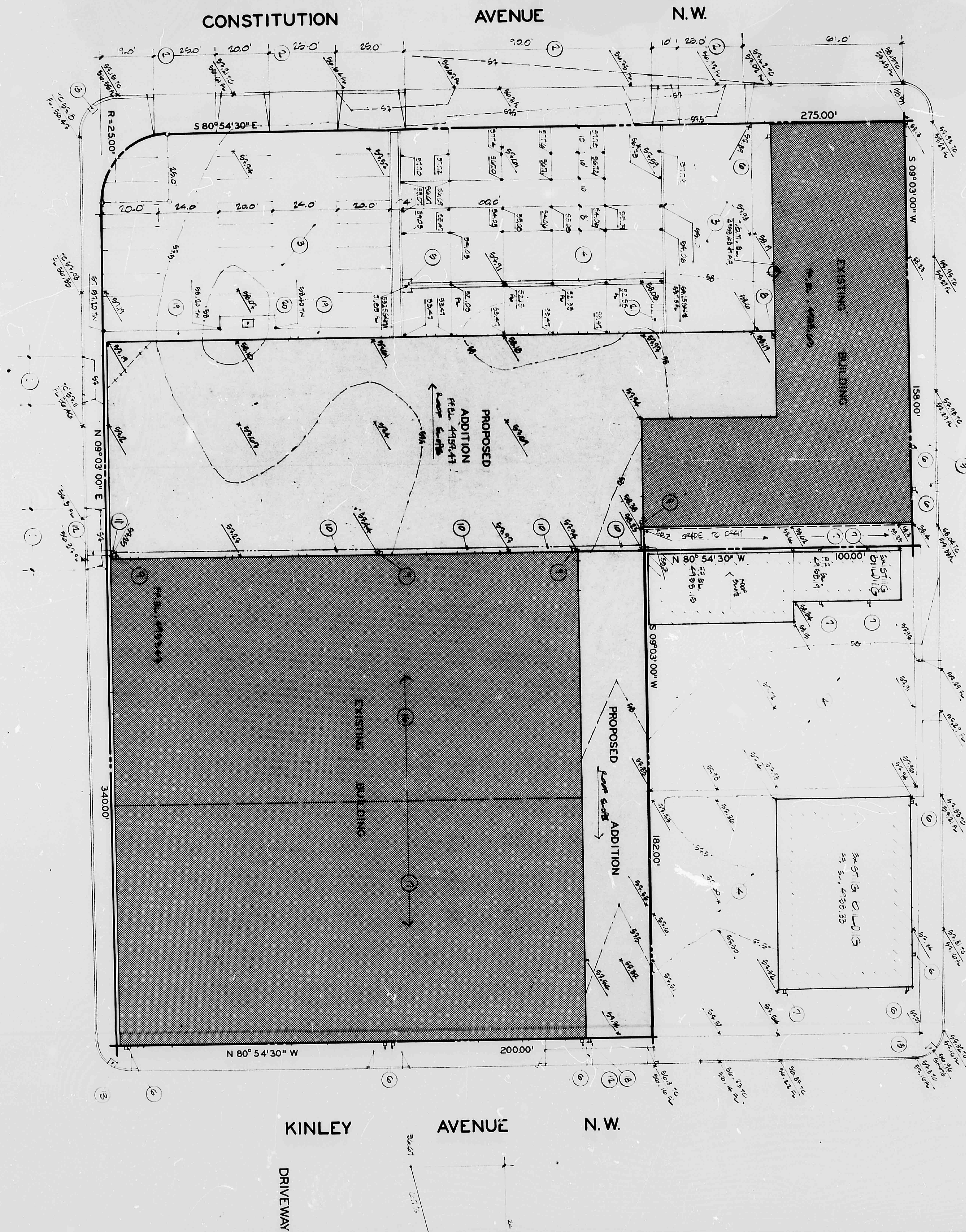


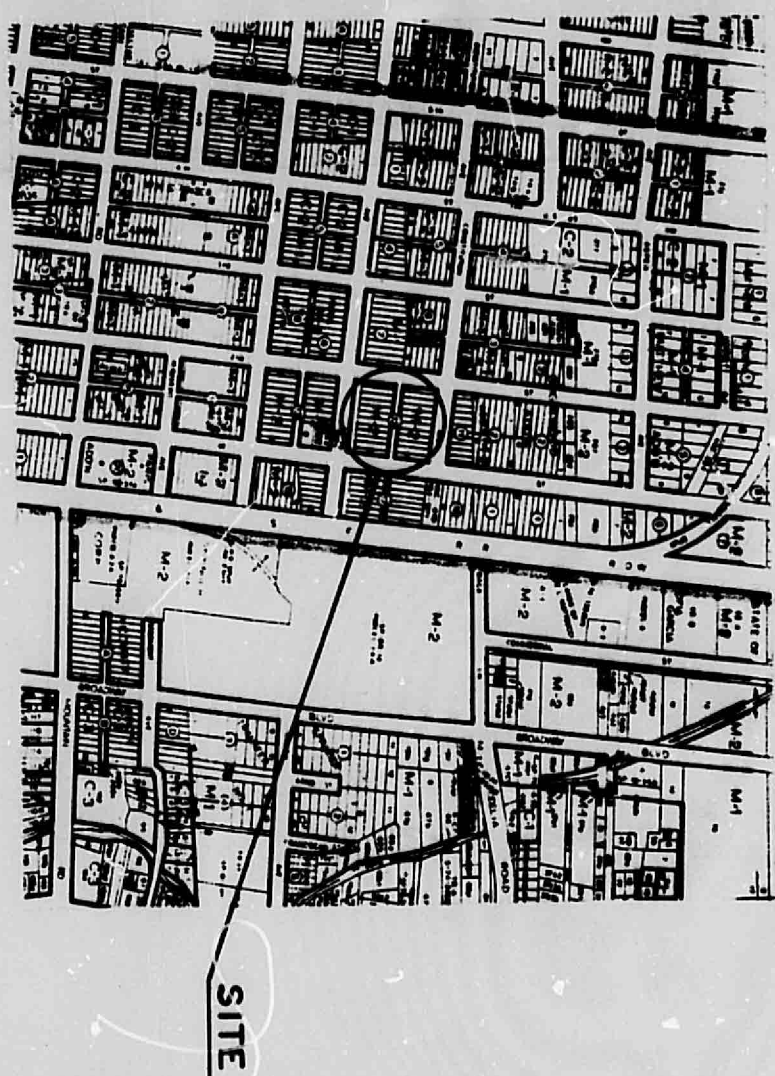
GRADING & DRAINAGE PLAN

SECOND STREET N.W.



1" = 20.00'

Plan Shot In Two Sections

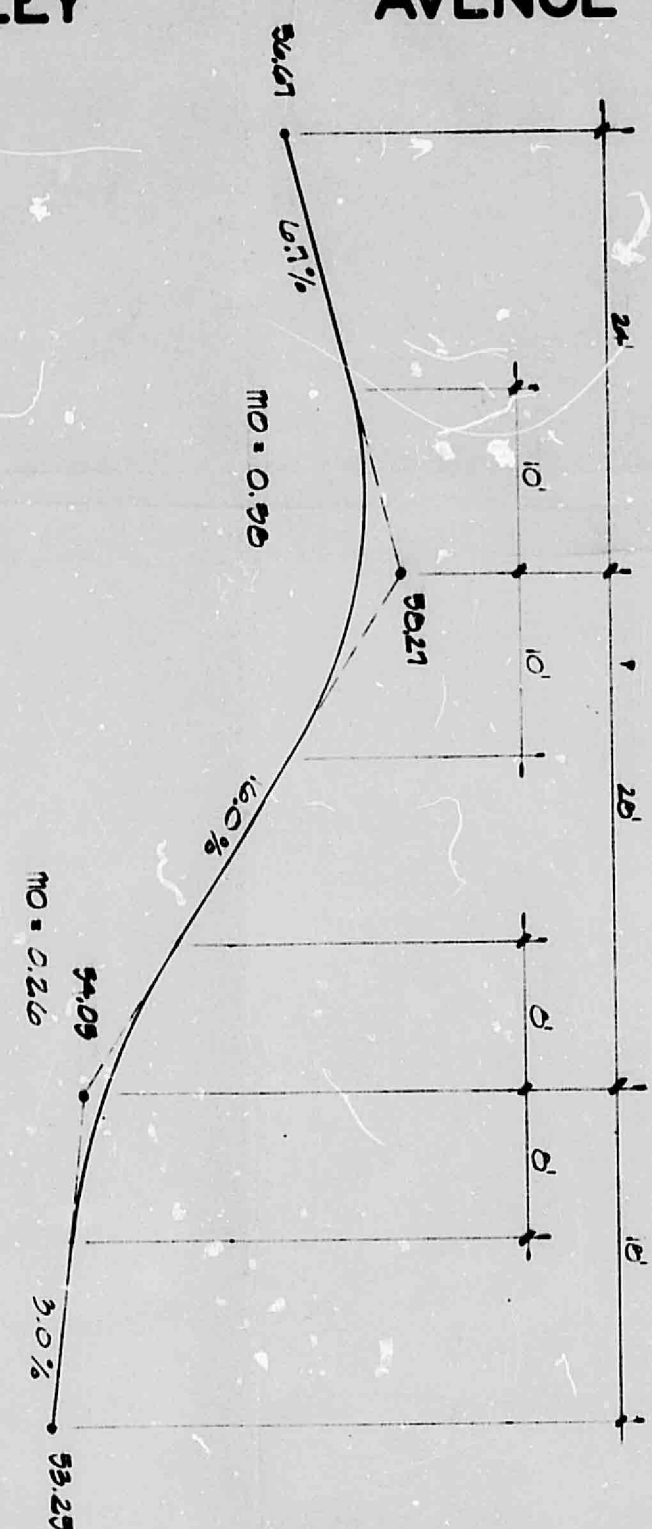


VICINITY MAP
ZONE ATLAS J-14-Z

KINLEY AVENUE N.W.

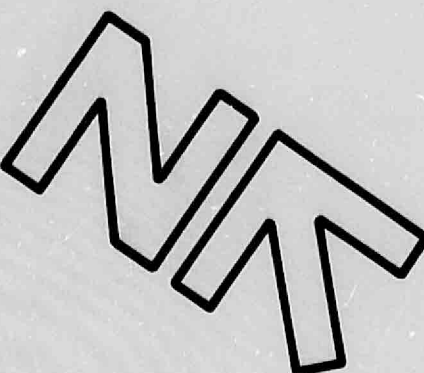
DRIVEWAY PROFILE AT TRUCK DOCK

1" = 10' +CH-Z.
1" = 2' VERT.



N.W.

1" = 20.00'



Elipha Ray, P.E. Elmer & Rumpflin, Inc.

LEGAL DESCRIPTION

Lot A
Block 12
Paris Addition
Bernalillo County, New Mexico
Zone Atlas Map # J-14-Z

LEGEND

- Existing spot elevation
- Proposed spot elevation
- Existing contour
- Finished floor
- FL Flow line
- TC Top of curb
- TW Top of walk

KEYED NOTES

1. Remove existing driveways and replace with standard curb and gutter as per city standard drawing P-8-3.
2. Build new driveway as per city standard drawing P-11-2.
3. Existing asphalt paving to remain.
4. 12" wide trench drain.
5. 2'-0" square sump pit.
6. Existing leaderhead and downspout to remain.
7. Existing canse to remain.
8. Existing leaderhead to be channeled into 4" PVC drain pipe and directed down and thru the north wall of the addition.
9. Existing leaderhead to be channeled into PVC drain pipe.
10. PVC drain pipe (size as shown on plan) shall channel runoff to the west.
11. PVC drain pipe down.
12. Drainage sidewalk culvert per city standard drawing K-13-1.
13. Existing catch basin.
14. Unpaved parking area.
15. Existing sidewalk culvert.
16. The northern half of the existing roof drains to the existing leaderheads on the north wall.
17. The southern half of the existing roof drains to the existing leaderheads on the north wall.
18. New leaderhead and downspout.
19. Sidewalk.
20. Transformer.
21. Concrete steps to grade.

DRAINAGE ENGINEER

Dwain Adam, Principal, Anderson
455-A Holladay Blvd. NE
Albuquerque, New Mexico 87109
(505) 981-1808
Contact: Jake Bordenave

ARCHITECT

The Ken Hovey Design Group
3700 Stimms Avenue SE
Albuquerque, New Mexico 87108
(505) 255-9400
Contact: Ken Hovey

APPROVED FOR DRAINAGE

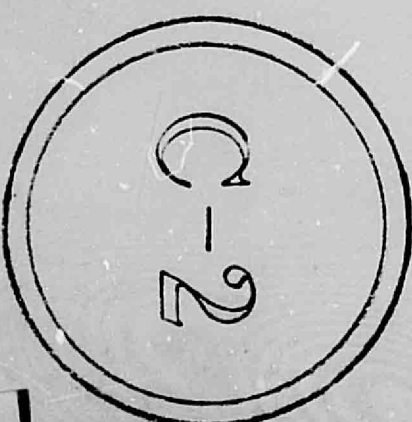
5/11/84

Elipha Ray, P.E. Elmer & Rumpflin, Inc.

GRADING AND DRAINAGE PLAN

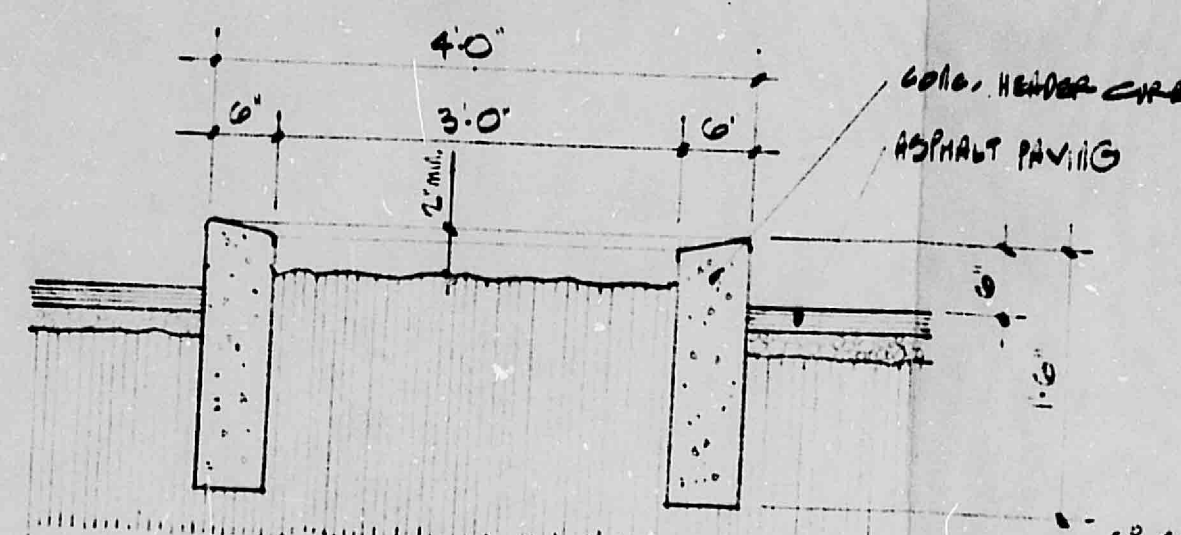
ADDITION TO ALBUQUERQUE MAP FACILITY
1510 SECOND STREET N.W.
ALBUQUERQUE, NEW MEXICO

514/D40

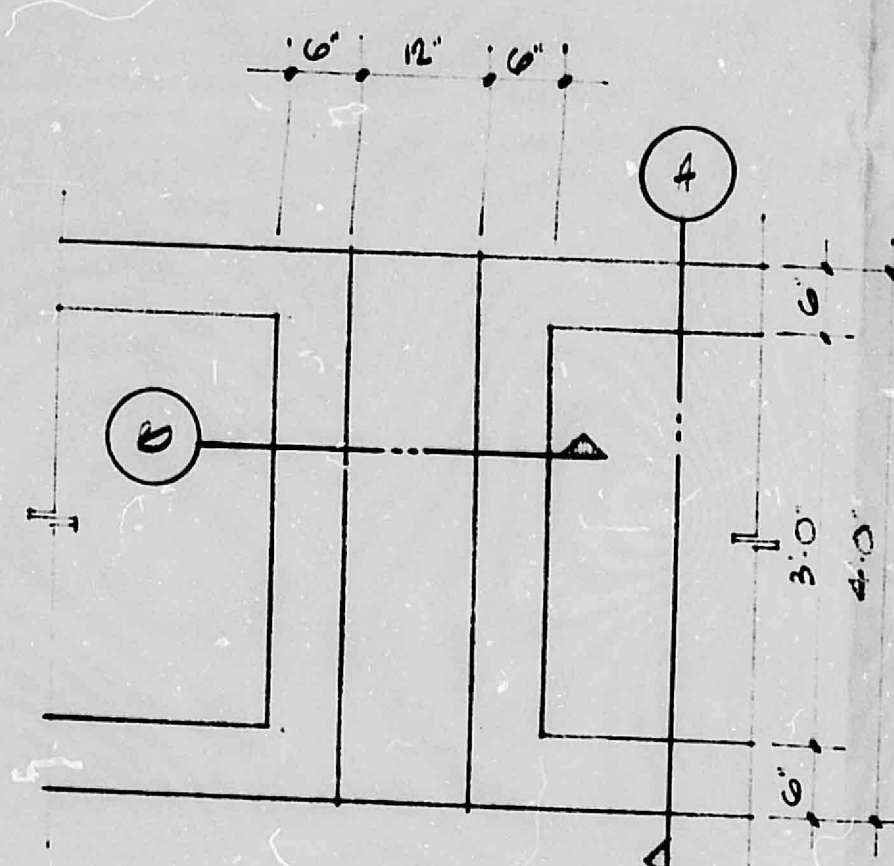




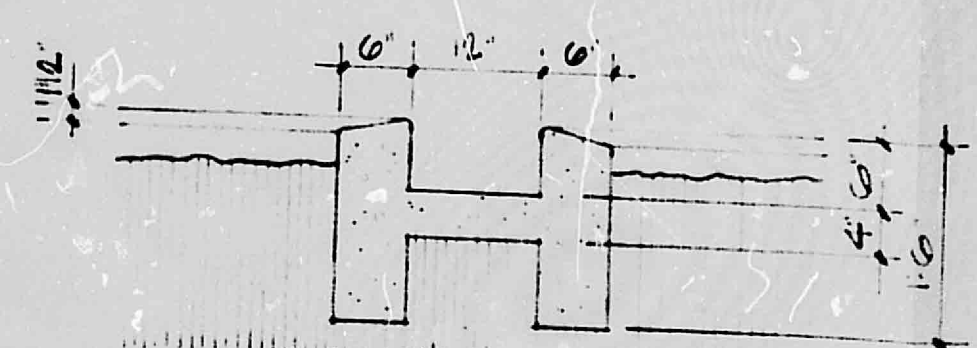
VICINITY MAP J-14



TYPICAL PLANTER SECTION 3/4"=1'-0"

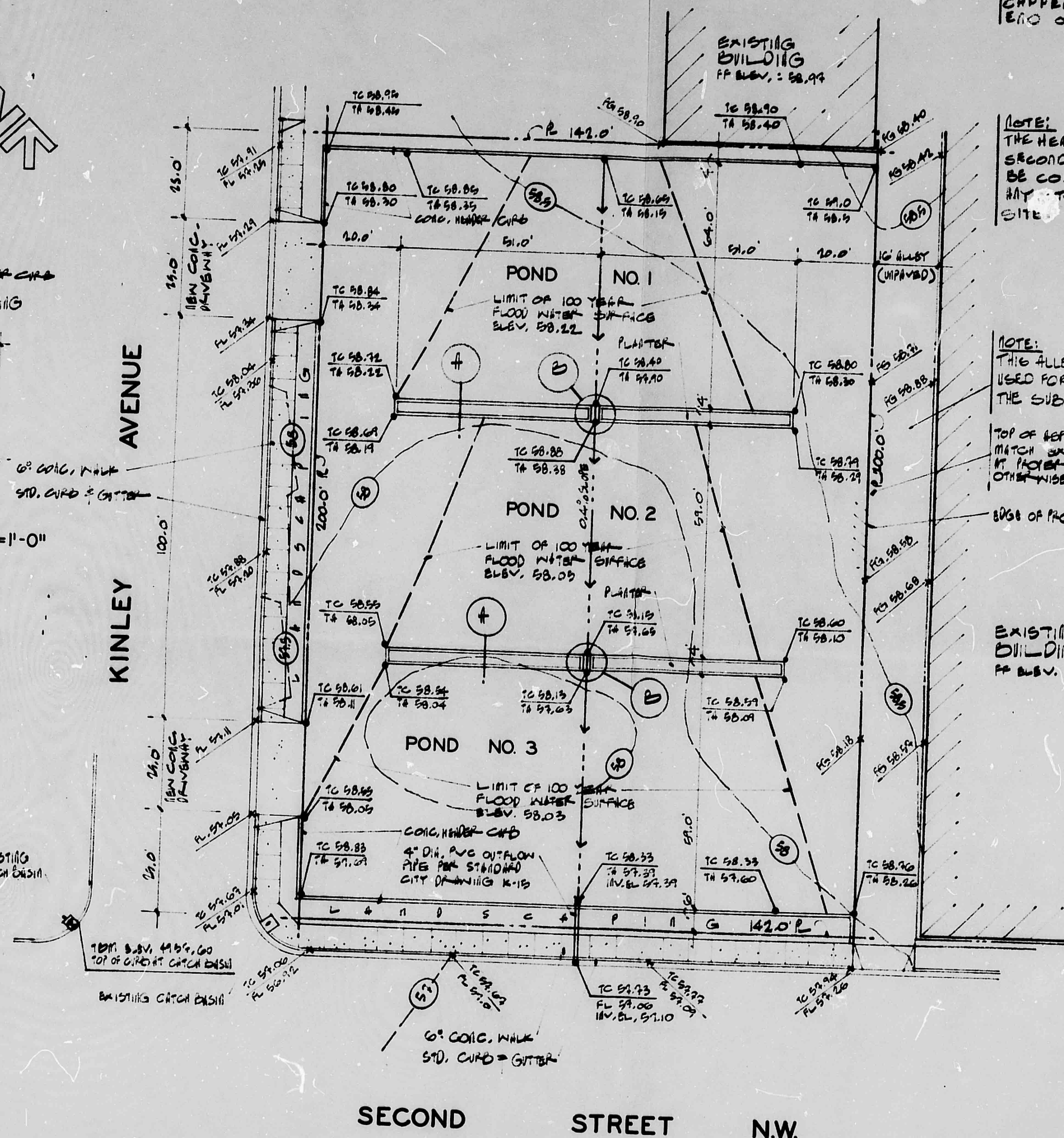


PLAN



SECTION

CURB OPENING DETAIL 3/4"=1'-0"



GRADING & DRAINAGE PLAN

1"=20.00'

NOTE:
THE 4" OUTLET PIPE
SHALL REMAIN
CAPPED UNTIL THE
END OF CONSTRUCTION

NOTE:
THE HEADER CURB ALONG
SECOND STREET WILL
BE CONSTRUCTED BEFORE
ANY OTHER WORK ON THE
SITE

NOTE:
THIS ALLEY WILL NOT BE
USED FOR ACCESS TO
THE SUBJECT PARKING LOT.

TOP OF ASPHALT SHALL
MATCH EXISTING GRADE
AT PROPERTY LINE, UNLESS
OTHERWISE NOTED.

EXISTING
BUILDING
FF ELEV. = 58.11

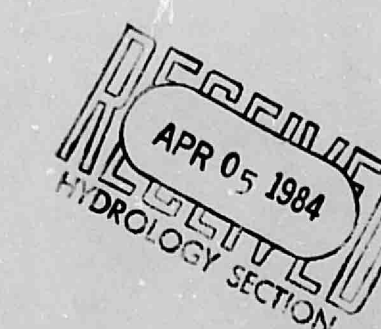
LEGEND

- Existing contour
- Existing spot elevation
- Proposed spot elevation
- Temporary benchmark (TBM)
- Finish grade
- Finish floor
- Top of curb
- Flowline
- Top of asphalt

LEGAL DESCRIPTION

Lots 1 thru 8
Block 13
Paris Addition
Bernalillo County
Albuquerque, New Mexico

Approved
4/19/84
[Signature]



PARKING LOT FOR
NAPA ALBUQUERQUE FACILITY
1510 SECOND STREET NW
ALBUQUERQUE, NEW MEXICO

J14/D40