



CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION



HYDROLOGY SECTION PROJ. NO. 1-14 DATE: 9/12/84

PLANNING DIVISION NO. _____

CONFERENCE RECAP

SUBJECT: 5th & Marquette Office Building

WHO	REPRESENTING
ATTENDANCE: <u>Jackie McDowell</u>	<u>Chavez-Grienes</u>
<u>Billy Goolsby</u>	<u>City</u>
_____	_____
_____	_____
_____	_____

FINDINGS: ① Approved Drainage Plan per DPM required for Hydrology sign-off.
② Discharge to be determined by analysis of downstream capacity - Stormsewers are available in 6th Marquette & the vacated alley.
③ Replatting required to establish 1 lot for site - Otherwise covenants or easements will be required for drainage across lotlines.

*Please provide a copy of recap w/submitals

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Billy G. Goolsby</u>	SIGNED: <u>Jackie S. McDowell</u>
TITLE: <u>CE/Hydrology</u>	TITLE: <u>Intern/Chavez/Grienes</u>
DATE: <u>9/12/84</u>	DATE: <u>9/12/84</u>

INFORMATION SHEET

PROJECT TITLE 5th & MARQUETTE OFFICE BUILDING
FOR CAVAN ASSOCIATES, LTD. TYPE OF SUBMITTAL DRAINAGE

ZONE ATLAS PAGE NO. 1-14-Z-544 CITY ADDRESS 500 MARQUETTE

LEGAL DESCRIPTION TRACT 9B-1, THE NORTHWEST PORTION OF THE TIJERAS URBAN RENEWAL DISPOS-
ITION BLOCK 9 SITUATE WITHIN BLOCK 3 OF PERFECTO, MARIANO & JESUS ARMIJO
ADDITION, ALBUQUERQUE, NEW MEXICO

ENGINEERING FIRM CHAVEZ-GRIEVES CONSUL. ENGRS. CONTACT VICTOR J. CHAVEZ

ADDRESS 4520 MONTGOMERY N.E., ABQ. 87109 PHONE (505) 881-7376

OWNER CAVAN ASSOCIATES, LTD. CONTACT GEORGE ACKROYD

ADDRESS 3420 E. SHEA BLVD. #100, PHOENIX, AZ. 85028 PHONE (602) 996-0929

ARCHITECT DWAYNE G. LEWIS, ARCHITECTS, INC. CONTACT MIKE PICKARD

ADDRESS 4148 N. 48th ST., PHOENIX, AZ. 85018 PHONE (602) 840-4190

SURVEYOR MSM/SP GROUP CONTACT JERYL HART, JR.

ADDRESS 2601 WYOMING BLVD., ABQ. 87112 PHONE (505) 292-1936

CONTRACTOR AL COHEN CONSTRUCTION CO. CONTACT DALE MARSHALL

ADDRESS 2505 18th ST., DENVER, CO. 80211 PHONE (303) 455-8800

PRE-DESIGN MEETING:

☒ YES

☐ NO

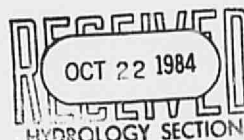
☒ COPY OF CONFERENCE RECAP SHEET PROVIDED

PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE DEVELOPMENT PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ ROUGH GRADING PERMIT APPROVAL
- ☐ GRADING/PAVING PERMIT APPROVAL
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED OCTOBER 22, 1984

BY: VICTOR J. CHAVEZ P.E.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

submitted Oct 22, 1984

November 27, 1984

Mr. Victor Chavez
Chavez-Grievess Consulting Engineers
4520 Montgomery NE
Albuquerque, NM 87109

REF: DRAINAGE PLAN FOR OFFICE BUILDING AT 5TH & MARQUETTE (J14-D44)
RECEIVED OCTOBER 22, 1984

Dear Vic:

I have reviewed the above referenced plan and forward the following comments:

1. Please show how the off-site flows will be conveyed through the site.
2. Please review the top of wall and asphalt designation east of the new parking structure and west of the new office building.
3. Please show the hydraulic analysis for the new storm drain.

If you should have any questions, please feel free to call me at 766-7644.

Sincerely yours,

Carlos A. Montoya
City/County Flood Plain Admin.

CAM:mrk

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

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INFORMATION SHEET

PROJECT TITLE 5th & MARQUETTE OFFICE BUILDING
FOR CAVAN ASSOCIATES, LTD. TYPE OF SUBMITTAL DRAINAGE

ZONE ATLAS PAGE NO. J-14-Z / 1044 CITY ADDRESS 500 MARQUETTE

LEGAL DESCRIPTION TRACT 9B-1, THE NORTHWEST PORTION OF THE TIJERAS URBAN RENEWAL DISPOSI-
TION BLOCK 9 SITUATE WITHIN BLOCK 3 OF PERFECTO, MARIANO & JESUS ARMIJO
ADDITION, ALBUQUERQUE, NEW MEXICO

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CONTRACTOR AL COHEN CONSTRUCTION CO. CONTACT DALE MARSHALL

ADDRESS 2505 18th ST., DENVER, CO. 80211 PHONE (303) 455-8800

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP SHEET PROVIDED

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- ☐ ROUGH GRADING PERMIT APPROVAL
- ☐ GRADING/PAVING PERMIT APPROVAL
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED 12/3/84

BY: VICTOR J. CHAVEZ, P.E.

RECEIVED
 DEC 3 1984
 RECEIVED
 HYDROLOGY SECTION



**CHAVEZ
GRIEVES / CONSULTING ENGINEERS, INC.**

4520 MONTGOMERY BLVD., SUITE 3
ALBUQUERQUE, N.M. 87109
(505) 881-7376

November 30, 1984

Mr. Carlos A. Montoya
The City of Albuquerque
P. O. Box 1293
Albuquerque, N.M. 87103

RE: DRAINAGE PLAN FOR OFFICE BUILDING AT 5th AND MARQUETTE
(J14-D44)

Dear Carlos:

In response to your letter dated November 27, 1984, I offer the following comments:

1. Off-site flows will be conveyed through the site by the existing grades. I have added additional off-site spot elevations to show this will occur.
2. The top of wall and asphalt elevations as shown are correct. The reason there are two top of wall elevations shown is that there are steps in the wall.
3. Analysis of the new storm drain is in the report submitted which was discussed in our meeting on November 29, 1984.

Your timely assistance in this matter is appreciated.

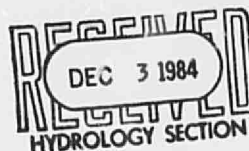
Sincerely,

CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC.

Jackie S. McDowell

Jackie S. McDowell

JSM:mf



DRAINAGE PLAN

5th & MARQUETTE OFFICE BUILDING

The study site is located south of Marquette Ave. between 5th Street and 6th Street N.W. containing approximately 1.3592 acres. The site is presently one hundred percent parking and slopes from north to south with an average slope of approximately 0.5 percent. Flows from the site discharge to 6th Street and to the property south of the site. Proposed development of the site includes a seven-level 198,921 sq. ft. parking structure and a 15-level 267,649 sq. ft. office tower with landscaping.

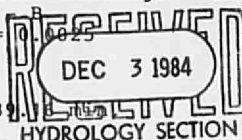
The capacity of the storm relief system in 6th Street (48" S.D.) is 82.6 cfs. The existing 100-year peak flow from the hydrograph is 56 cfs with a freeboard of approximately 6 1/2 ft. Flows from the study site are transported before the peak flow from the watershed area reaches the system. The area of the study site is almost completely developed, therefore, there will be no more extreme changes (increases) in peak flows. Due to these reasons, ponding will not be provided on the site.

Off-site flows have an impact on the proposed development. Immediately south of the site there is a contributing flow area of approximately 0.3674 acres. Peak discharge from this area is 1.64 cfs. On-site grading will direct off-site flows to the proposed inlet at the east side of the proposed building. On-site flows will be directed around the proposed structure and transported either as surface flows to Marquette Ave. and 6th Street or to the proposed inlet. Other adjacent areas north, south, east, and west of the site are prevented from contributing flows to the site by existing grades.

If constructed as proposed, the new development will not be susceptible to flooding nor increase the threat of flooding in downstream areas in the event of a 100-year storm.

DOWNSTREAM REQUIREMENTS

Watershed Area = 41 acres (Albuq. Master Drainage - Cell Map)
Soil Type = Gk, Hydrologic Soil Group - B
L = 3200 ft. Slope = (62-54)/3200 = 0.0025
Assume 85% impervious
C = 0.81 Plate 22.2 C-1
 $T = 0.0078(3200)^{0.77} / (0.0025)^{0.385} = 39.18 \text{ min.}$
I = 1.05 in./hr. Plate 22.2 D-2
6-Hr. Rainfall = 2.2 in. Plate 22.2 D-1
i = 2.2 (1.05) = 2.31 in./hr.
Q = (0.81)(2.31)(41) = 76.72 cfs
V = 2.0 (41)(43560)/12 = 297660 cu. ft.



DOWNSTREAM CAPACITY:

48" Storm Sewer in 6th Street
Capacity = 82.6 cfs (Albuq. Master Drainage)

EXISTING ON-SITE CONDITIONS:

Area = 1.3592 acres
L = 210 ft. S = 0.005
% impervious area = $37282/59208 = 0.63$
 $T = 0.0078(210)^{0.77}/(0.005)^{0.385} = 3.6 \text{ min.}$
Use T = 10 min.
I = 2.2 (T = 10 min.) Plate 22.2 D-2
i = 2.2 (2.2) = 4.84 in./hr.
C = 0.65 Plate 22.2 C-1
 $Q(100) = (0.65)(4.84)(1.3592) = 4.28 \text{ cfs}$
 $Q(10) = 4.28 (0.657) = 2.81 \text{ cfs}$
CN = 83 Plate 22.2 C-2
Direct Runoff = 2.0 in. Plate 22.2 C-4
 $V(100) = 2.0 (59208)/12 = 9868 \text{ cu. ft.}$
 $V(10) = 9868 (0.657) = 6483 \text{ cu. ft.}$

PROPOSED ON-SITE CONDITIONS:

% impervious area = $(59208-10610)/59208 = 0.82$
C = 0.82 Plate 22.2 C-1
 $Q(100) = (0.82)(4.84)(1.3592) = 5.39 \text{ cfs}$
 $Q(10) = 5.39 (0.657) = 3.54 \text{ cfs}$
CN = 93 Plate 22.2 C-2
Direct Runoff = 2.0 in. Plate 22.2 C-4
 $V(100) = 2.0 (59208)/12 = 9868 \text{ cu. ft.}$
 $V(10) = 9868 (0.657) = 6483 \text{ cu. ft.}$

CONTRIBUTING OFF-SITE FLOWS:

Area = 16005 sq. ft. = 0.3674 acres
% impervious area = 95%
C = 0.92 Plate 22.2 C-1
 $Q(100) = (0.92)(4.84)(0.3674) = 1.64 \text{ cfs}$
 $Q(10) = 1.64 (0.657) = 1.07 \text{ cfs}$

DEPTH OF 12" STORM PIPE:

$Q = (1.486 R^{2/3} S^{1/2})/n$
 $Q = 0.90 (4.84)(0.437) = 1.9 \text{ cfs; } n = 0.013$
S = 0.0022
Solving for R: $R = 0.211$ D/d = 0.4
D = depth = 12 (0.4) = 4.8"



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

December 6, 1984

Mr. Victor Chavez
Chavez-Grieves
4520 Montgomery NE
Albuquerque, NM 87109

REF: DRAINAGE REPORT FOR 5TH & MARQUETTE OFFICE BUILDING (J14-D44) RECEIVED
DECEMBER 3, 1984

Dear Vic:

The above referenced plan, received December 3, 1984, is approved.

Please attach a copy of this approved plan along with the appropriately approved "Drainage Facilities Within City Right-of-Way" document to the construction set prior to Hydrology sign-off.

If I can be of further assistance, please contact me at 766-7644.

Sincerely yours,

Carlos A. Montoya, PE
City/County Flood Plain Admin.

CAM:mrk

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Shappard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

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1448 NORTH
4TH
STREET

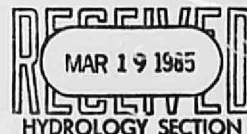
PHOENIX
ARIZONA
85018

602 840-1190

Dwayne
G. Lewis...
Architects
INC

March 15, 1985

Victor Chavez
Chavez/Grieves
4520 Montgomery Boulevard
Suite 3
Albuquerque, NM 87109



RE: 5th & Marquette
DGL #8310

Vic:

Upon application for the building permit of the above referenced project, it was brought to my attention by the City of Albuquerque Hydrology Department, that they have not received for their file prints of sheets C-1 through C-3 with revisions dated January 7 and 28, 1985. If you could please forward to them these prints I would appreciate it very much.

If there are any questions, please do not hesitate to call.

Cordially,

DWAYNE/G LEWIS... ARCHITECTS INC

A handwritten signature in dark ink, appearing to read "Michael J. Pickard".
Michael J. Pickard, AIA
Associate

MJP/db

cc Tim Huff, Cavan Associates
Steve Strasser, Cavan Associates
Dale Marshall, Al Cohen Const. Co.
Lissa Kelchner, Al Cohen Const. Co.

RECEIVED MAR 18 1985

J14-D44

500 MARQUETTE
a Cavan Property

November 15, 1985

City of Albuquerque
Hydrology Division
123 Central, NE
Albuquerque, New Mexico 87102


Attention: Mr. Rick Duran

RE: 500 Marquette

Dear Mr. Duran:

This letter is to assure you that Cavan Associates, Ltd., owner of the above project, will have a registered engineer supply a certified survey of the drainage for the 500 Marquette building at the completion of the job.

Sincerely,



Steve Strasser
Project Manager
Cavan Associates, Ltd.

SLS:sdb

INFORMATION SHEET

J14/044

PROJECT TITLE 5th & MARQUETTE OFFICE BUILDING
FOR CAVAN ASSOCIATES, LTD. TYPE OF SUBMITTAL DRAINAGE

ZONE ATLAS PAGE NO. J-14-Z CITY ADDRESS 500 MARQUETTE

LEGAL DESCRIPTION TRACT 9B-1, THE NORTHWEST PORTION OF THE TIJERAS URBAN RENEWAL DISPOS-
ITION BLOCK 9 SITUATE WITHIN BLOCK 3 OF PERFECTO, MARIANO & JESUS ARMIJO

ENGINEERING FIRM CHAVFZ-GRIEVES CONSUL. ENGRS. CONTACT VICTOR J. CHAVEZ

ADDRESS 4520 MONTGOMERY N.E., ABQ. 87109 PHONE (505) 881-7376

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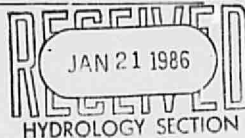
ADDRESS 2505 18th ST., DENVER, CO. 80211 PHONE (303) 455-8800

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED



PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL

- ☐ SKETCH PLAT APPROVAL
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- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED 1-20-86

BY: VICTOR J. CHAVEZ, P.E.

INFORMATION SHEET

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ADDITION, ALBUQUERQUE, NEW MEXICO

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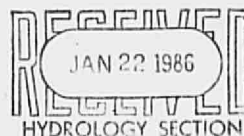
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☐ OTHER _____ (SPECIFY)



DATE SUBMITTED 1/23/86

BY: VICTOR J. CHAVEZ, P.E.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

January 28, 1986

Victor Chavez
Chavez-Grievess Consulting Engineers
4520 Montgomery Blvd., NE
Albuquerque, New Mexico 87109

RE: CERTIFICATION FOR 5TH & MARQUETTE OFFICE BUILDING
RECEIVED JANUARY 21, 1986 (J-14/D44)

Dear Mr. Chavez:

Based on the information provided on your January 21, 1986 submittal, certification for the referenced drainage plan is not acceptable.

I have been informed by City Inspection Section that no inspection has been requested for the Drainage Facilities within City Right-of-Way. Certificate of Occupancy will not be released until an approved copy of the Special Order #19 has been submitted to our office.

If I can be of further assistance, please call me at 766-7644.

Cordially,

Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

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CITY OF ALBUQUERQUE

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



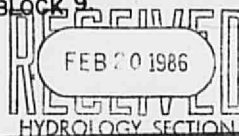
LOCATION MAP

DEVELOPER:
AEO

CAVAN ASSOCIATES, LTD.
3420 EAST SHEA BLVD. #100
PHOENIX, AZ. 85028

LEGAL DESCRIPTION

TRACT 9B-1 & THE N.W.
PORTION OF THE TIJERAS
URBAN RENEWAL DISPOSITION
BLOCK 9



NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with Public Works Contract No. 84-3.
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to ARTERIAL street use.

SUNDANCE MECH.

APPROVALS	NAME <u>[Signature]</u>	DATE <u>01/11/81</u>	TITLE: <u>TIE TO EXIST. STORM DRAIN</u>
A.C.E./DESIGN	<u>[Signature]</u>		<u>500 MARQUETTE N.W.</u>
INSPECTOR	<u>[Signature]</u>		
A.C.E./FIELD	<u>[Signature]</u>		

PERMIT NO. 25480
SHEET 1 OF 3

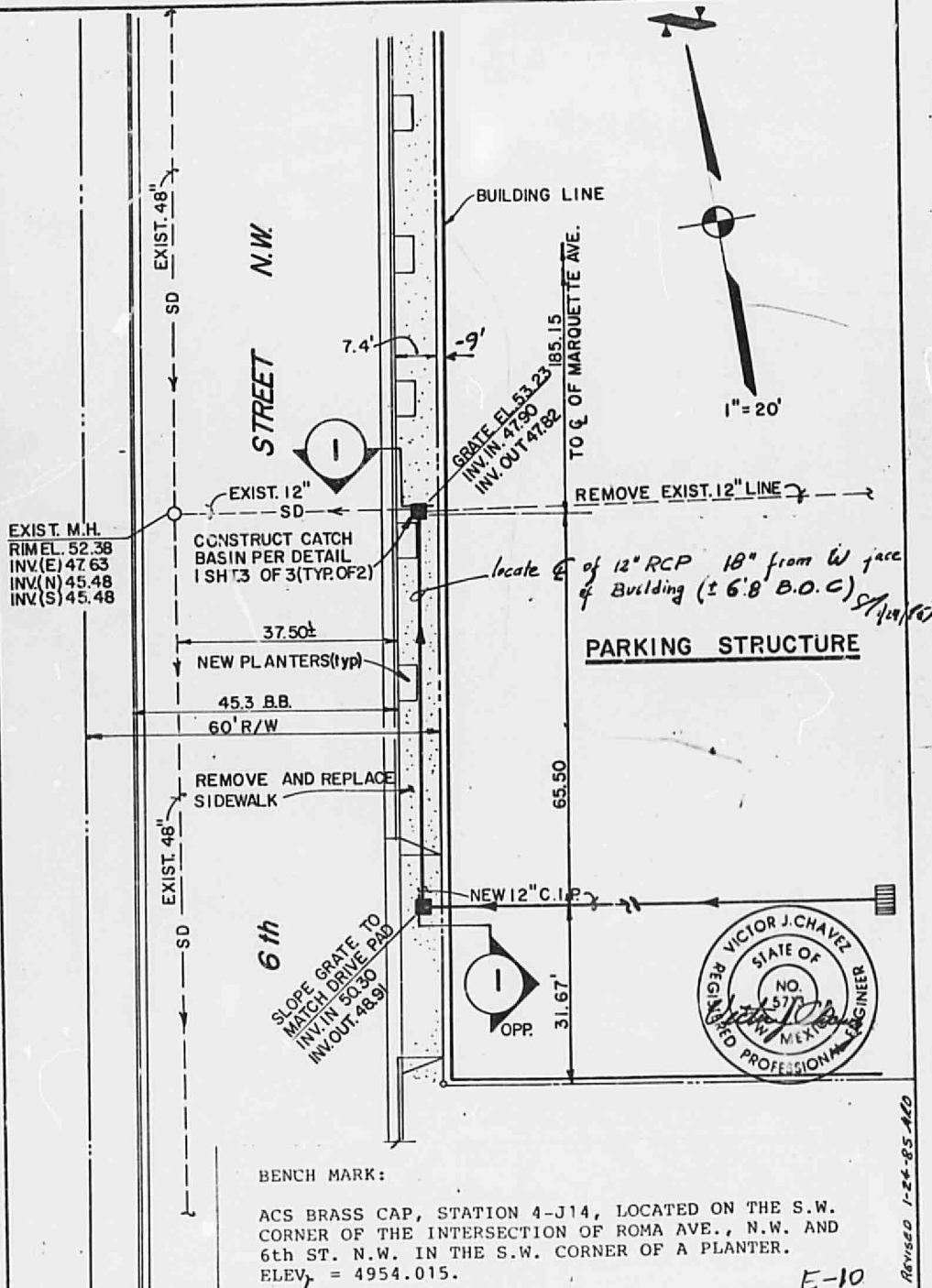
MAP
NO. J-14

REVISED 1-24-85 AEO

J14-D44
E-10

CITY OF ALBUQUERQUE

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

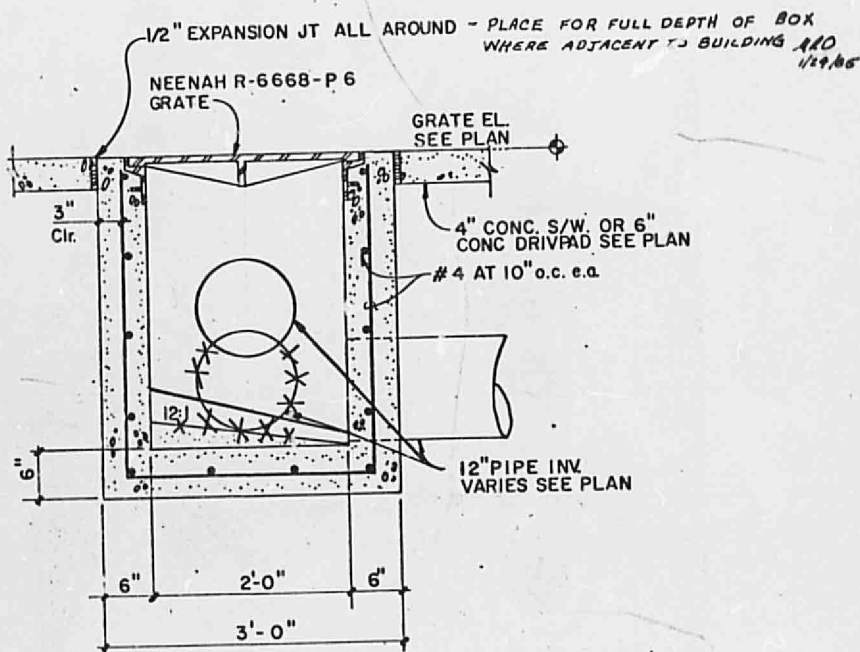


SUNDANCE MECH.

APPROVALS	NAME	DATE	TITLE
A.C.E./DESIGN	<i>[Signature]</i>	01/21/85	TIE TO EXIST. STORM DRAIN 500 MARQUETTE N.W.
INSPECTOR	R.G.		
A.C.E./FIELD	<i>[Signature]</i>	2-11-85	
			PERMIT NO. 25480 SHEET 2 OF 3
			MAP NO. J-14

CITY OF ALBUQUERQUE

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



1 CATCH BASIN SECTION

3/4" = 1'-0"



E-10

REVISED 1-24-85 ALO

SUNDANCE MECH.

APPROVALS	NAME	DATE	TITLE
A.C.E./DESIGN	<i>[Signature]</i>	01/21/85	TIE TO EXIST. STORM DRAIN 500 MARQUETTE N.W.
INSPECTOR	<i>[Signature]</i>		PERMIT NO. 25480
A.C.E./FIELD	<i>[Signature]</i>	2-11-85	SHEET 3 OF 3
			MAP NO. J-14