
 - 15 NEW 6' CURB / GUTTER AND NEW 6' WIDE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DETAIL.
 - 16 STANDARD 8'-6" WIDE X 20'-0" LONG PARKING SPACE.
 - 17 VAN PARKING WITH 8'-6" WIDE X 20'-0" SPACE AND 8'-6" WIDE X 20'-0" LOADING AREA.
 - 18 EXISTING UTILITY POLE.
 - 19 EXISTING STREET LIGHT.
 - 20 EXISTING FIRE HYDRANT.
 - 21 WATERING HYDRANT.
 - 22 NEW HC ACCESS RAMP.

BUILDING AREAS

GYM/CAFETERIA/MEDIA CENTER BUILDING	
GYM	3,290 SF
CAFETERIA / KITCHEN	3,642 SF
SUPPORT (STAIR)	1,058 SF
FIRST FLOOR TOTAL	7,990 SF
MEDIA CENTER / TEACHER'S LOUNGE	3,101 SF
BRIDGE	653 SF
SECOND FLOOR TOTAL	4,310 SF
GYM/CAFETERIA/MEDIA CENTER BUILDING TOTAL	12,361 SF
CLASSROOM ADDITION	
CLASSROOM	504 SF
BRIDGE EXTENSION	150 SF
FIRST FLOOR TOTAL	1,062 SF
CLASSROOM	504 SF
BRIDGE EXTENSION	150 SF
SECOND FLOOR TOTAL	1,062 SF
CLASSROOM ADDITION TOTAL	2,124 SF
EXISTING CLASSROOM BUILDING	
FIRST FLOOR TOTAL	13,804 SF
SECOND FLOOR TOTAL	13,804 SF
EXISTING CLASSROOM BUILDING	27,608 SF

PARKING

PARKING SPACES	
PARKING SPACES REQUIRED	0
PARKING SPACES PROVIDED	4 (1 HANDICAPPED)
BICYCLE SPACES	
BICYCLE SPACES REQUIRED	12
BICYCLE SPACES PROVIDED	16

EXISTING CONDITION

TOTAL AREA = 18,000 SF ± 178 AC.
ROOF AREA = 15,000 SF ± (0.24)
PAVED AREA = 33,000 SF ± (0.42)
LANDSCAPED AREA = 15,000 SF ± (0.20)
UNDEVELOPED AREA = 1,000 SF ± (0.14)

DEVELOPED CONDITION

TOTAL AREA = 18,000 SF ± 178 AC.
ROOF AREA = 27,608 SF ± (0.28)
PAVED AREA = 22,000 SF ± (0.28)
LANDSCAPED AREA = 16,000 SF ± (0.21)
UNDEVELOPED AREA = 15,000 SF ± (0.23)

GRADING

FULLY-DEVELOPED PUBLIC STREETS SURROUND THE SITE ON ALL FOUR SIDES. FRUIT AVENUE NUL IS ON THE NORTH, 6TH STREET NUL IS ON THE EAST, ROMA AVENUE NUL IS ON THE SOUTH AND 7TH AVENUE NUL IS ON THE WEST. THIS SITE IS AN EXISTING SCHOOL SITE WITHIN A FULLY-DEVELOPED AREA, THEREBY MAKING THIS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA.

AS SHOWN BY PARCEL 28 OF 50 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD BOUNDARY AND FLOODWAY MAPS FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, DATED OCTOBER 14, 1989, THIS SITE IS NOT LOCATED WITHIN OR ADJACENT TO A DESIGNATED 100-YEAR FLOOD HAZARD ZONE. THE SITE GENERALLY SLOPES TO THE SOUTHWEST, AND DRAINS TO THE ADJACENT STREETS. PUBLIC STORM DRAIN IMPROVEMENTS ARE LOCATED WITHIN THE SURROUNDING STREETS.

THE PROPOSED IMPROVEMENTS CONSIST OF MINOR ADDITIONS TO EXISTING BUILDINGS, AS WELL AS SITE PAVING AND LANDSCAPING AND PLAYGROUND IMPROVEMENTS. THE HISTORIC DRAINAGE PATTERN WILL NOT BE ALTERED BY THE NEW IMPROVEMENTS.

REVISIONS:

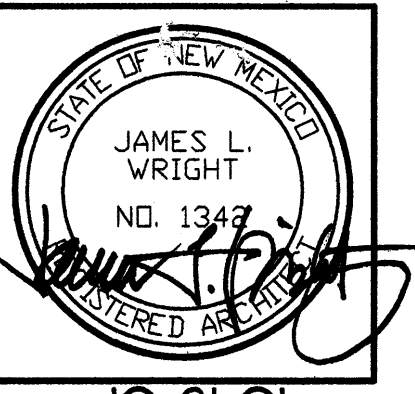
- 1 DELETE NEW SCHOOL BUS PULL-OUT LANE. EXISTING CURB, GUTTER, AND SIDEWALK CONFIGURATION TO REMAIN.

SITE DEVELOPMENT PLAN APPROVAL

SU-3 DOWNTOWN URBAN CENTER

FILE NO: AA 1001589

Kenneth S. Smith 7-6-04
PLANNING DIRECTOR DATE



10-31-01

WRIGHT AND HAMMER

1735 ALISO DRIVE, N.E.
ALBUQUERQUE, N.M. 87110 505-266-6764

ALBUQUERQUE PUBLIC SCHOOLS

LEW WALLACE ELEMENTARY SCHOOL

ADDITION & IMPROVEMENTS

ALBUQUERQUE, NEW MEXICO

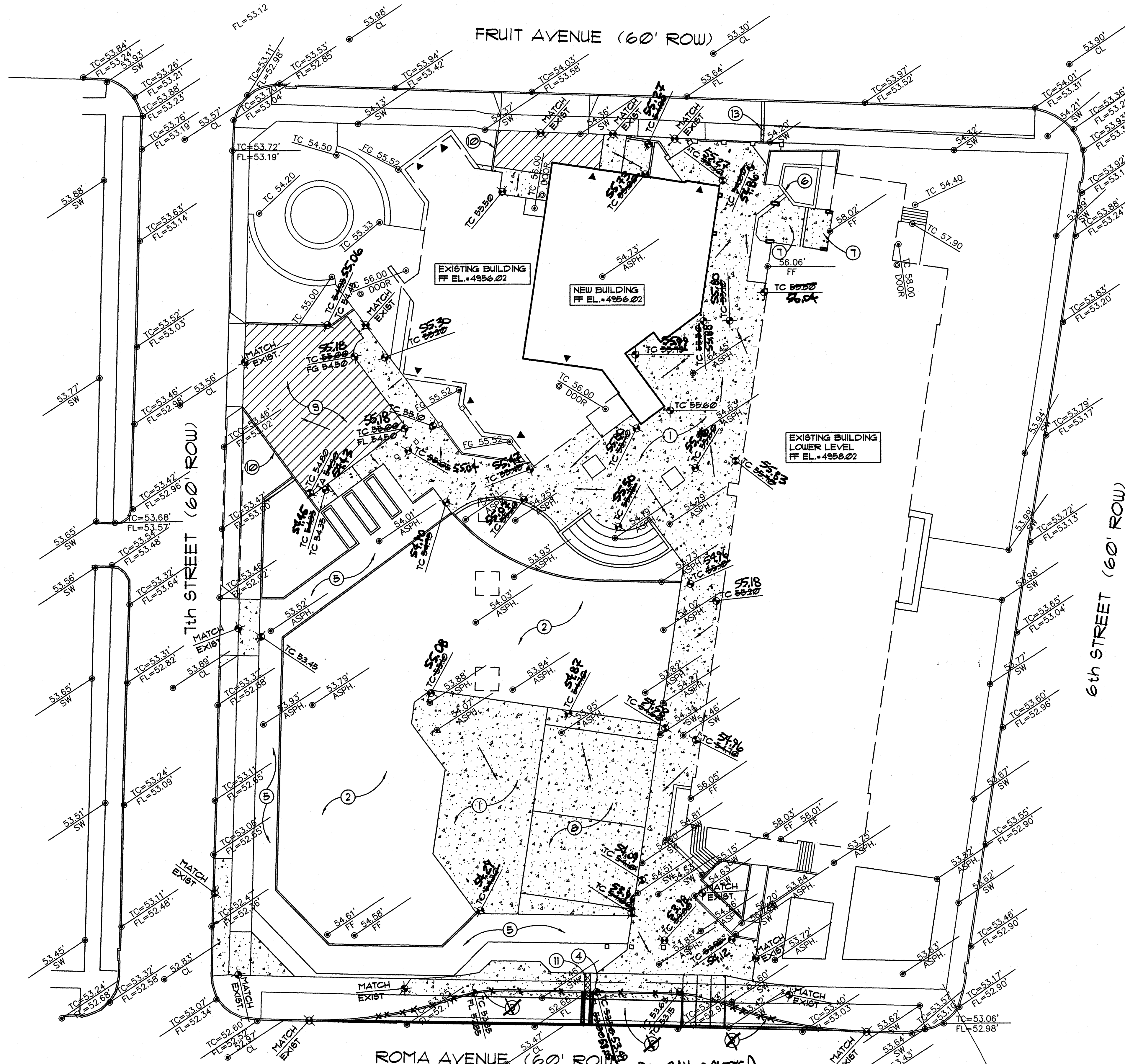
DATE: 26 OCT., 2001

REVISIONS: 1 29 JUNE, 2004

SHEET

C-2

2 OF 6



GRADING and DRAINAGE PLAN

LEGAL DESCRIPTION

ALL OF BLOCK 13, PERFECTO ARMIJO AND BROTHERS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE AS SHOWN AND DESIGNATED ON THE PLAT OF WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1891 IN BOOK D, FOLIO 116, BEING A PORTION OF SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

ALBUQUERQUE CONTROL STATION "4-J14" DATA: STANDARD AC9 BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X=379591.81, Y=1481918.13, GROUND TO GRID FACTOR = 0.99967910, DELTA ALPHA = -00°13'53"

HYDROLOGY CALCULATIONS

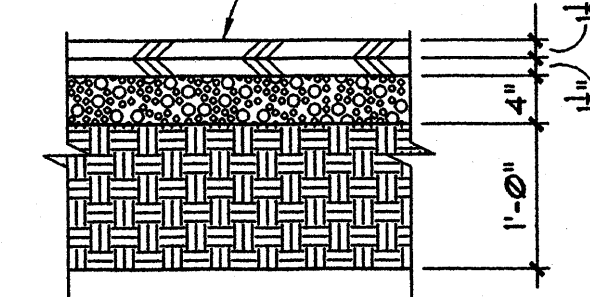
ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE
PRECIPITATION ZONE 2 - PER DPM 22.2
100 - YR Design Storm (P) Depth (in)
1hr 6hr 24hr 4day 10day
2.01 2.35 2.75 3.30 3.95

EXISTING CONDITIONS	TREATMENT	AREA (ACRE)	%	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
CLASS										
A		0.00	0%	0.53	1.58	0.00	0	0	0	0
B		0.247	14%	0.78	2.28	0.56	699	699	699	699
C		0.194	11%	1.13	3.14	0.61	796	796	796	796
D		1.349	75%	2.12	4.70	6.34	10,381	12,340	15,033	18,216
TOTALS		1.790	100%			7.51	11,876	13,835	16,529	19,711

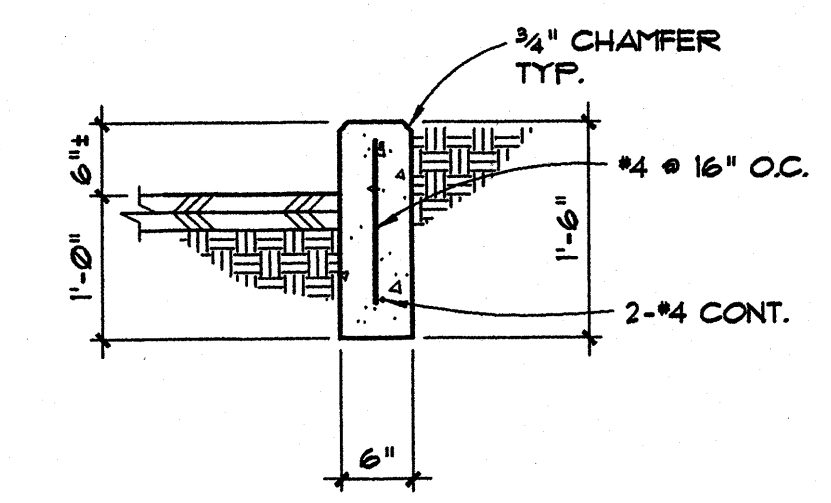
PROPOSED CONDITIONS	TREATMENT	AREA (ACRE)	%	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
CLASS										
A		0.00	0%	0.53	1.58	0.00	0	0	0	0
B		0.281	16%	0.78	2.28	0.64	796	796	796	796
C		0.078	4%	1.13	3.14	0.24	320	320	320	320
D		1.431	80%	2.12	4.70	6.73	11,012	13,090	15,947	19,324
TOTALS		1.790	100%			7.61	12,128	14,206	17,063	20,439



2 LIFTS 1 1/2" THICK 1800# STABILITY AC PAVING OVER TACK COAT OVER 4" TICK AGGREGATE BASE COURSE OVER 12" SCARIFIED SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY



1 C1025 TYPICAL PARKING LOT PAVING SECTION N.T.S.



2 C1025 SECTION - TYPICAL HEADER CURB 3/4"=1'-0"

APPROVALS	NAME	DATE
INSPECTOR		
PERMIT NO.	MAP NO.	
	J-14-Z	

LEGEND

- PROPERTY LINE
- 80.50' PROPOSED SPOT ELEVATION
- 54.01' EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- SWALE DIRECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- TC TOP OF CONCRETE
- FL FLOWLINE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW ASPHALT PAVING
- [Symbol] ROOF DRAIN LOCATION
- AS-BUILT SPOT ELEVATION

KEYED NOTES

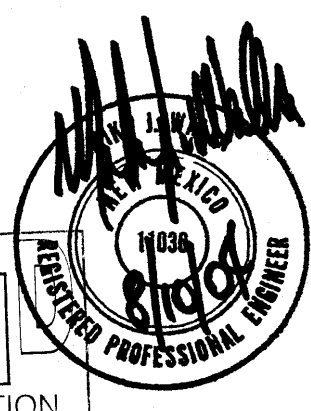
- NEW 4" 4000 PSI CONCRETE PAVING REINFORCED WITH POLYPROPYLENE FIBERS OVER COMPACTED SUBGRADE - SEE C104 FOR JOINT PATTERN
- SAND FILL AREA
- NEW CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING 72415
- CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DRAWING 72430
- GRAVEL RUNNING PATH
- EXISTING FLANTER WALL TO REMAIN
- REMOVE AND REPLACE CONCRETE SIDEWALK AND STAIRS AS REQUIRED TO INSTALL NEW BUILDING FOOTINGS
- NEW 5" 4000 PSI AIR-ENTRAINED CONCRETE PAVING OVER SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY. REINFORCE W/ #4 @ 16" O.C. EACH WAY
- A.C. PAVING PER C1025
- CONCRETE CURB PER 2/C1025
- NEW 2'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DRAWING 72336
- NEW BUS BAY WITH VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING 72406
- NEW 1'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DRAWING 72336

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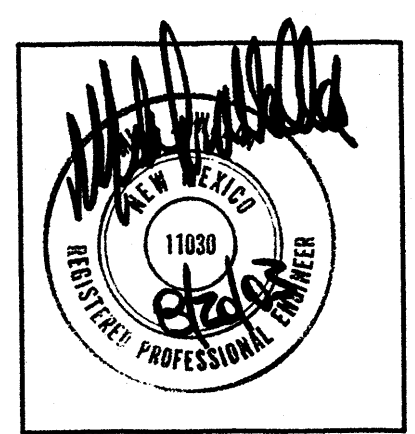
I, MIKE WALLA NYPE 10230, OF THE FIRM WALLA ENGINEERING LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-20-03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JANSTAR. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8-5-04 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR AND OTHER PURPOSES.

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DATE 8/10/04

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Civil Engineering
8100 Indian School Road NE • Suite 210
Albuquerque, New Mexico 87110
881-3508 • Facsimile 884-5390



WRIGHT AND HAMMER
ARCHITECTS
1736 ALISO DRIVE
ALBUQUERQUE, N.M.
87110 868-466-6764

ALBUQUERQUE PUBLIC SCHOOLS
LEW WALLACE ELEMENTARY SCHOOL
PHASE 2
ADDITIONS & IMPROVEMENTS
ALBUQUERQUE, NEW MEXICO

DATE:
15 MAY, 2003
REVISIONS:

SHEET
C
105
OF