

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 12, 2024

Joseph J. Casares, P.E.
JCII GROUP, LLC
8105 Sand Springs
Albuquerque, NM 87114

Re: Dripline Development/ 1320 2nd St. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 10-23-19 (J14-D046)
Certification dated 08-29-24

Dear Mr. Casares,

Based upon the information provided in your submittal received 09-09-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Dripline Development Hydrology File # J14D046
Legal Description: Lots numbered one (1) through nine (9) in Block numbered fourteen (14) of the Paris Addition
City Address, UPC, OR Parcel: 1320 2nd street NW

Applicant/Agent: JCII Group. LLC. Contact: Joe Casares
Address: 8105 Sand SpringsCr. NW, Abq. NM 87114 Phone: 505-264-6918
Email: JCIIGroup@gmail.com

Applicant/Owner: Dripline Development Contact: Jacob Werenko
Address: 1320 2nd street NW Phone: 505-450-8594
Email: jacob.werenko@gmail.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) _____ ☐ RESIDENCE
☐ DFT SITE ☒ ADMIN SITE

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 09-6-2024

GENERAL NOTES

1. PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
6. CONTRACTOR SHALL SCARIFY AREA UNDER CONCRETE DRIVEWAYS AND WALKWAYS TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
7. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
8. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO TEMPORARY FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
9. THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
11. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
12. OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PERFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT. IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
13. WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN.
14. ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 4" (MAX.) BELOW ADJACENT CONCRETE. FINISHED GRADE TO SLOPE FROM SIDEWALK GRADE TO 4" BELOW IN A HORIZONTAL DISTANCE OF 8" MINIMUM.
15. POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND DRAINAGE OUTLETS.
16. SITE SURVEY IS BASED FROM CITY OF ALBUQUERQUE CONTROL 12-J14 AND 12-J13. FILE WILL BE MADE AVAILABLE UPON REQUEST. TEMPORARY BENCHMARK AS SHOWN ON PLAN.
17. A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL OVERSEE AND VERIFY ALL CONSTRUCTION MARKINGS, AND STAKING. PROPOSED ELEVATIONS SHALL BE RELATIVE TO LOWEST ADJACENT TOP OF EXISTING CURB ELEVATION.
18. ALL WHEEL CHAIR RAMPS WITHIN THE PUBLIC RIGHT-OF-WAY AND ADJACENT TO THE PROJECT SHALL HAVE TRUNCATED DOMES.
19. ALL ADJACENT SIDEWALK AND ADA RAMPS WILL BE REPLACED WITHIN A TIMEFRAME A SET FORTH IN THE DEFERRED SIDEWALK AGREEMENT.

WASTE MANAGEMENT APPROVAL NOTES

AT THE ROLLING GATE ACROSS THE SUMMER AVE ENTRANCE: "FOR SOLID WASTE ACCESS BETWEEN 5AM AND 8PM, OBTAIN AND INSTALL CITY-ISSUED LOCK FOR MANUAL ROLLING GATE"

AT THE DUMPSTER LOCATION: "SOLID WASTE TO PROVIDE ROLL-OUT DUMPSTER SERVICE FROM THIS LOCATION. NO ACCESS FOR SOLID WASTE VEHICLES BEYOND THIS POINT."

SITE LOCATION

THE SITE (APPROXIMATELY 0.734 ACRES) IS LOCATED IN THE CITY OF ALBUQUERQUE AT 1320 2ND ST. WHICH IS LOCATED IN ZONE ATLAS MAP J-14-Z. SEE VICINITY MAP FOR GENERAL PROJECT LOCATION.

LEGAL DESCRIPTION

LOT NUMBERED ONE (1) THROUGH NINE (9) IN BLOCK NUMBERED FOURTEEN (14) OF THE PARIS ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO. AS THE SAME ARE SHOWN AND DESIGNATED ON THE AMENDED AND SUPPLEMENTAL PLAT FILED IN THE OFFICE OF THE PROBATE CLERK AND EX-OFFICIO RECORDER OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 29, 1892

EXISTING SITE CONDITION

CURRENTLY THE SITE IS DEVELOPED WITH A SHED, UTILITIES, AND PAVEMENT. THE CURRENT SITE ACCESS IS CONTROLLED BY AN EXISTING CHAIN LINK FENCE. ON-SITE PARKING IS SPORADIC SINCE NO CLEAR PARKING DELINEATION EXISTS. CURRENT INGRESS/EGRESS TO THE SITE IS THROUGH SUMMER AVENUE. THE SITE IS SURROUNDED BY EXISTING BUILDINGS, SIDEWALKS, STREETS, CURB AND GUTTER, UTILITIES AND DRAINAGE INFRASTRUCTURE.

PROPOSED DEVELOPMENT CONCEPT

THE PROPOSED DEVELOPMENT WILL BE A BREWERY AND TAP ROOM. THE EXISTING SHED WILL BE REMOVED, ALONG WITH THE EXISTING UTILITIES AND PAVEMENT. THE PROPOSED CONSTRUCTION (BUILT IN ONE PHASE) CONSISTS OF TWO BUILDINGS (WITH ROOM FOR A THIRD), NEW UTILITY SERVICE CONNECTIONS, GRADING & DRAINAGE IMPROVEMENTS, NEW GRAVEL PARKING LOT, CONCRETE WALKWAYS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE SIDEWALK, CURB, GUTTER, NEW DRIVE PAD AND UTILITY CONNECTIONS TO MAINS. THE PROPOSED DEVELOPMENT WILL NOT IMPACT ADJACENT PROPERTIES.

TRAFFIC CIRCULATION CONCEPT

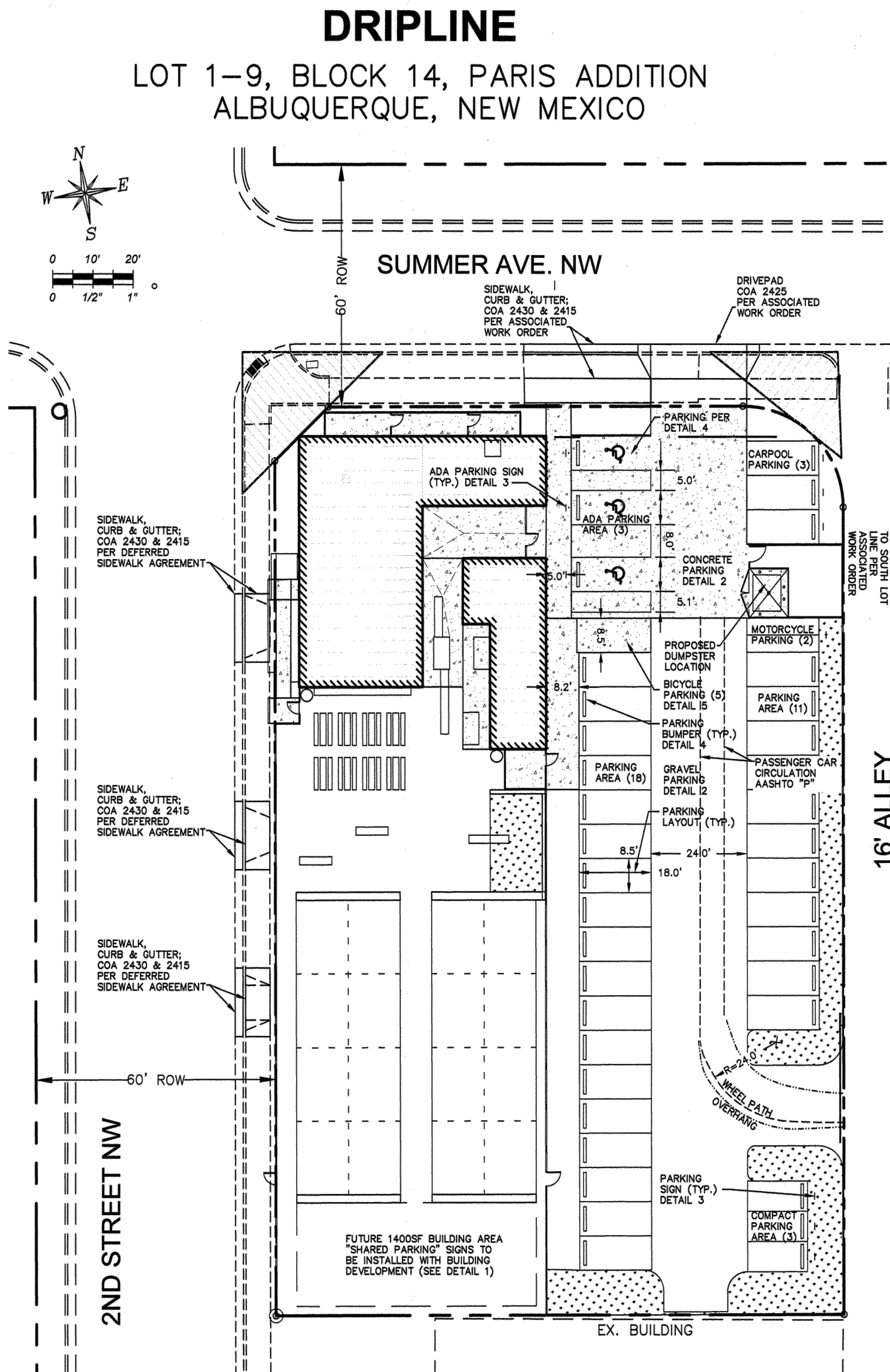
A NEW DRIVE PAD WILL PROVIDE ACCESS TO THE SITE. THE DRIVE PAD WILL CONNECT DIRECTLY TO A 200' DRIVE LANE WITH PARKING ON BOTH SIDES. THE DRIVE LANE WILL BE AS WIDE AS THE DRIVE PAD (24.0'), WHICH WILL FACILITATE TWO-WAY TRAFFIC. PARKING STALLS WILL BE PERPENDICULAR TO THE DRIVE LANE, AND WILL BE STANDARD PARKING STALLS (8.5'W X 18'L). THE DRIVE SURFACE WILL BE REINFORCED GRAVEL PER DETAIL 1. CONCRETE PAVING WILL MOSTLY PROVIDE A BARRIER BETWEEN GRAVEL AND CONCRETE. A CONCRETE WALKWAY WILL BE PROVIDED AND CONNECTED TO THE SIDEWALK IN THE ROW. EMERGENCY VEHICLE ACCESS WILL BE THROUGH SUMMER AVENUE. THERE ARE NO KNOWN TRAFFIC IMPACT STUDIES.

Parking Requirements (Per CABO IDO)			
Area Sq' Parking Req.	Area Sq' Parking Req.	Area Sq' Parking Req.	Area Sq' Parking Req.
Artisan Manufacturing	677	(3/1000) 2	
Outdoor/Covered Dining	1,161	(3/1000) 5	
Tap/Tasting Room	2,143	(8/1000) 17	shored
Other Outdoor Entertainment	9,153	(3/1000) 27	shored
Combined Shared Parking (Table 8-5-3)			
Shared Parking factor = 1.7			
17,257 ÷ 1.7	10,151	44/1.7 = 25 shared spaces	25
Total Parking Required			32
Parking Provided			
Accessible Parking Spaces			
3 provided incl. 1 van accessible			
Standard Parking Spaces			
30 spaces provided			
Compact Parking Spaces			
3 spaces provided			
Subtotal Parking Provided			35
Parking Adjustments/Credits			
Carpool Parking (14-16-5-5(C)(5)(e))			
4 spaces per 1 designated space			
3 carpool spaces provided (3x1)			
Parking Credits Provided			12
Total Parking Provided			47
Motorcycle Parking			
For 26 - 50 space lot:			
2 spaces required			
Bicycle Parking			
10% of O.S. Parking:			
4 spaces required			
5 spaces provided			

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 10/24/19

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



1/2" ANGULAR DG AT 3" THICK, OR 6" THICK ROCK LAYER AT D50=3" (SEE SHEET C101)

PROVIDE 6" SUBGRADE PREPARATION COMPACTED TO 90% MAX DRY DENSITY AND PER ASTM D-1557 OR PER SOILS REPORT

SEE SHEET C101 FOR DRAINAGE

TOP OF CONCRETE FLUSH WITH DG

6" THICK, REINFORCED CONCRETE PARKING, #4@12"E.W. (SIDEWALK CONCRETE NOT SHOWN)

2" SQ. X 30" ANCHOR SLEEVE

HOLES 1" O.C. FOUR SIDES.

1-3/4" SQ. X 10' POST.

4" (MAX)

EXISTING GRADE

SEE PLAN FOR LOCATION. SIGN FACE DISPLAY:

- RESERVED PARKING MUTCD R7-8 ALONG WITH "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
- OTHER PARKING AS SHOWN (I.E. SHARED, COMPACT, CARPOOL, MOTORCYCLE) FOLLOWED BY "PARKING"

① DETAIL
SCALE: N/A

② DETAIL
SCALE: 1"=1'-0"

③ DETAIL
SCALE: N/A

TRAFFIC CERTIFICATION

I, JOSEPH CASARES, NMPE 19014, OF THE FIRM JCH GROUP, LLC, CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/23/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED UNDER THE DIRECTION OF JOSEPH CASARES, NMPE 19014, OF THE FIRM JCH GROUP, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DATE 08/29/24, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT RELEASE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JOSEPH J. CASARES, JR.
NMPE 19014
(SHAL)

08/29/24
DATE

OWNER INFORMATION

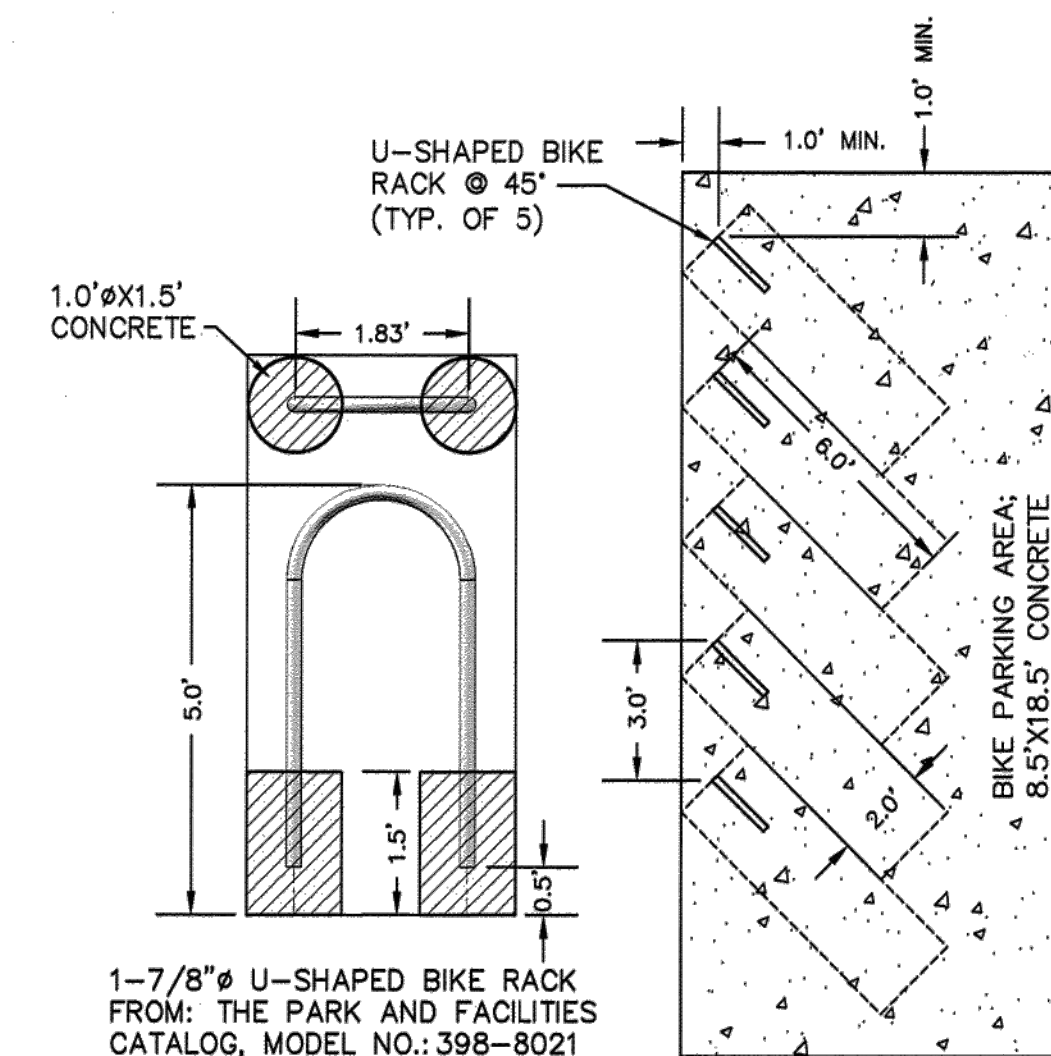
DRIPLINE
1320 2ND STREET NW
ALBUQUERQUE, NM

PROPERTY INFORMATION

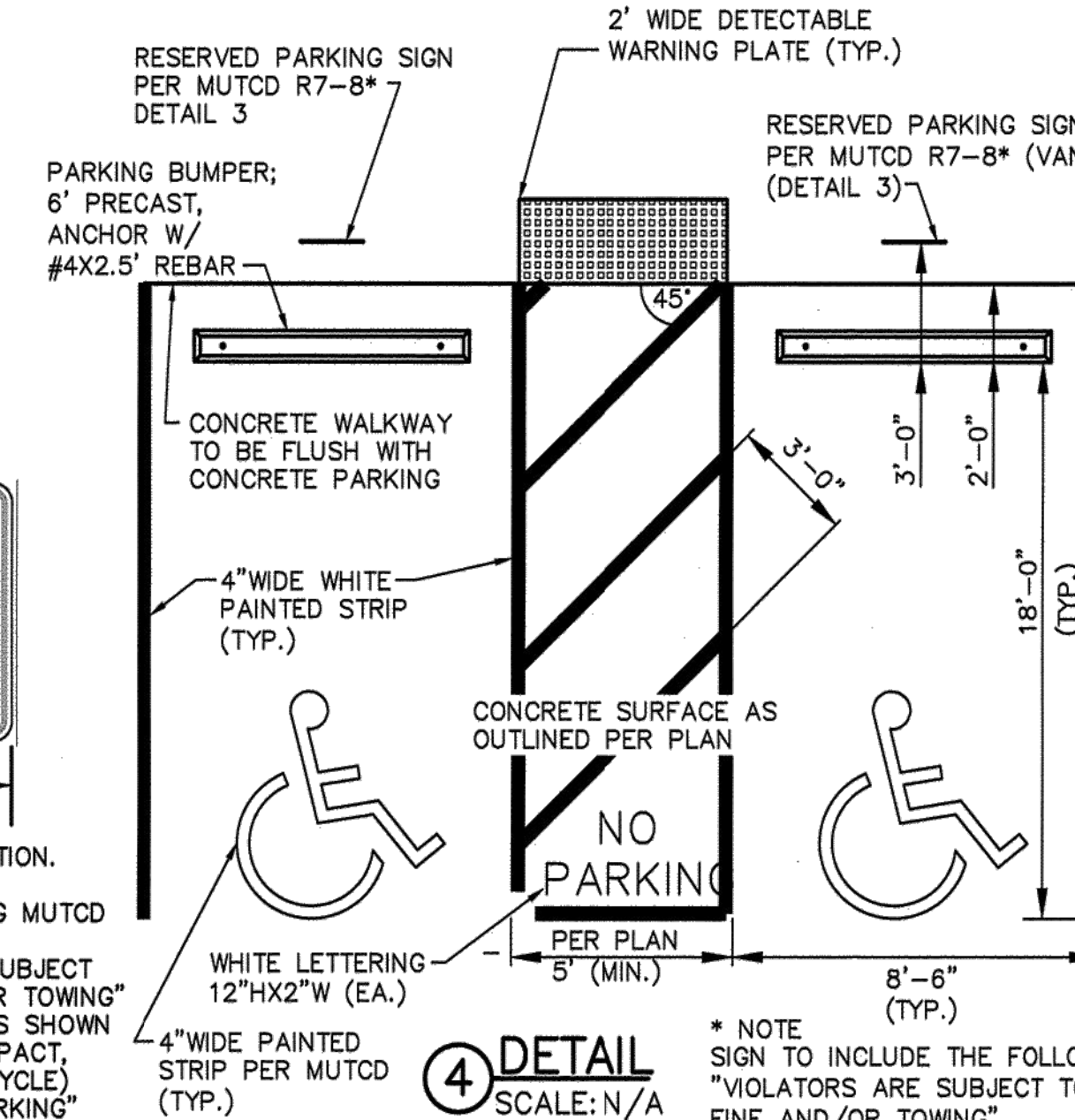
RECORDED: DEC. 29, 1892
SEC. 19, T. 10N, R. 3E, N.M.P.M.
LOT SIZE: 0.734 ACRE DEVELOPED

PROPERTY DESCRIPTION

LOT NUMBERED ONE (1) THROUGH NINE (9) IN BLOCK NUMBERED FOURTEEN (14) OF THE PARIS ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO. AS THE SAME ARE SHOWN AND DESIGNATED ON THE AMENDED AND SUPPLEMENTAL PLAT FILED IN THE OFFICE OF THE PROBATE CLERK AND EX-OFFICIO RECORDER OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 29, 1892



⑤ DETAIL
SCALE: N/A



* NOTE
SIGN TO INCLUDE THE FOLLOWING:
"VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"

ENGINEERING • SURVEYING • PROJECT DEVELOPMENT • 505.266.4710

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10/23/2019

Project:

DRIPLINE
1320 2ND Street NW
Albuquerque, New Mexico

Project#	2019-505	Original Date	7-26-2019
Drawn by		2nd Revised Date	10-02-2019
Scale	As Shown	3rd Revised Date	10-21-2019
Checked by	JC		

Sheet:

TRAFFIC CIRCULATION LAYOUT PLAN

Number: **C102**