

CITY OF ALBUQUERQUE



October 30, 2019

Joe Casares
JCII Group, LLC
8105 Sand Springs Circle NW
Albuquerque, NM

Re: Dripline (Biergarten)
13202nd St NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 10-23-2019 (J14D046)

Dear Mr. Casares,

The TCL submittal received 10-30-2019 is approved for Building Permit with **the condition of the approved plat which will be checked at the time of CO.** A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File

GENERAL NOTES

1. PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
6. CONTRACTOR SHALL SCARIFY AREA UNDER CONCRETE DRIVEWAYS AND WALKWAYS TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
7. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
8. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO TEMPORARY FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
9. THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
11. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
12. OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PREFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT, IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
13. WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN.
14. ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 4" (MAX.) BELOW ADJACENT CONCRETE. FINISHED GRADE TO SLOPE FROM SIDEWALK GRADE TO 4" BELOW IN A HORIZONTAL DISTANCE OF 8" MINIMUM.
15. POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND DRAINAGE OUTLETS.
16. SITE SURVEY IS BASED FROM CITY OF ALBUQUERQUE CONTROL 12-J14 AND 12-J13. FILE WILL BE MADE AVAILABLE UPON REQUEST. TEMPORARY BENCHMARK AS SHOWN ON PLAN.
17. A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL OVERSEE AND VERIFY ALL CONSTRUCTION MARKINGS, AND STAKING. PROPOSED ELEVATIONS SHALL BE RELATIVE TO LOWEST ADJACENT TOP OF EXISTING CURB ELEVATION.
18. ALL WHEEL CHAIR RAMPS WITHIN THE PUBLIC RIGHT-OF-WAY AND ADJACENT TO THE PROJECT SHALL HAVE TRUNCATED DOMES.
19. ALL ADJACENT SIDEWALK AND ADA RAMPS WILL BE REPLACED WITHIN A TIMEFRAME A SET FORTH IN THE DEFERRED SIDEWALK AGREEMENT.

WASTE MANAGEMENT APPROVAL NOTES

AT THE ROLLING GATE ACROSS THE SUMMER AVE ENTRANCE: "FOR SOLID WASTE ACCESS BETWEEN 5AM AND 8PM, OBTAIN AND INSTALL CITY-ISSUED LOCK FOR MANUAL ROLLING GATE"

AT THE DUMPSTER LOCATION: "SOLID WASTE TO PROVIDE ROLL-OUT DUMPSTER SERVICE FROM THIS LOCATION. NO ACCESS FOR SOLID WASTE VEHICLES BEYOND THIS POINT."

SITE LOCATION

THE SITE (APPROXIMATELY 0.734 ACRES) IS LOCATED IN THE CITY OF ALBUQUERQUE AT 1320 2ND ST. WHICH IS LOCATED IN ZONE ATLAS MAP J-14-Z. SEE VICINITY MAP FOR GENERAL PROJECT LOCATION.

LEGAL DESCRIPTION

LOT NUMBERED ONE (1) THROUGH NINE (9) IN BLOCK NUMBERED FOURTEEN (14) OF THE PARIS ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO. AS THE SAME ARE SHOWN AND DESIGNATED ON THE AMENDED AND SUPPLEMENTAL PLAT FILED IN THE OFFICE OF THE PROBATE CLERK AND EX-OFFICIO RECORDER OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 29, 1892

EXISTING SITE CONDITION

CURRENTLY THE SITE IS DEVELOPED WITH A SHED, UTILITIES, AND PAVEMENT. THE CURRENT SITE ACCESS IS CONTROLLED BY AN EXISTING CHAIN LINK FENCE. ON-SITE PARKING IS SPORADIC SINCE NO CLEAR PARKING DELINEATION EXISTS. CURRENT INGRESS/EGRESS TO THE SITE IS THROUGH SUMMER AVENUE. THE SITE IS SURROUNDED BY EXISTING BUILDINGS, SIDEWALKS, STREETS, CURB AND GUTTER, UTILITIES AND DRAINAGE INFRASTRUCTURE.

PROPOSED DEVELOPMENT CONCEPT

THE PROPOSED DEVELOPMENT WILL BE A BREWERY AND TAP ROOM. THE EXISTING SHED WILL BE REMOVED, ALONG WITH THE EXISTING UTILITIES AND PAVEMENT. THE PROPOSED CONSTRUCTION (BUILT IN ONE PHASE) CONSISTS OF TWO BUILDINGS (WITH ROOM FOR A THIRD), NEW UTILITY SERVICE CONNECTIONS, GRADING & DRAINAGE IMPROVEMENTS, NEW GRAVEL PARKING LOT, CONCRETE WALKWAYS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE SIDEWALK, CURB, GUTTER, NEW DRIVE PAD AND UTILITY CONNECTIONS TO MAINS. THE PROPOSED DEVELOPMENT WILL NOT IMPACT ADJACENT PROPERTIES.

TRAFFIC CIRCULATION CONCEPT

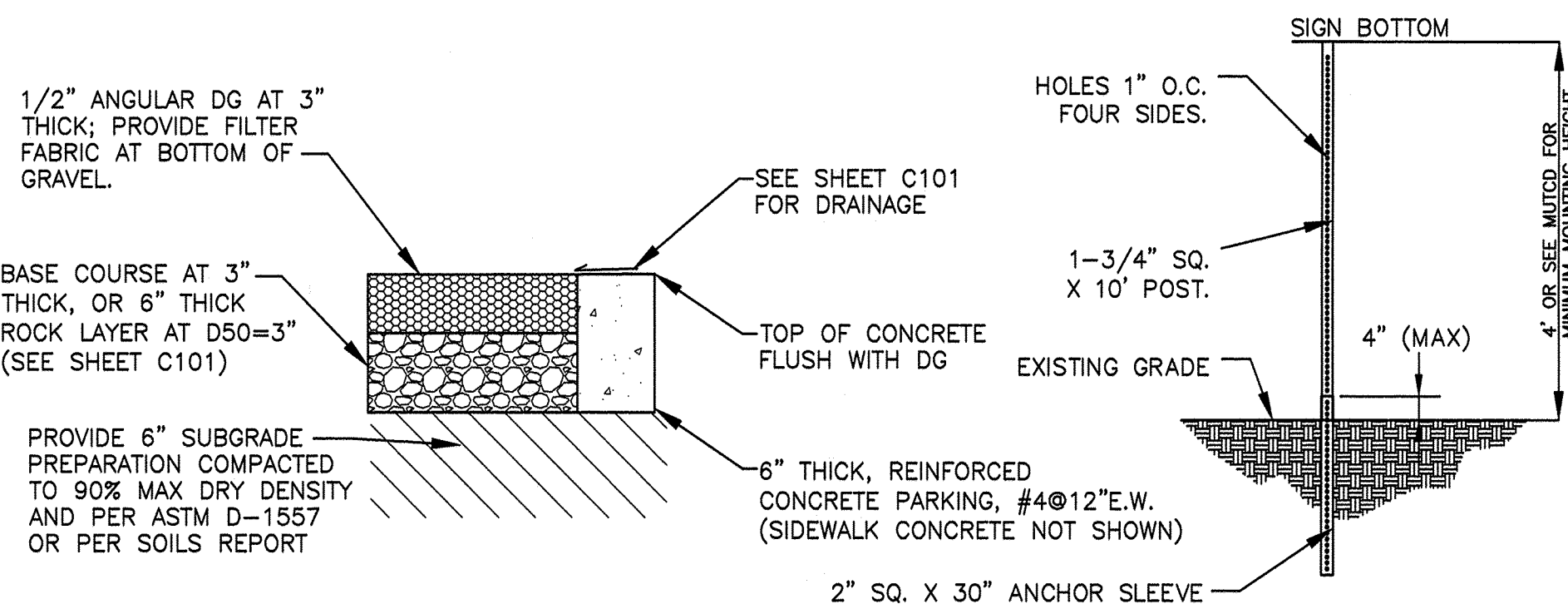
A NEW DRIVE PAD WILL PROVIDE ACCESS TO THE SITE. THE DRIVE PAD WILL CONNECT DIRECTLY TO A 200' DRIVE LANE WITH PARKING ON BOTH SIDES. THE DRIVE LANE WILL BE AS WIDE AS THE DRIVE PAD (24.0'), WHICH WILL FACILITATE TWO-WAY TRAFFIC. PARKING STALLS WILL BE PERPENDICULAR TO THE DRIVE LANE, AND WILL BE STANDARD PARKING STALLS (8.5'W X 18'L). THE DRIVE SURFACE WILL BE REINFORCED GRAVEL PER DETAIL 1. CONCRETE PAVING WILL MOSTLY PROVIDE A BARRIER BETWEEN GRAVEL AND CONCRETE. A CONCRETE WALKWAY WILL BE PROVIDED AND CONNECTED TO THE SIDEWALK IN THE ROW. EMERGENCY VEHICLE ACCESS WILL BE THROUGH SUMMER AVENUE. THERE ARE NO KNOWN TRAFFIC IMPACT STUDIES.

Parking Requirements (Per CABQ IDO)			
	Area SF	Parking Req.	Spaces
Artisan Manufacturing	677	3 / 1000	2
Outdoor/Covered Dining	1,161	5 / 1000	6
Tap/Testing Room	2,143	8 / 1000	17
Other Outdoor/Entertain.	8,153	3 / 1000	27
Combined Shared Parking (Table 5-5-3)			
Shared Parking factor = 1.7			
17x27 = 44			
44/1.7 = 25 shared spaces			
25			
Total Parking Required			
32			
Parking Required			
32 spaces			
Parking Provided			
Accessible Parking Spaces			
3 provided incl. 1 van accessible			
Standard Parking Spaces			
30 spaces provided			
Compact Parking Spaces			
3 spaces provided			
Subtotal Parking Provided			
35 Spaces			
Parking Adjustments/Credits			
Carpool Parking (14-16-5-5)(C)(5)(e)			
4 spaces per 1 designated space			
3 carpool spaces provided (3x1)			
12 Spaces			
Parking Credits Provided			
12 Spaces			
Total Parking Provided			
Subtotal Parking + Parking Credits = 47 Spaces			
Motorcycle Parking			
For 26 - 50 space lot:			
2 spaces required			
2 spaces provided			
Bicycle Parking			
10% of O.S. Parking:			
4 spaces required			
5 spaces provided			

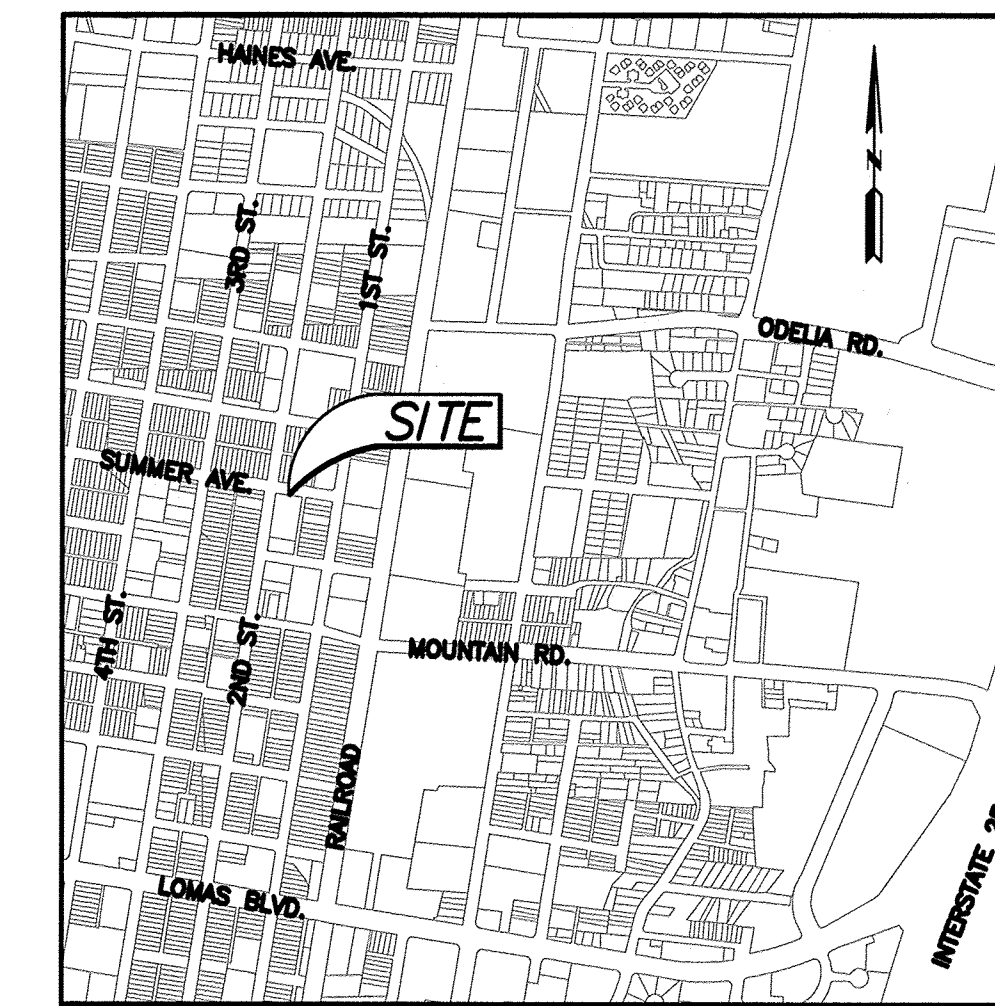
① DETAIL
SCALE: N/A

② DETAIL
SCALE: 1"=1'-0"

③ DETAIL
SCALE: N/A



SEE PLAN FOR LOCATION. SIGN FACE DISPLAY:
• RESERVED PARKING MUTCD R7-8 ALONG WITH "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
• OTHER PARKING AS SHOWN (I.E. SHARED, COMPACT, CARPOOL, MOTORCYCLE) FOLLOWED BY "PARKING"



LOCATION MAP

SCALE: 1"=1000'±
ZONE ATLAS MAP J-14-Z

OWNER INFORMATION

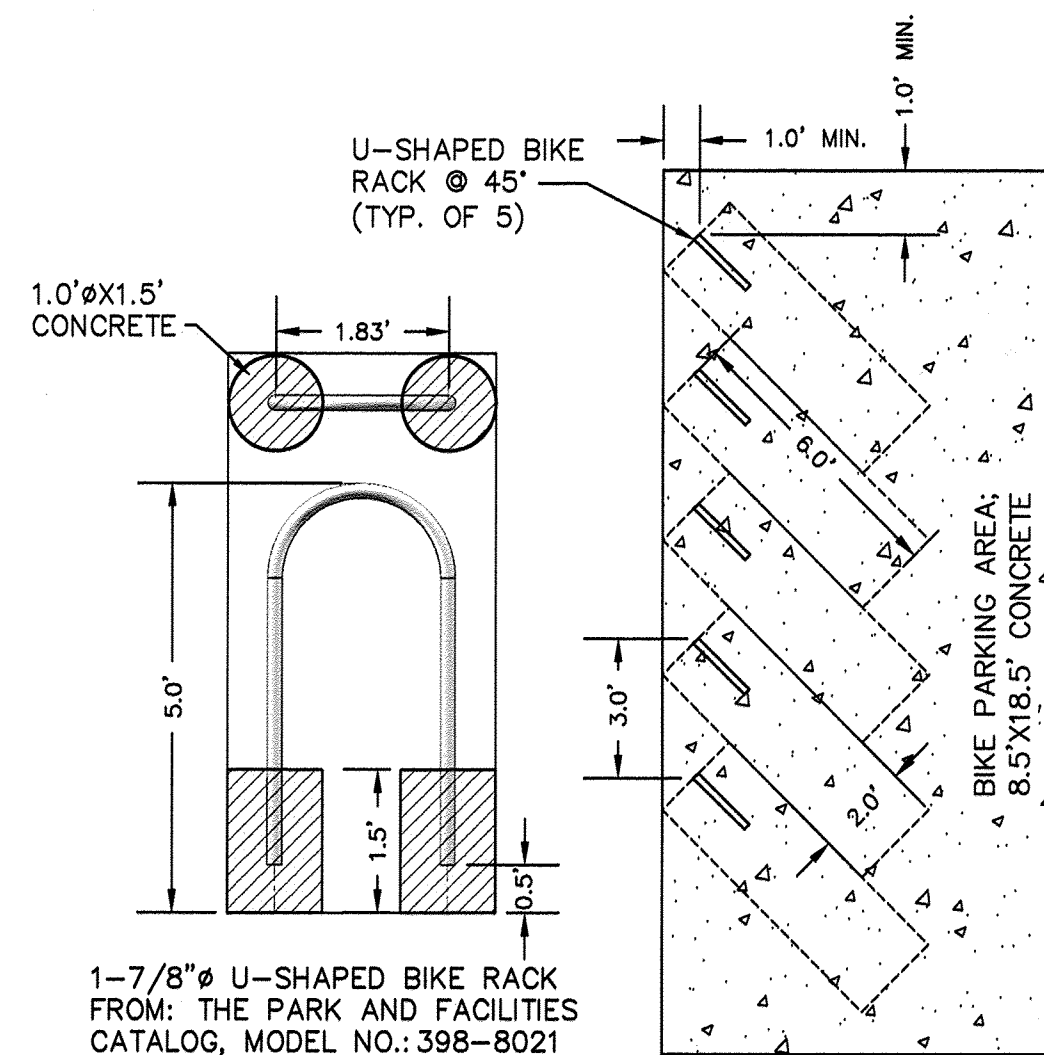
DRIPLINE
1320 2ND STREET NW
ALBUQUERQUE, NM

PROPERTY INFORMATION

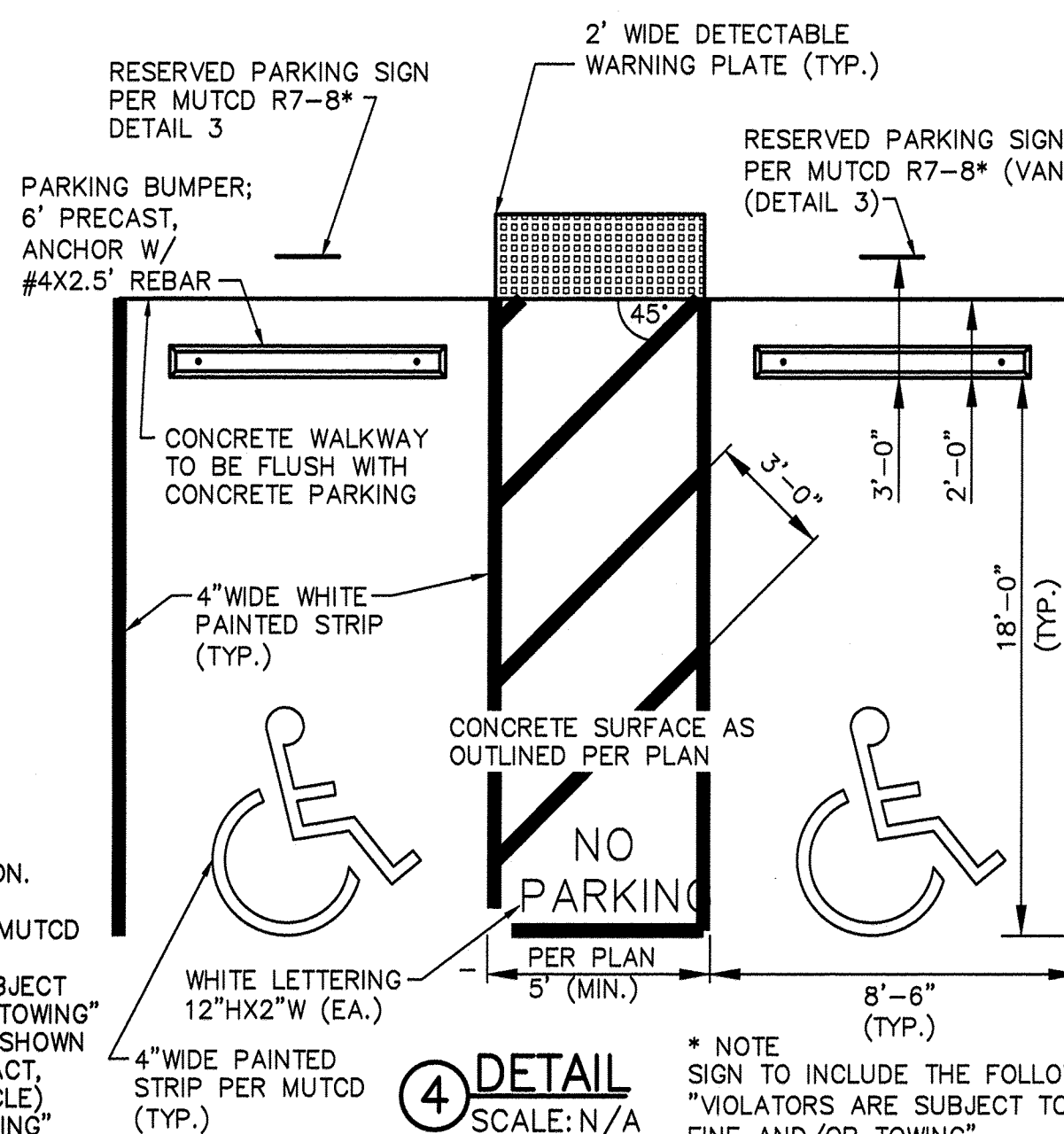
RECORDED: DEC. 29, 1892
SEC. 19, T. 10N, R. 3E, N.M.P.M.
LOT SIZE: 0.734 ACRE DEVELOPED

PROPERTY DESCRIPTION

LOT NUMBERED ONE (1) THROUGH NINE (9) IN BLOCK NUMBERED FOURTEEN (14) OF THE PARIS ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO. AS THE SAME ARE SHOWN AND DESIGNATED ON THE AMENDED AND SUPPLEMENTAL PLAT FILED IN THE OFFICE OF THE PROBATE CLERK AND EX-OFFICIO RECORDER OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 29, 1892



⑤ DETAIL
SCALE: N/A



* NOTE
SIGN TO INCLUDE THE FOLLOWING:
"VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"



All concepts, designs and plans directly or indirectly encompassed by this document are hereby copyrighted, and are for use on and in connection with the project specified in this document. None of such concepts, designs or plans shall be used by or disclosed to any person, firm or corporation without the prior written permission of JCI Group, LLC.



10/23/2019

Project:

DRIPLINE
1320 2ND Street NW
Albuquerque, New Mexico

Sheet:

**TRAFFIC
CIRCULATION
LAYOUT PLAN**

Number:

C102