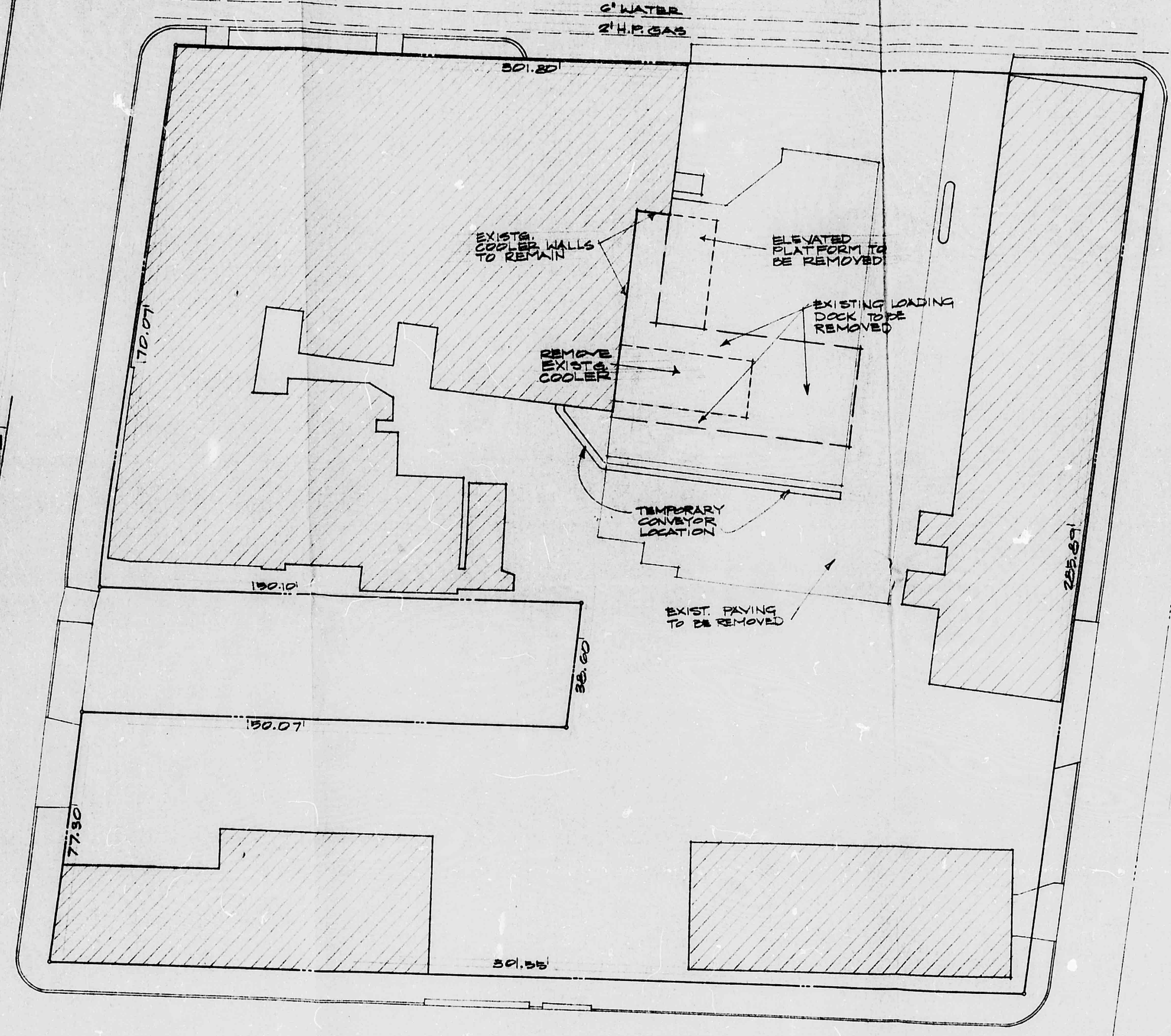


FOURTH STREET

THIRD STREET

HANNET AVENUE

ASPEN AVENUE



ORDER OF DEMOLITION / CONSTRUCTION

1. INSTALL TEMPORARY CONVEYOR
2. INSTALL COILS IN EXIST. COOLER
3. RELOCATE AMMONIA COMPRESSORS
4. REMOVE ELEVATED PLATFORM
5. REMOVE EXISTING COOLER
6. FOUNDATION
7. PLUMBING
8. STEEL ERECTION
9. PAVING @ EAST SIDE
10. INSULATED PANELS
11. INSTALL CONVEYORS
12. INSTALL DIAMOND PLATE
13. ELECTRICAL
14. ROOFING
15. REFRIGERATION FOR NEW COOLER
16. PAVING @ SOUTH SIDE IN SECTIONS (REMOVE TEMP CONVEYOR AS REQ'D)
17. SET CONVEYOR IN OLD VAULT
18. FOUR FLOOR IN OLD VAULT
19. PAVING @ NORTH SIDE IN SECTIONS
20. RELOCATE BUTTER VAULT
21. RELOCATE DUMPSTER

DEMOLITION PLAN
SCALE: 1" = 20'

FOR:
THE BORDEN COMPANY
1710 FOURTH STREET - N.W.
ALBUQUERQUE, N.M.

PROJECT-
ADDITION:
DOCK & COOLER



REVISION	DATE
	1-21-85
SCALE	NOTED

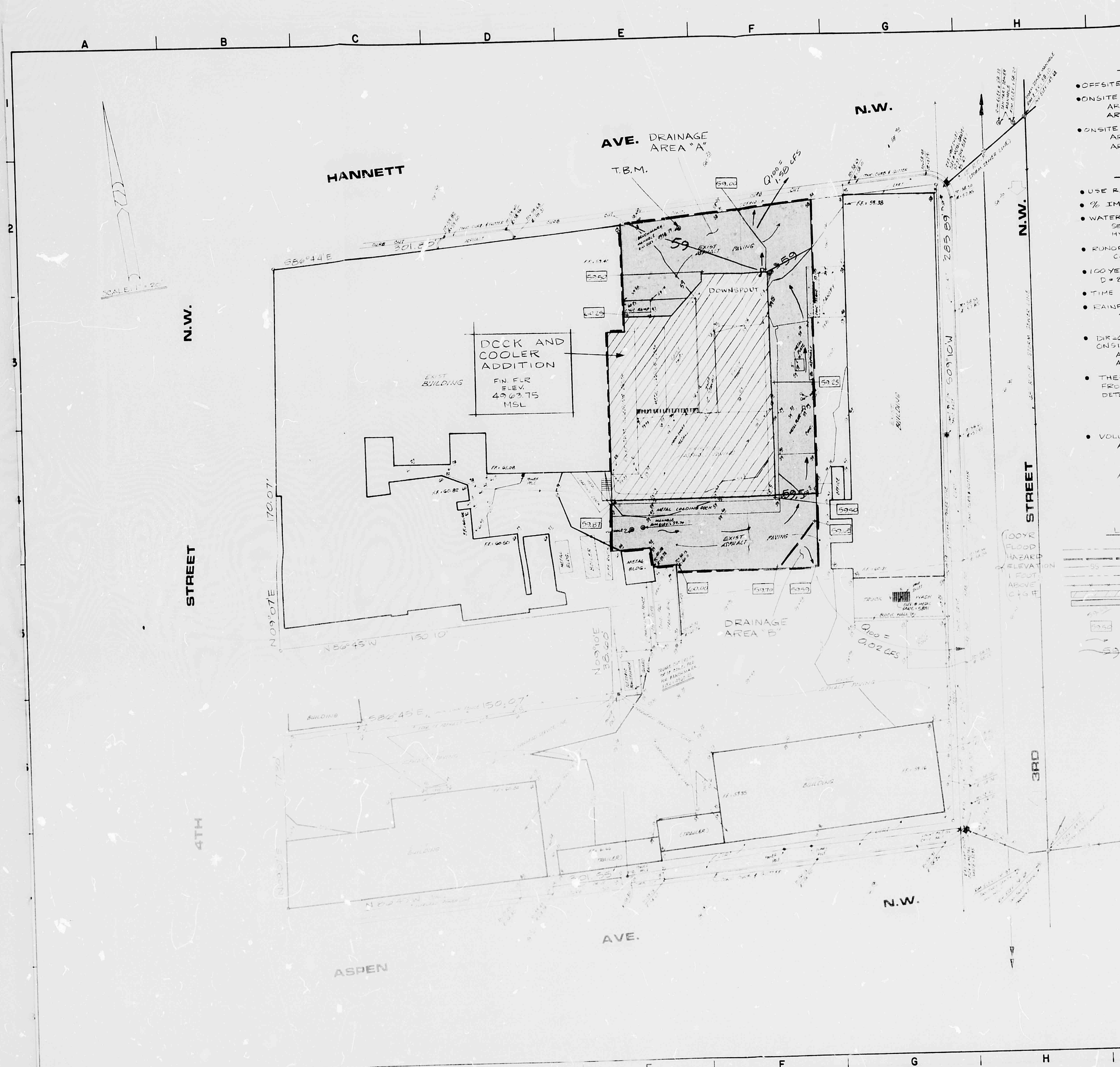
Charles Needham INDUSTRIES
2501 Jambou Street, P.O. Box 1016
Fort Worth, Texas 76117 (817) 281-5521

COLE Constructors, Inc. **Therma-Seal** REFRIGERATED BUILDING SYSTEMS

DRAWING NO.	C2 of 13
JOB NO.	11713

CITY OF ALBUQUERQUE

C D



- DRAINAGE AREAS**
- OFFSITE = 0 ACRES
 - ONSITE (EXISTING AND PROPOSED)
AREA A = 0.332 ACRES
AREA B = 0.005 ACRES
 - ONSITE IMPERVIOUS (EXISTING AND PROPOSED)
AREA A = 0.332 ACRES
AREA B = 0.005 ACRES

- PEAK RATE OF RUNOFF**
- USE RATIONAL FORMULA $Q = CIA$
 - % IMPERVIOUS = 100%
 - WATERSHED SOILS
SERIES - GILA GE & GLENDALE GK
HYDROLOGIC SOILS GROUP "B"
 - RUNOFF COEFFICIENT
C = 1.0 FROM PLATE 22.2C-1
 - 100 YEAR - 2 HOUR RAINFALL VOLUME
D = 2.2" FROM PLATE 22.2 D-1
 - TIME OF CONCENTRATION = 10 MIN
 - RAINFALL INTENSITY
2.17" FROM PLATE 22.2 D-2
 $I = 2.17 \times 2.2 = 4.77 \text{ in/hr}$
 - DIRECT OFFSITE DISCHARGE FROM
ONSITE AREAS (EXISTING AND PROPOSED)
AREA A: $Q = 1.0(4.77)(0.332) = 1.58 \text{ cfs}$
AREA B: $Q = 1.0(4.77)(0.005) = 0.02 \text{ cfs}$
 - THERE IS NO INCREASE IN RUNOFF
FROM THIS SITE THEREFORE NO
DETENTION STORAGE IS REQUIRED

- RUNOFF VOLUME**
- VOLUME = QCA (EXISTING AND PROPOSED)
AREA A:
VOL = $2.2 \times 1.1 \times 43,600 \times (1.0)(0.332)$
= 2,452 CF
AREA B:
VOL = $2.2 \times 1.1 \times 43,600 \times (1.0)(0.005)$
= 40 CF

- LEGEND**
- PROPERTY LINE
 - DRAINAGE DIVIDE
 - STORM SEWER
 - OVERHEAD POWER
 - FENCE
 - NEW BUILDING
 - NEW CONC. PAVING
 - EXISTING SPOT ELEV
 - PROPOSED SPOT ELEV
 - FLOW ARROW
 - PROPOSED LOTLINE

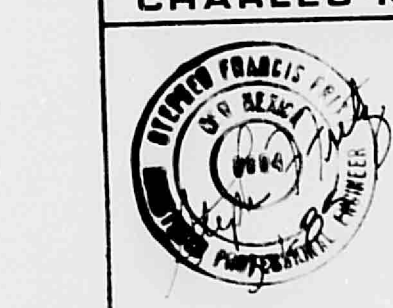
- NOTES**
- ELEVATIONS REFERENCED TO CITY OF ALBUQUERQUE BENCH MARK NO. 2-H-14, LOCATED AT THE INTERSECTION OF 4TH STREET N.W. AND HAINES AVE N.W. IN THE NORTHEAST QUADRANT OF THE INTERSECTION, A SQUARE B, CHISELED ON TOP OF CONCRETE CURB, AT THE NNE CORNER, ELEVATION = 4960.29 MSL.
 - T.B.M. SANITARY MANHOLE RIM, LOCATED 20' NORTH OF THE NEW DOCK AND COOLER ADDITION, ELEVATION = 4950.70 MSL.
 - ADD 4900 FEET TO ALL SPOT ELEV.
 - EXISTING TOPOGRAPHY FROM MAP PREPARED BY J.T. MORRISON DATED FEBRUARY, 1985.
 - EXISTING CONC. LEADING DOCK, CONC. PAVING AND ASPHALT PAVING TO BE REPLACED WITH NEW ADDITION AND NEW CONC. PAVING.

NO.	INDEX	DATE	REVISION	CHK'D	APP

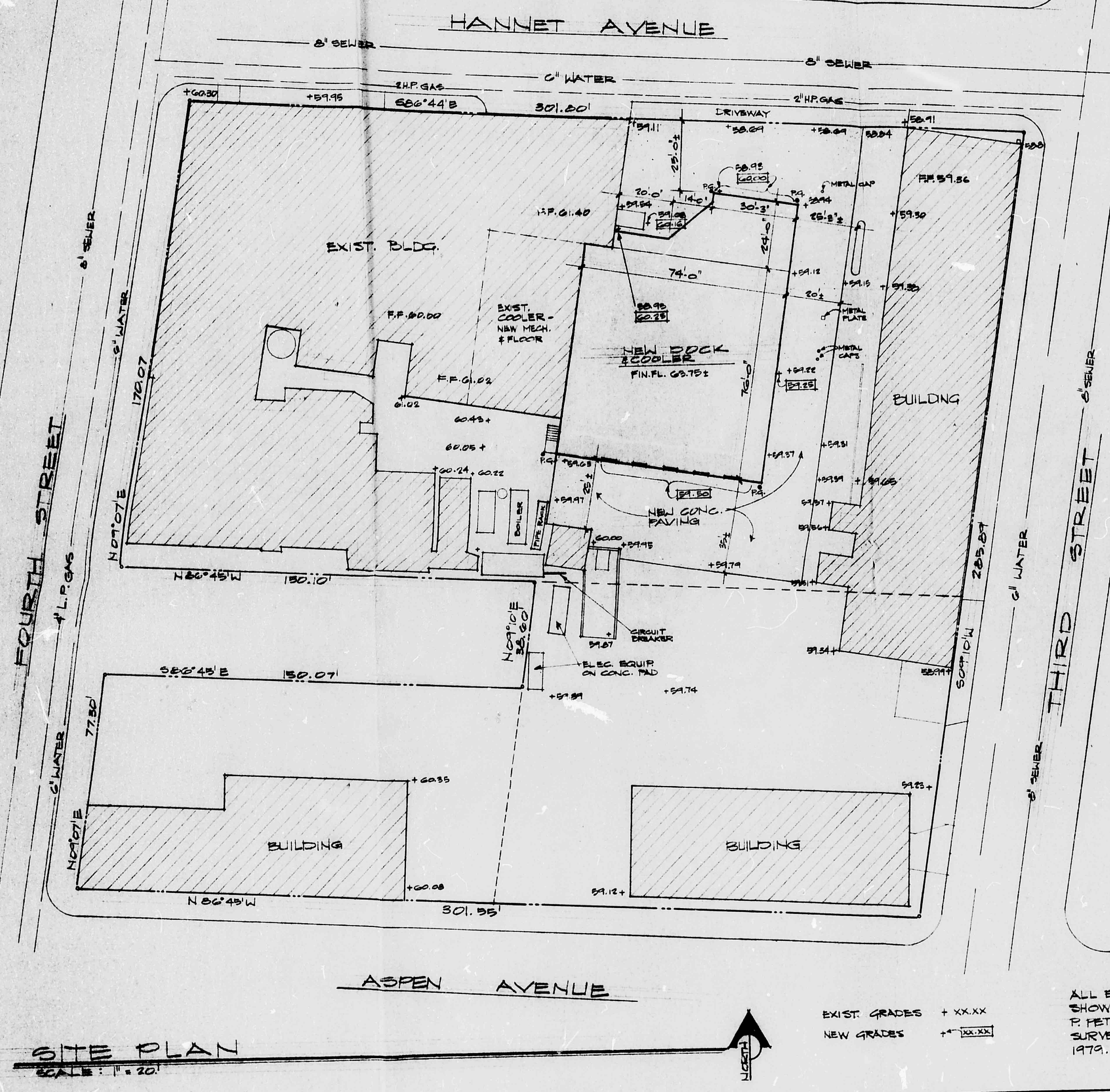
BOVAY ENGINEERS, INC.
HOUSTON • SPOKANE • BATON ROUGE
AUSTIN • ALBUQUERQUE • WASHINGTON, D.C.

DRAINAGE PLAN
FOR
BORDEN, INC.
DOCK & COOLER ADD'N.
333 ASPEN N.W.

PREPARED FOR CHARLES NEEDHAM INDUSTRIES	
DESIGNED: SFF	SCALE: 1"=20'
DRAWN: SFF	PROJECT NUMBER 6014-249
CHECKED:	DRAWING NUMBER C-1
APPROVED:	DATE: 3-1-85



THIS PLAN SHOWN TWICE
ONCE ON LEFT AND
ONCE ON RIGHT.



LEGAL DESCRIPTION:
 BLOCK #2, MATTHEW ADDITION, LOTS NO. 1, 2, 3, 5, 6, 7, 8, 9

ADDRESS:
 1710 4TH STREET N.W.

OWNER:
 BORDEN INC., 323 ASPEN, ALBUQUERQUE, N.M.
 PHONE: 242-2851

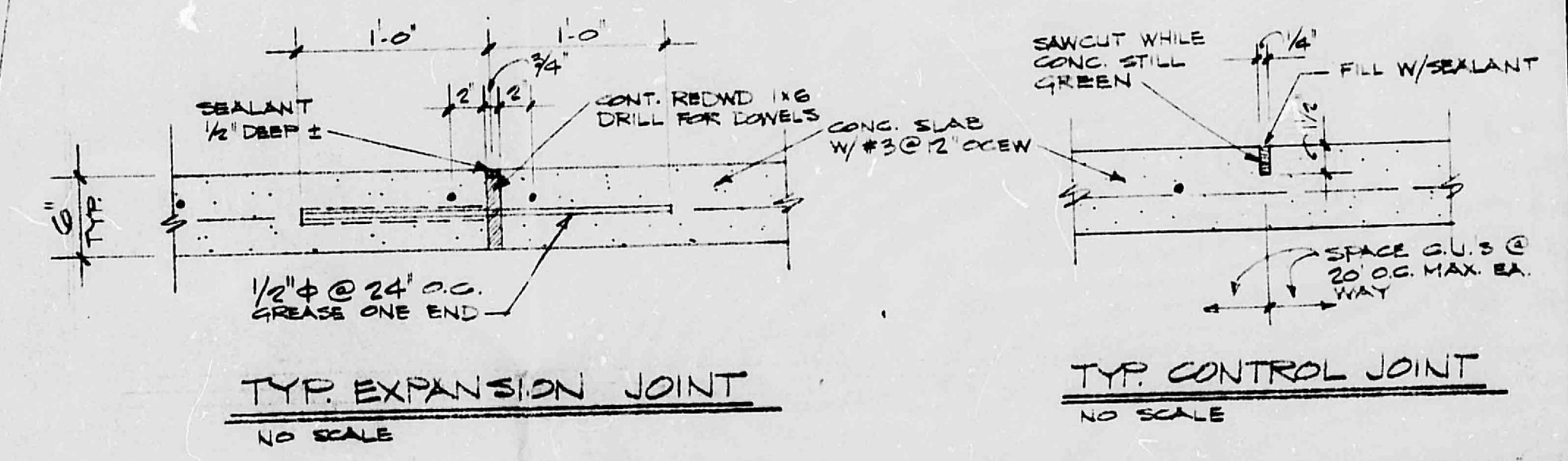
ZONING:
 M-1 PER ATLAS # J-14-2

OCCUPANCY:
 B-4

AREA:
 COOLER ADDITION 3624 SQ. FT.
 OPEN DOCK 1176 " "
TOTAL 6800 SQ. FT.

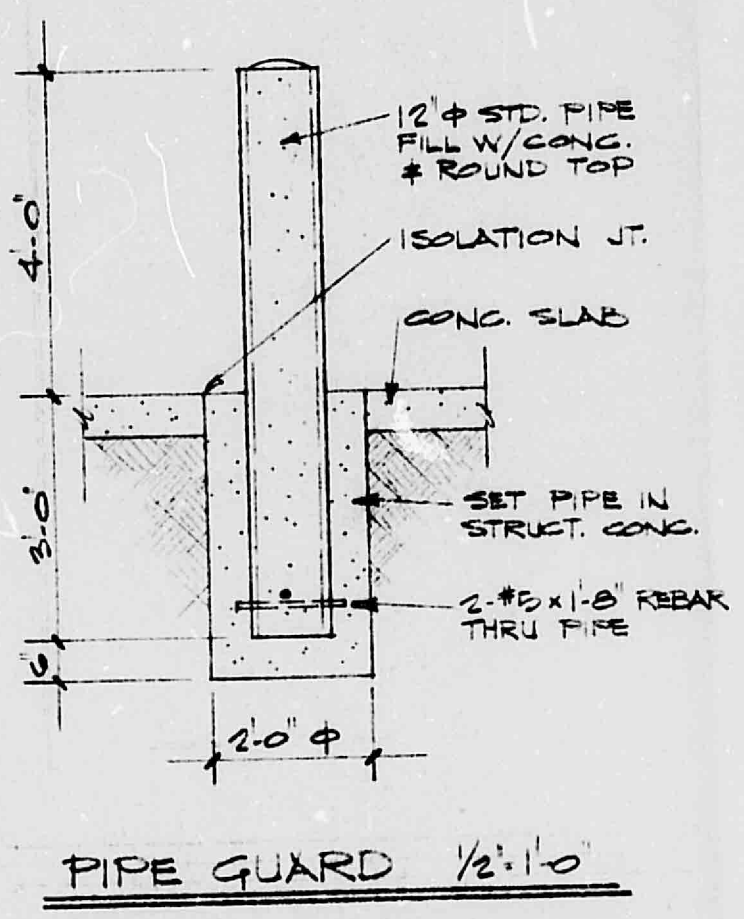
OCCUPANT LOAD: 7

REQUIRED EXITS: ONE



INDEX OF DRAWINGS

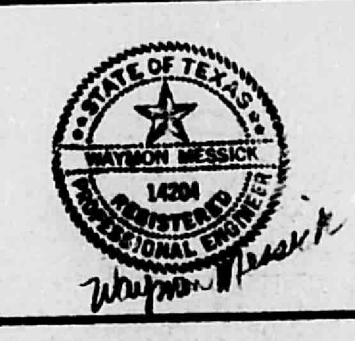
C1	SITE & PAVING PLAN
C2	DEMOLITION PLAN, ORDER OF CONSTRUCTION
A1	FLOOR PLAN
A2	CONVEYOR PLAN
A3	EXTERIOR ELEVATIONS
A4	SECTIONS & DETAILS
A5	TEMPORARY CONVEYOR PLAN
S1	FOUNDATION PLAN & NOTES
S2	FOUNDATION DETAILS
S3	STRUCTURAL STEEL PLAN
E1	ELECTRICAL PLAN & SCHEDULES
M1	MECHANICAL PLAN, ROOF PLAN
P1	PLUMBING PLAN



ALL EXISTING GRADES & UTILITY INFO.
 SHOWN TAKEN FROM PLAT BY WILLIAM
 P. PETTIT, REGISTERED NEW MEXICO LAND
 SURVEYOR NUMBER 2243, DATED SEPT. 27,
 1979.

FOR-
THE BORDEN COMPANY
 1710 FOURTH STREET N.W.
 ALBUQUERQUE, NEW MEXICO

PROJECT-
ADDITION:
DOCK & COOLER



REVISION	DATE
	1-21-85
SCALE	NOTED

Charles Needham INDUSTRIES
 1201 GARFIELD STREET, P.O. BOX 12248
 FORT WORTH, TEXAS 76117 (817) 281-1721

Therma-Seal
 MEMBRANE TECHNOLOGY SYSTEM

DRAWING NO.	C1 13
JOB NO.	11713

2A **C20** **B13** **A2**

CITY OF ALBUQUERQUE

C **D**