

CITY OF ALBUQUERQUE



November 6, 2019

Lee Gamelsky RA
LEE GAMELSKY ARCHITECT P.C.
2412 Miles Rd SE
Albuquerque, NM 87106

Re: Albuquerque Healthcare for the homeless
121 Mountain Rd. NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 10-14-2019 (J14D050)

Dear Mr. Gamelsky,

The TCL submittal received 11-06-2019 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: ALBUQUERQUE Health Care for the Homeless Building Permit #: 2019-41299 Hydrology File #: 3140050
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot P-1, Block 15, Paris Addition NO. 2, City of ABQ
City Address: 121 Mountain Rd NW 87102

Applicant: LEE GAMIELSKY Architects P.C. Contact: Lee Gamielsky
Address: 2412 Miles Rd SE 87106
Phone#: 842. 8865 Fax#: 842 1693 E-mail: lee@ganm.com
Owner: ALB. Health Care for the Homeless Contact: Chuck Frink
Address: 1217 1st St. N.W. Bldg A 87102
Phone#: 550.3881 Fax#: _____ E-mail: chuckfrink@abqchc.org

TYPE OF SUBMITTAL: _____ PLAT (# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL?: X Yes No For Bldg Permit

DEPARTMENT: X TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE _____

Check all that Apply:

TYPE OF SUBMITTAL:

- ____ ENGINEER/ARCHITECT CERTIFICATION
- ____ PAD CERTIFICATION
- ____ CONCEPTUAL G & D PLAN
- ____ GRADING PLAN
- ____ DRAINAGE MASTER PLAN
- ____ DRAINAGE REPORT
- ____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ____ ELEVATION CERTIFICATE
- ____ CLOMR/LOMR
- X TRAFFIC CIRCULATION LAYOUT (TCL)
- ____ TRAFFIC IMPACT STUDY (TIS)
- ____ OTHER (SPECIFY) _____
- ____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- X BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY
- ____ PRELIMINARY PLAT APPROVAL
- ____ SITE PLAN FOR SUB'D APPROVAL
- ____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ____ FOUNDATION PERMIT APPROVAL
- ____ GRADING PERMIT APPROVAL
- ____ SO-19 APPROVAL
- ____ PAVING PERMIT APPROVAL
- ____ GRADING/ PAD CERTIFICATION
- ____ WORK ORDER APPROVAL
- ____ CLOMR/LOMR
- ____ FLOODPLAIN DEVELOPMENT PERMIT
- ____ OTHER (SPECIFY) _____



DATE SUBMITTED: 6 NOV. 2019

By: LEE Gamielsky

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Figure 23.6.3
RECIPROCAL EASEMENTS FOR COMMON ACCESS

This Easement Agreement is entered into between, Albuquerque Health Care for the Homeless, owner of P-1, Block 15 of the Paris Addition No. 2, City of Albuquerque, County of Bernalillo, State of New Mexico, and of Albuquerque Health Care for the Homeless owner of 13-A, Block 15 Paris Addition No. 2, City of Albuquerque, County of Bernalillo, State of New Mexico.

The parties have an interest in adjoining real estate situated in the City of Albuquerque, County of Bernalillo, State of New Mexico and described as follows:

The properties shall share the access across the existing curb cut drive pad along Mountain Road. The property as described as Lot P-1, Block 15, shall utilize the existing refuse container located on Lot 13-A, Block 15, both of Paris Addition No. 2.

The parties desire to create a common access easement between the above-described adjoining lots providing access, from a single access point on the abutting street, to said lots owned by them for the benefit of each of them; and therefore agree as follows.

The easement shall extend 24' north of the south property lines of both properties and shall be the width of the driveway, 48'-9".

This easement is superior and paramount to the rights of any of the parties hereto in the respective servient estates so created, and the parties further agree that it is a covenant that shall run with the land.

The maintenance of the easement areas are the responsibility of the respective property owners.

In witness whereof, the parties hereto have executed this agreement as follows:

ACKNOWLEDGED:

Date:

11/5, 2019

Owner of Both Properties: Albuquerque Health Care for the Homeless

WITNESSED:

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

On this day of November 5, 2019, before me personally appeared, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.

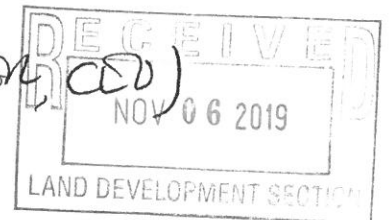
Karyl Weldon Notary 1st Party

My Commission Expires

4-3-2021



OFFICIAL SEAL
KARYL WELDON
NOTARY PUBLIC - STATE OF NEW MEXICO
My Commission Expires: 4-3-2021



SITESCAPES

P.O. Box 22326
Lincoln, NE 68542

PF: 402/421-9464
FX: 402/421-9479

WEBSITE: www.sitescapesonline.com
E-MAIL: info@sitescapesonline.com

TITLE

APEX
BIKE RACK

PRODUCT NO.

AP2-02-SM

NOT TO SCALE

1" = 1'-0"

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.

*Available in powder coat and DuraCoat finishes

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MATERIALS LIST

(1) Tubing - 1 1/2" x 1/4" Wall Steel Tubing
(2) Surface Plate - 1 1/2" x 1/4" Thick Steel Plate with Three 1/2" Mounting Holes
(3) Mounted with Six 1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)

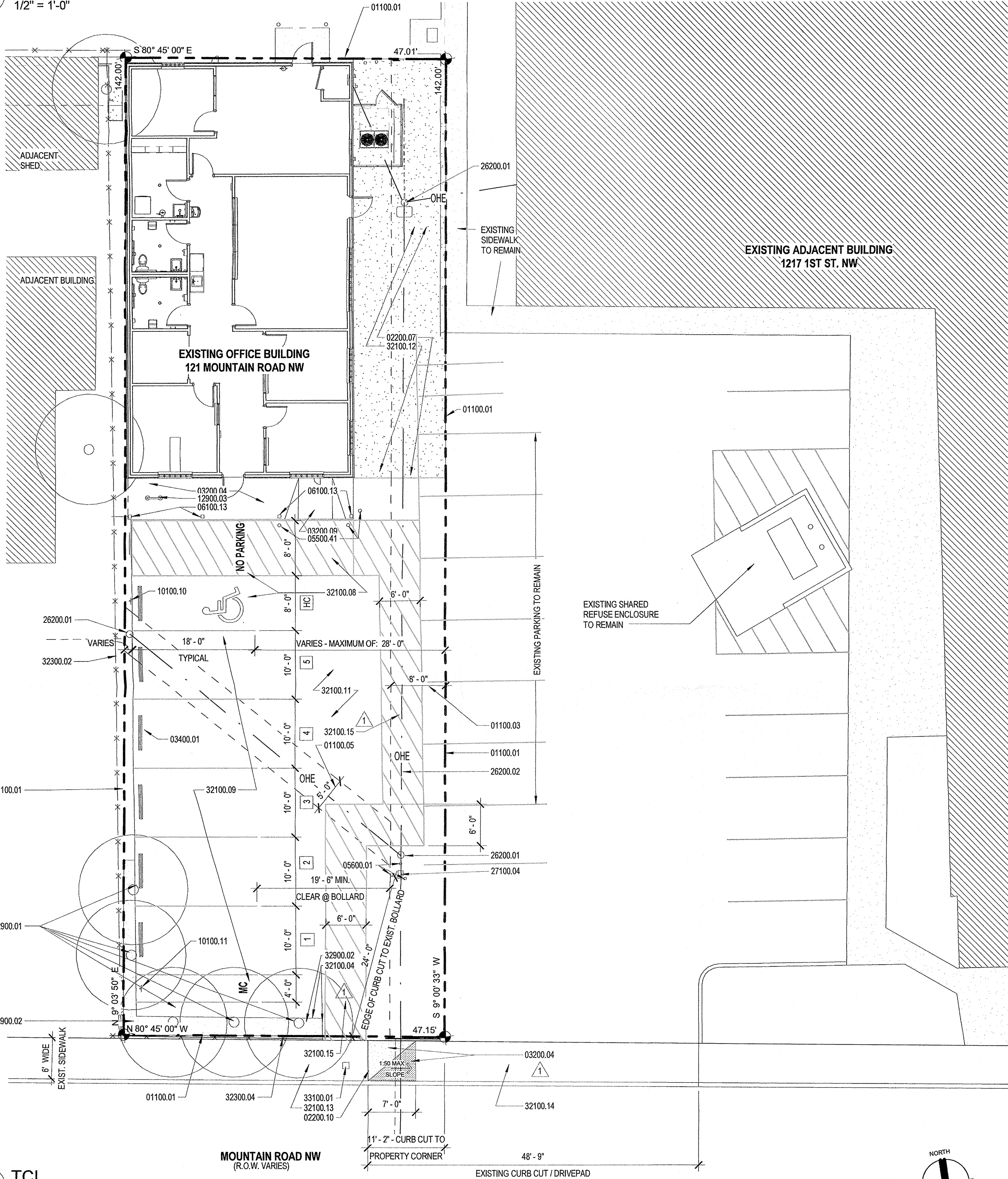
TOP VIEW

FRONT VIEW

RIGHT SIDE VIEW

D1 BIKE RACK DETAILS

1/2" = 1'-0"



1 TCL

1" = 10'-0"

GENERAL INFORMATION:

A. PLANNING HISTORY:

- THE PROJECT IS A REMODEL / TENANT IMPROVEMENT OF AN EXISTING BUILDING. THERE IS NO CHANGE OF USE.
- THERE WILL BE NO CHANGE TO THE GROSS FLOOR AREA OF THE EXISTING BUILDING.
- THERE WILL BE NO CHANGE TO THE EXISTING LANDSCAPING. PER SECTION 14-10-5-08(4) OF THE CITY OF ALBUQUERQUE IDO, THE VALUE OF THE RENOVATION IS LESS THAN \$600,00 AND NOT SUBJECT TO ADDITIONAL LANDSCAPING REQUIREMENTS.

B. DESCRIPTION:

- VICINITY MAP (SEE MAP AT UPPER RIGHT OF SHEET).
- ADDRESS: 121 MOUNTAIN ROAD NW, ALBUQUERQUE, NM 87102

LEGAL DESCRIPTION:

Lot lettered/numbered "D-1" in Block numbered Fifteen (15) of the PARIS ADDITION NO. 2, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on June 20, 1994, in Plat Book 94C, page 205.

3. VARIANCE: NOT REQUIRED

4. TYPE OF DEVELOPMENT:

EXISTING OFFICE BUILDING - NO CHANGE OF USE

5. SIZE OF DEVELOPMENT:

LOT SIZE: 0.1535 ACRES
EXISTING BUILDING GROSS FLOOR AREA = 1,991 SF

6. PARKING REQUIRED:

THIS REMODEL DOES NOT TRIGGER PARKING REQUIREMENTS. THIS PROJECT IS A REMODEL/TENANT IMPROVEMENT OF AN EXISTING BUILDING. THERE IS NO EXPANSION OF FLOOR AREA. THERE IS NO CHANGE OF USE.

HOWEVER, BASED ON THE PARKING REQUIREMENTS OF THE IDO, THE FOLLOWING NUMBER OF SPACES IS REQUIRED:

3.5 SPACE / 1,000 GSF
1,991/1,000 = 1.91 X 3.5 = 7 SPACES

PARKING REDUCTION FOR PROXIMITY TO TRANSIT:
30% X 7 = 2.1 SPACES
7 - 2.1 = 4.9 SPACES
THEREFORE, 4.0 SPACES ARE REQUIRED

PARKING SPACES PROVIDED: 5 SPACES + 1 HC ACCESSIBLE SPACE

MOTORCYCLE SPACES REQUIRED/PROVIDED: 1 SPACE

BICYCLE SPACES REQUIRED/PROVIDED: 1 SPACE REQUIRED, 2 PROVIDED

7. EXECUTIVE SUMMARY:

A. PROJECT LOCATION:

THE PROJECT IS LOCATED AT 121 MOUNTAIN ROAD NW.

B. DEVELOPMENT CONCEPT:

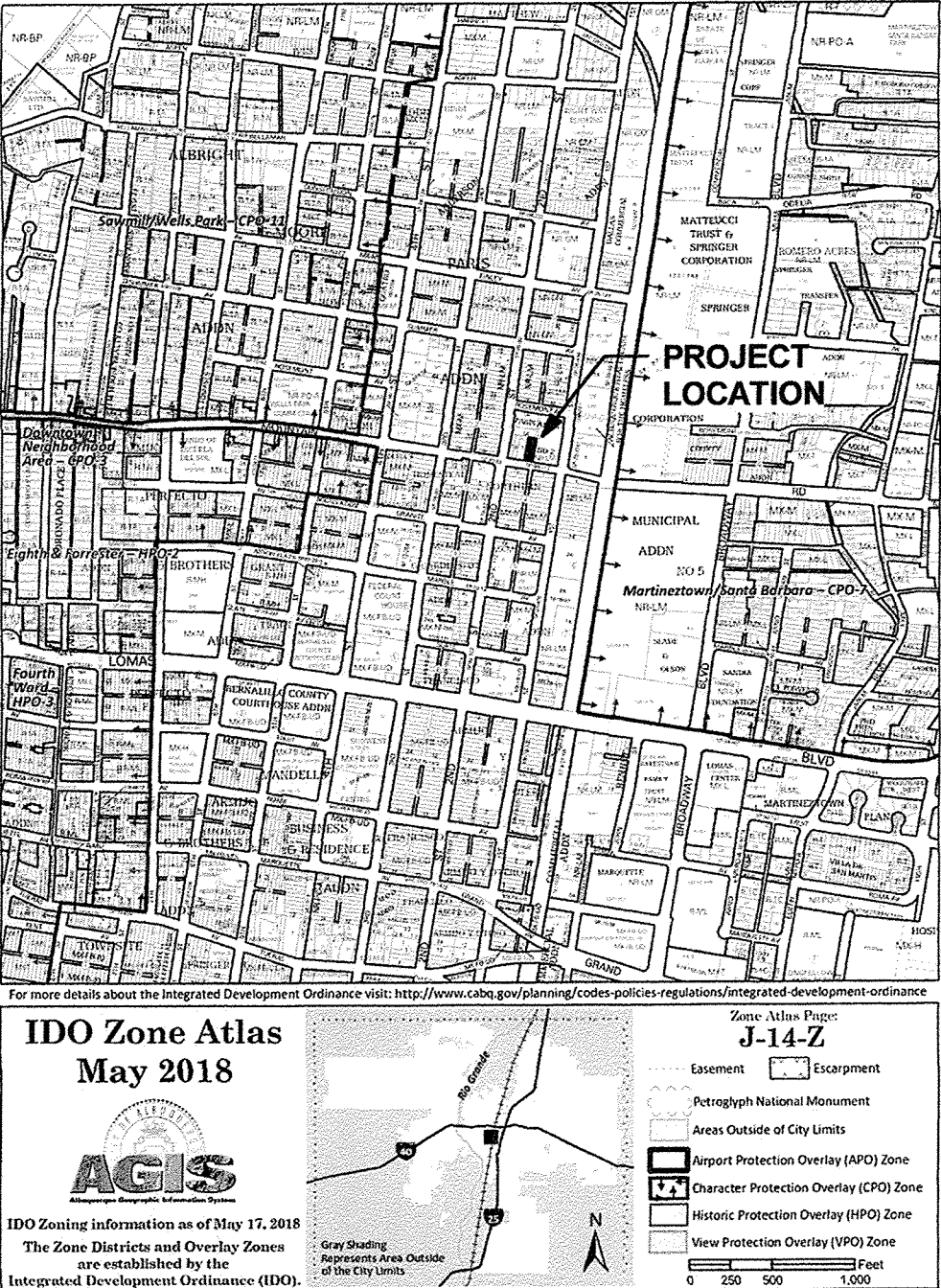
THE PROJECT IS A REMODEL / TENANT IMPROVEMENT OF AN EXISTING OFFICE BUILDING.

C. TRAFFIC CIRCULATION CONCEPT:

THE EXISTING 48'-9" WIDE DRIVEPAD CURB CUT ALONG MOUNTAIN ROAD NW WILL REMAIN. THE CURB CUT DRIVEPAD ACCESS IS SHARED WITH THE ADJACENT PROPERTY TO THE EAST (SAME OWNER AS THIS PROJECT - ALBUQUERQUE HEALTH CARE FOR THE HOMELESS). THE EXISTING ASPHALT DRIVEPAD WILL REMAIN. NEW PARKING SPACE STRIPING WILL BE APPLIED TO THE EXISTING PARKING LOT SURFACE TO ACCOMMODATE THE PARKING SPACES AS DESCRIBED ABOVE. AN ACCESS AISLE 8'-0" WIDE WILL EXTEND TO THE EXISTING ACCESSIBLE CURB CUT AT THE EXISTING SIDEWALK ALONG THE FRONT OF THE BUILDING.

THERE WILL BE NO NEW LANDSCAPING AS PART OF THIS PROJECT.

SHARED ACCESS AGREEMENT PROVIDED AS A SEPARATE DOCUMENT.



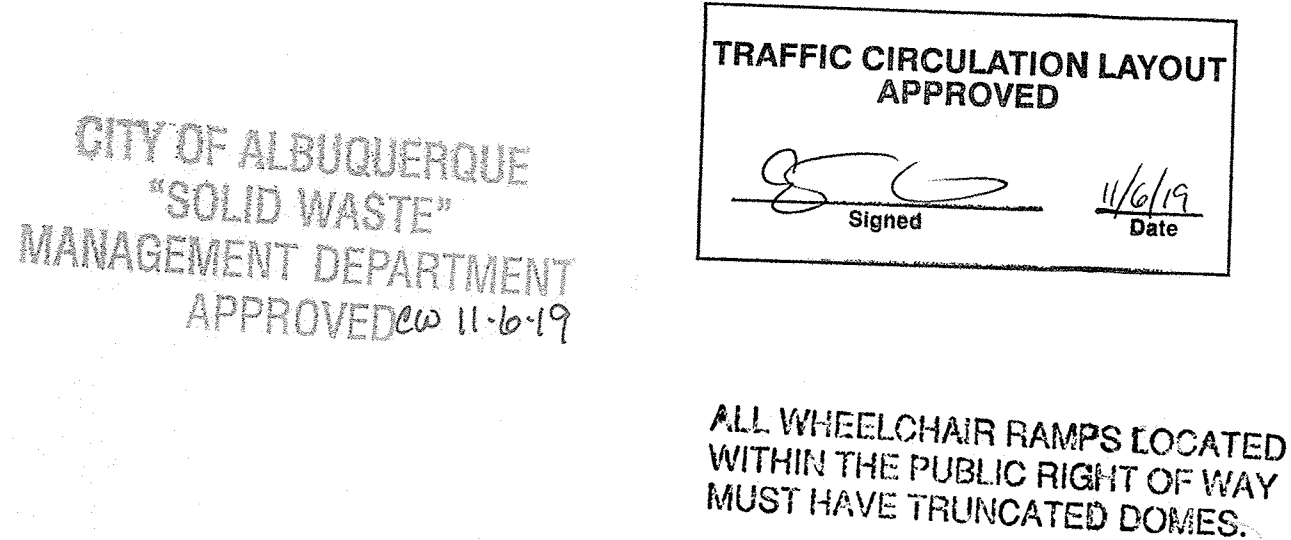
121 MOUNTAIN ROAD NW
ALBUQUERQUE, NM 87102

VICINITY MAP

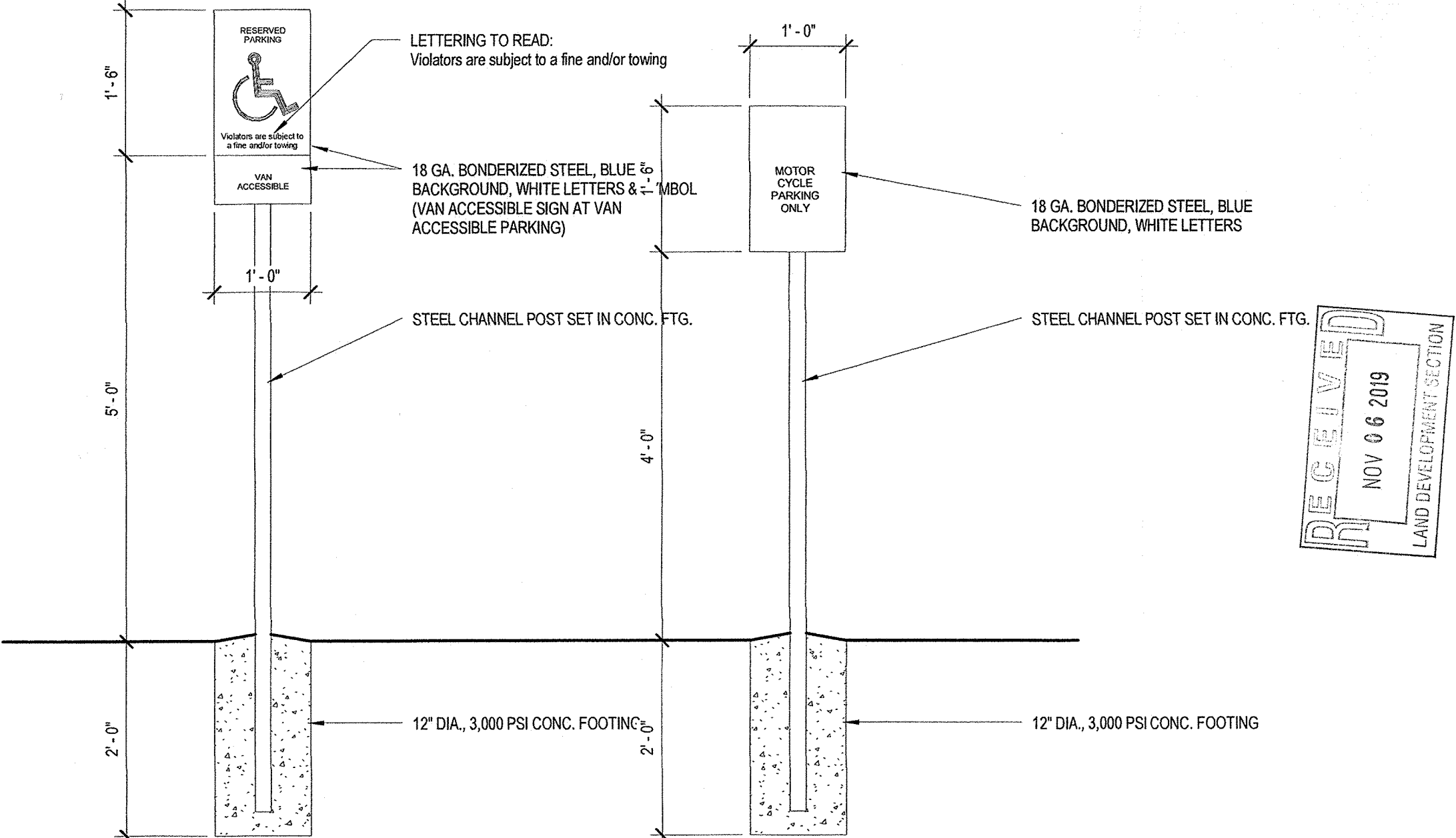
ZONE LOCATION MAP J-14-Z

KEYED NOTES:

- 01100.01 PROPERTY LINE.
- 01100.03 8' WIDE PUBLIC UTILITY EASEMENT.
- 01100.05 EXISTING 5' WIDE PUBLIC UTILITY EASEMENT (PUM) TO REMAIN.
- 02200.07 REMOVE EXISTING CONCRETE AND ASPHALT PAVING IN THIS AREA.
- 02200.10 REMOVE PORTION OF EXISTING SIDEWALK / CURB CUT FOR NEW SLOPED SIDEWALK WITH TRUNCATED DOMES. FROM EXISTING EXPANSION JOINT, REMOVE 7'-0" OF EXISTING CONCRETE SIDEWALK.
- 03200.04 INSTALL NEW ADA ACCESSIBLE CONCRETE SIDEWALK WITH TRUNCATED DOMES AT CURB CUT PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. SLOPE 1:50 MAX IN DIRECTION OF TRAVEL. REFER TO CITY STANDARD DWG. 2425. PROVIDE DOMES ON BOTH SIDES OF RAMP.
- 03200.09 EXISTING CONCRETE SIDEWALK WITH HC ACCESSIBLE SLOPED WALK TO REMAIN.
- 03400.01 EXISTING CONCRETE WHEEL STOPS. RELOCATE PER NEW PARKING LAYOUT, TYPICAL.
- 05500.41 EXISTING STEEL PIPE BOLLARDS TO REMAIN. PRIME AND PAINT.
- 06500.01 EXISTING STEEL PIPE BOLLARDS TO REMAIN. CONCRETE FILLED.
- 06100.13 EXISTING 6X6 WOOD POSTS (4) TO REMAIN. PRIME AND PAINT.
- 10100.10 VAN ACCESSIBLE DISABLED PARKING SIGN. SEE DETAIL A3 / TCL-101.
- 10100.11 MOTORCYCLE PARKING SIGN. SEE DETAIL A4 / TCL-101.
- 12900.03 BIKE RACK. SEE DETAIL D1/TCL-101. BASIS OF DESIGN IS SITESCAPES ECHO BIKE RACK "EC2-05-SM" SURFACE MOUNTED (2) BIKE TUBE RACK.
- 26200.01 EXISTING POWER POLE TO REMAIN.
- 26200.02 DASHED LINE INDICATES OVERHEAD UTILITY LINES.
- 27100.04 EXISTING COMMUNICATIONS BOX TO REMAIN.
- 32100.04 EDGE OF EXISTING ASPHALT TO REMAIN.
- 32100.08 HC PARKING AND SYMBOLS. VAN ACCESS AISLE IS 8'-0" WIDE X 18'-0" LONG WITH AN 8'-0" WIDE ACCESS LANE. PAINT ACCESSIBLE PARKING STRIPING AND SYMBOLS WITH ASPHALT STRIPING PAINT. THE ADA ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACED, PER 66-1-4.1.8 NMSA 1978. HC PARKING SLOPE AT 1.1%.
- 32100.09 RE-STRIPED PARKING SPACES ON EXISTING ASPHALT.
- 32100.11 EXISTING PARKING LOT SLOPE A MINIMUM OF 1%, LESS THAN 4% THROUGHOUT.
- 32100.12 AT AREA OF REMOVED ASPHALT / CONCRETE: SLOPE NEW ASPHALT PAVING AWAY FROM BUILDING. MATCH EXISTING GRADE. COMPACT EXISTING SUBGRADE TO 95%. INSTALL NEW ASPHALT, 2" IN THICKNESS MINIMUM.
- 32100.13 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 32100.14 EXISTING CONCRETE DRIVEPAD TO REMAIN.
- 32100.15 6' - 0" WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY. PAINT WITH WHITE STRIPING ON EXISTING ASPHALT PAVING.
- 32300.02 THIS CHAIN-LINK FENCING IS LOCATED ON ADJOINING PROPERTY.
- 32300.04 EXISTING 5'-0" HIGH CHAIN-LINK FENCE TO REMAIN.
- 32900.01 EXISTING TREES TO REMAIN.
- 32900.02 EXISTING LANDSCAPE AREA TO REMAIN.
- 33100.01 EXISTING WATER METER TO REMAIN.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

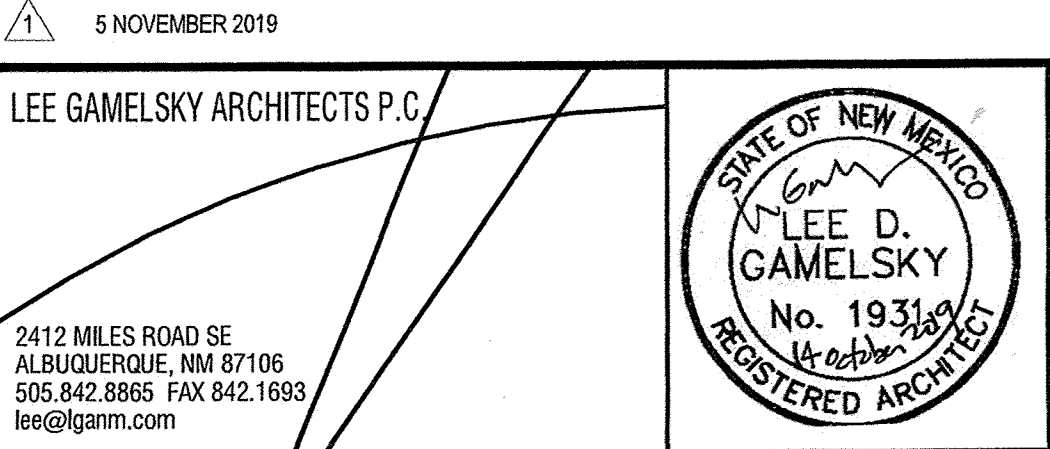


A3 HC Parking Sign

3/4" = 1'-0"

A4 Motorcycle Parking Sign

3/4" = 1'-0"



ALBUQUERQUE HEALTH CARE FOR THE HOMELESS
REMODEL OF 121 MOUNTAIN ROAD NW,
ALBUQUERQUE, NEW MEXICO 87102

PROJECT ARCHITECT: LEE GAMESKY, AIA
Project #: 10 OCTOBER 2019

TRAFFIC CIRCULATION LAYOUT PLAN

By: WTB	Sheet: Of:
CONSTRUCTION DOCUMENTS	TCL-101