



October 17, 2019

Joe Casares
JCII Group, LLC
8105 Sand Springs Circle NW
Albuquerque, NM

Re: Dripline (Biergarten)
13202nd St NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 06-14-2019 (J14D046)

Dear Mr. Casares,

Based upon the information provided in your submittal received 07-26-2019, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The parking calculation table:
 - a. 17 shared and 27 shared : please clarify what buildings are sharing these parking spaces and explain how this shared parking is acceptable.
 - b. For designated spaces such as car pool, those spaces needs to have signs their own signs and be designated.
 - c. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
2. Bicycle comments from last time haven't been met:
 - a. All bicycle racks shall be designed according to the following guidelines:
 - i. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - ii. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - iii. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - iv. The rack allows varying bicycle frame sizes and styles to be attached.
 - v. The user is not required to lift the bicycle onto the bicycle rack.
 - vi. Each bicycle parking space is accessible without moving another bicycle.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- vii. Bicycle racks shall be sturdy and anchored to a concrete pad.
- viii. A 1-foot clear zone around the bicycle parking stall shall be provided.
- ix. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

- 3. provide a copy of refuse approval.
- 4. Remove trees or any type of landscaping from TCL.

Once corrections are complete resubmit

- a. The Traffic Circulation Layout
- b. A Drainage Transportation Information Sheet (DTIS)
- c. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
- d. No Fee

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,



Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File

GENERAL NOTES

1. PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650, ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
6. CONTRACTOR SHALL SCARIFY AREA UNDER CONCRETE DRIVEWAYS AND WALKWAYS TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
7. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
8. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO TEMPORARY FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
9. THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
11. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
12. OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PREFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT, IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
13. WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN.
14. ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 4" (MAX.) BELOW ADJACENT CONCRETE. FINISHED GRADE TO SLOPE FROM SIDEWALK GRADE TO 4" BELOW IN A HORIZONTAL DISTANCE OF 8" MINIMUM.
15. POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND DRAINAGE OUTLETS.
16. SITE SURVEY IS BASED FROM CITY OF ALBUQUERQUE CONTROL 12-J14 AND 12-J13. FILE WILL BE MADE AVAILABLE UPON REQUEST. TEMPORARY BENCHMARK AS SHOWN ON PLAN.
17. A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL OVERSEE AND VERIFY ALL CONSTRUCTION MARKINGS, AND STAKING. PROPOSED ELEVATIONS SHALL BE RELATIVE TO LOWEST ADJACENT TOP OF EXISTING CURB ELEVATION.
18. ALL WHEEL CHAIR RAMPS WITHIN THE PUBIC RIGHT-OF-WAY AND ADJACENT TO THE PROJECT SHALL HAVE TRUNCATED DOMES.
19. ALL ADJACENT SIDEWALK AND ADA RAMPS WILL BE REPLACED WITHIN A TIMEFRAME A SET FORTH IN THE DEFERRED SIDEWALK AGREEMENT.

SITE LOCATION

THE SITE (APPROXIMATELY 0.734 ACRES) IS LOCATED IN THE CITY OF ALBUQUERQUE AT 1320 2ND ST. WHICH IS LOCATED IN ZONE ATLAS MAP J-14-Z. SEE VICINITY MAP FOR GENERAL PROJECT LOCATION.

LEGAL DESCRIPTION

LOT NUMBERED ONE (1) THROUGH NINE (9) IN BLOCK NUMBERED FOURTEEN (14) OF THE PARIS ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO. AS THE SAME ARE SHOWN AND DESIGNATED ON THE AMENDED AND SUPPLEMENTAL PLAT FILED IN THE OFFICE OF THE PROBATE CLERK AND EX-OFFICIO RECORDER OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 29, 1892

EXISTING SITE CONDITION

CURRENTLY THE SITE IS DEVELOPED WITH A SHED, UTILITIES, AND PAVEMENT. THE CURRENT SITE ACCESS IS CONTROLLED BY AN EXISTING CHAIN LINK FENCE. ON-SITE PARKING IS SPORADIC SINCE NO CLEAR PARKING DELINEATION EXISTS. CURRENT INGRESS/EGRESS TO THE SITE IS THROUGH SUMMER AVENUE. THE SITE IS SURROUNDED BY EXISTING BUILDINGS, SIDEWALKS, STREETS, CURB AND GUTTER, UTILITIES AND DRAINAGE INFRASTRUCTURE.

PROPOSED DEVELOPMENT CONCEPT

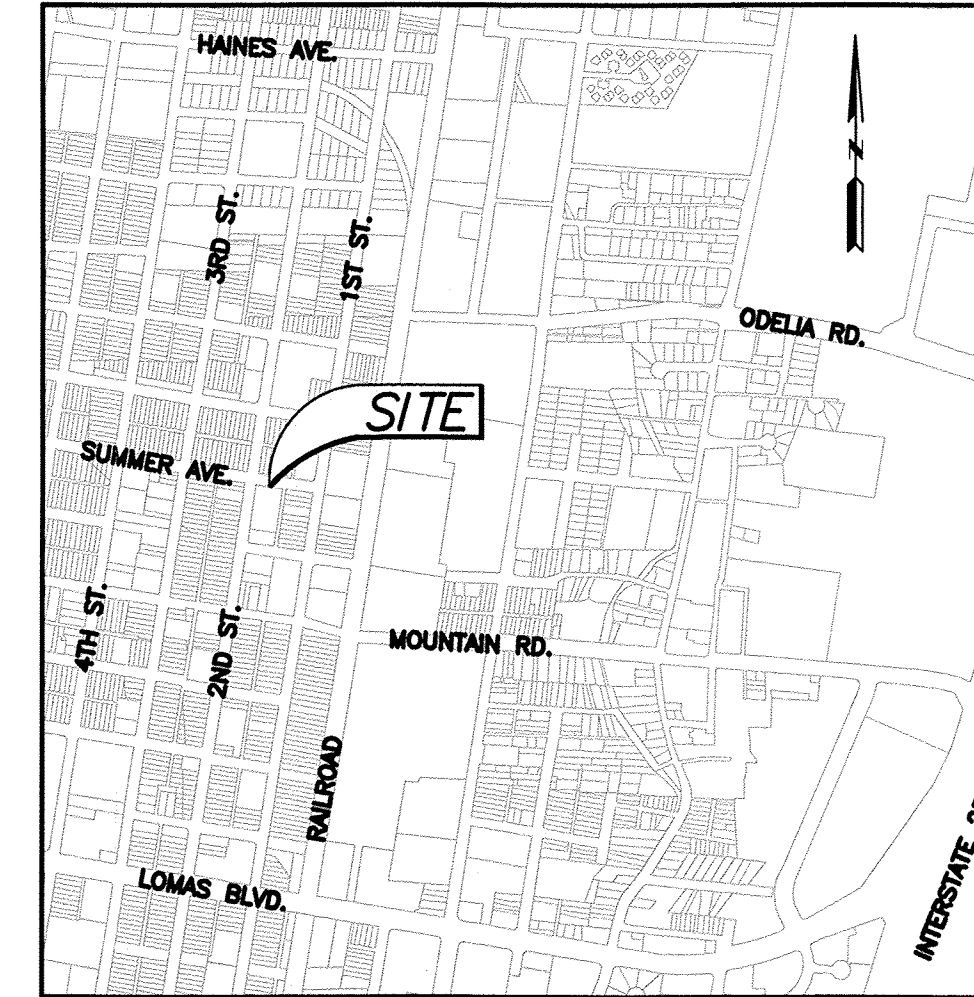
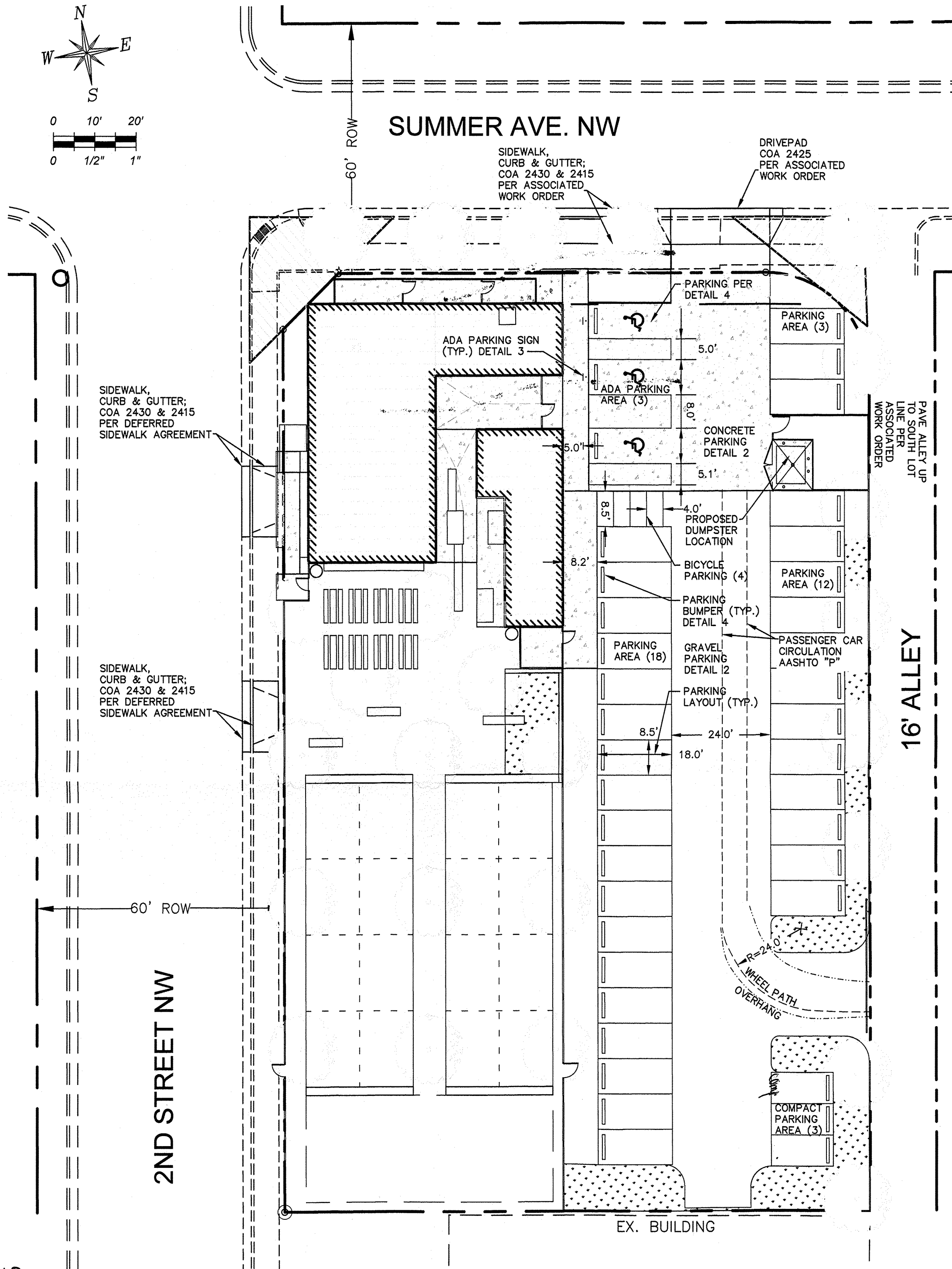
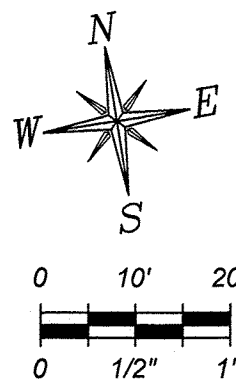
THE PROPOSED DEVELOPMENT WILL BE A BREWERY AND TAP ROOM. THE EXISTING SHED WILL BE REMOVED, ALONG WITH THE EXISTING UTILITIES AND PAVEMENT. THE PROPOSED CONSTRUCTION (BUILT IN ONE PHASE) CONSISTS OF TWO BUILDINGS (WITH ROOM FOR A THIRD), NEW UTILITY SERVICE CONNECTIONS, GRADING & DRAINAGE IMPROVEMENTS, NEW GRAVEL PARKING LOT, CONCRETE WALKWAYS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE SIDEWALK, CURB, GUTTER, NEW DRIVE PAD AND UTILITY CONNECTIONS TO MAINS. THE PROPOSED DEVELOPMENT WILL NOT IMPACT ADJACENT PROPERTIES.

TRAFFIC CIRCULATION CONCEPT

A NEW DRIVE PAD WILL PROVIDE ACCESS TO THE SITE. THE DRIVE PAD WILL CONNECT DIRECTLY TO A 200' DRIVE LANE WITH PARKING ON BOTH SIDES. THE DRIVE LANE WILL BE AS WIDE AS THE DRIVE PAD (24.0'), WHICH WILL FACILITATE TWO-WAY TRAFFIC. PARKING STALLS WILL BE PERPENDICULAR TO THE DRIVE LANE, AND WILL BE STANDARD PARKING STALLS (8.5'W X 18'L). THE DRIVE SURFACE WILL BE REINFORCED GRAVEL PER DETAIL 1. CONCRETE PAVING WILL MOSTLY PROVIDE A BARRIER BETWEEN GRAVEL AND CONCRETE. A CONCRETE WALKWAY WILL BE PROVIDED AND CONNECTED TO THE SIDEWALK IN THE ROW. EMERGENCY VEHICLE ACCESS WILL BE THROUGH SUMMER AVENUE. THERE ARE NO KNOWN TRAFFIC IMPACT STUDIES.

DRIPLINE

LOT 1-9, BLOCK 14, PARIS ADDITION ALBUQUERQUE, NEW MECIXO



LOCATION MAP
SCALE: 1"=1000'±
ZONE ATLAS MAP J-14-Z

OWNER INFORMATION

DRIPLINE
1320 2ND STREET NW
ALBUQUERQUE, NM

PROPERTY INFORMATION

RECORDED: DEC. 29, 1892
SEC. 19, T. 10N, R. 3E, N.M.P.M.
LOT SIZE: 0.734 ACRE DEVELOPED

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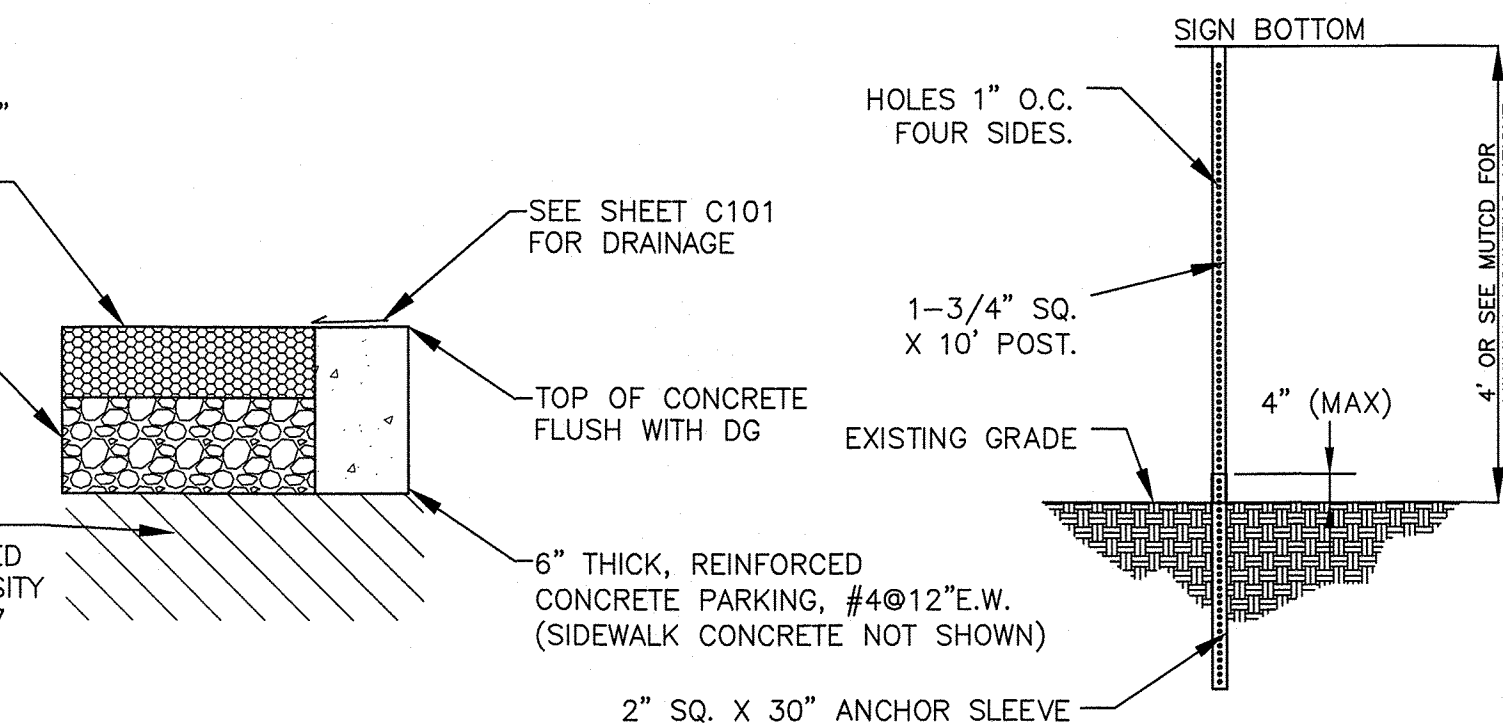
Parking Requirements (Per CABQ IDO)			
	Area SF	Parking Req.	Spaces Req.
Artisan Manufacturing	677	3 / 1000	2 ✓
Outdoor/Covered Dining	1,161	6 / 1000	5 ✓
Tap/Testing Room	2,143	8 / 1000	17 shared
Other Outdoor Entertainment	9,153	17 / 1000	22 shared
Combined Shared Parking (Table 5-5-3)	17,427 ± 44	44 / 17 = 25 shared spaces	25
Total Parking Required			32 ✓
Parking Provided			32 spaces
Accessible Parking Spaces			
3 provided incl. 1 van accessible			3 Spaces
Standard Parking Spaces			30 spaces provided
Compact Parking Spaces			3 Spaces
Subtotal Parking Provided			36 Spaces
Parking Adjustments/Credits			
Carpool Parking (14-16-5-5(C)(5)(e))			4 spaces per 1 designated space
3 carpool spaces provided (3x4)			12 Spaces
Parking Credits Provided			12 Spaces
Subtotal Parking Provided			48 Spaces
Motorcycle Parking			
For 26 - 50 space lot:			2 spaces required
Bicycle Parking			4 spaces required
10% of O.S. Parking:			4 spaces provided

- shared?
- label
- designate

1/2" ANGULAR DG AT 3" THICK; PROVIDE FILTER FABRIC AT BOTTOM OF GRAVEL

BASE COURSE AT 3" THICK, OR 6" THICK ROCK LAYER AT D50=3" (SEE SHEET C101)

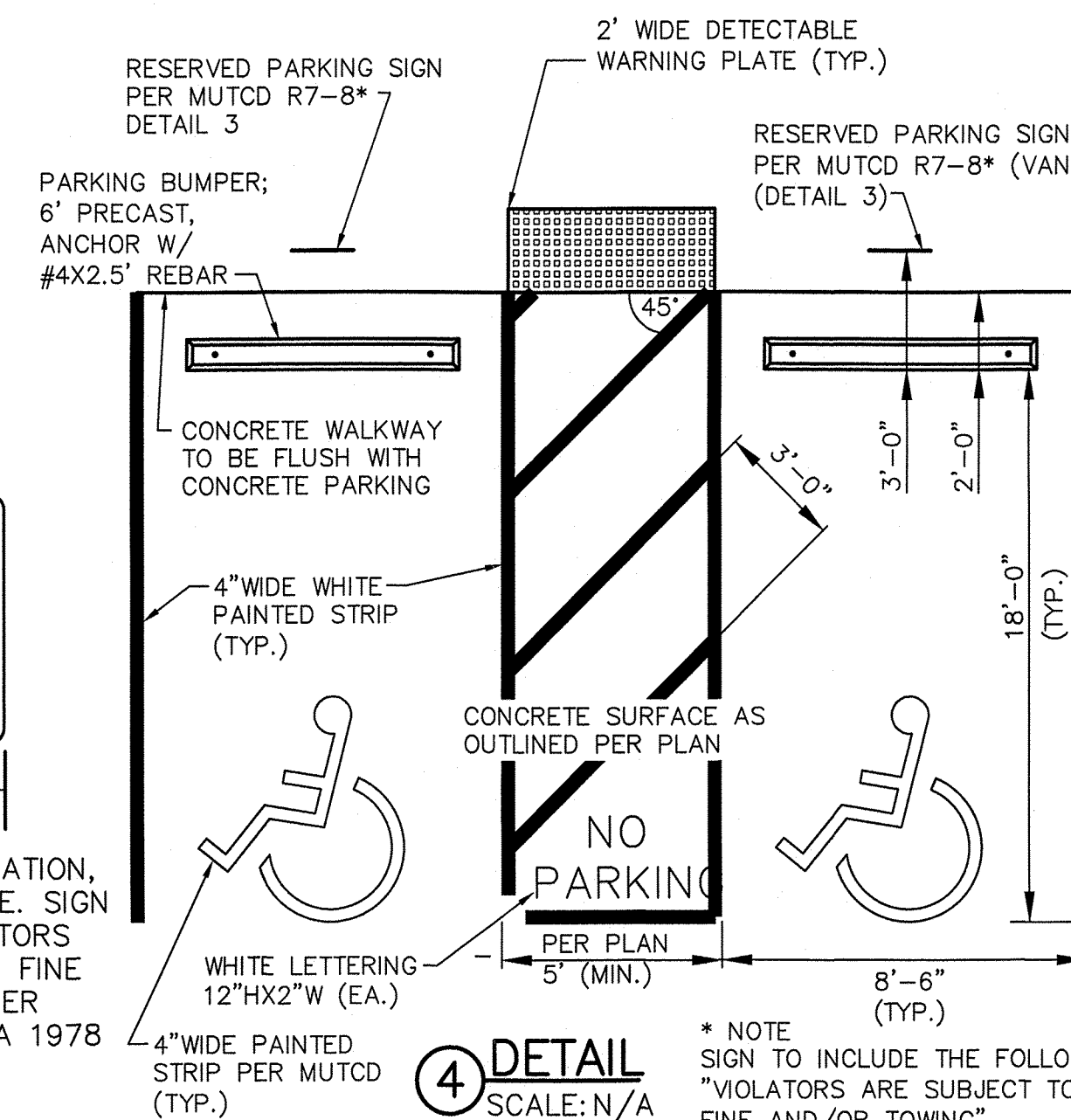
PROVIDE 6" SUBGRADE PREPARATION COMPACTED TO 90% MAX DRY DENSITY AND PER ASTM D-1557 OR PER SOILS REPORT



① DETAIL
SCALE: 1"=1'-0"

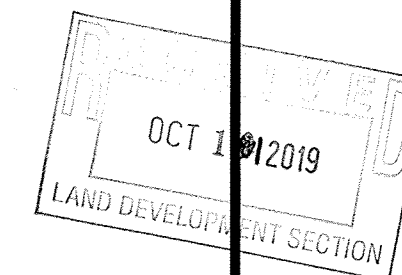
② DETAIL
SCALE: 1"=1'-0"

③ DETAIL
SCALE: N/A



④ DETAIL
SCALE: N/A

* NOTE
SIGN TO INCLUDE THE FOLLOWING:
"VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"



Project:	2019-505	Original Date:	7-26-2019
Drawn By:		Std. Revised Date:	10-02-2019
Scale:	As Shown	Std. Revised Date:	
Checked By:	JC		

Sheet:

TRAFFIC CIRCULATION LAYOUT PLAN

Number:

C102