

# CITY OF ALBUQUERQUE



November 4, 2019

Lee Gamelsky RA  
LEE GAMELSKY ARCHITECT P.C.  
2412 Miles Rd SE  
Albuquerque, NM 87106

**Re: Albuquerque Healthcare for the homeless**  
**121 Mountain Rd. NW**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 10-14-2019 (J14D050)

Dear Mr. Gamelsky,

Based upon the information provided in your submittal received 11-01-2019, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide a document showing a shared access agreement for the existing curb-cut.
2. ADA curb ramps must be updated to current standards and have truncated domes installed.
3. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
4. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; **provide a copy of refuse approval.**

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

PO Box 1293

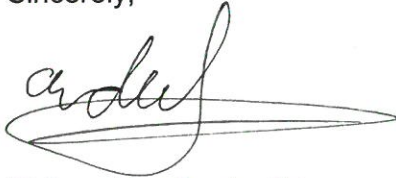
Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mojgan Maadandar', with a long horizontal flourish extending to the right.

Mojgan Maadandar, E.I.  
Associate Engineer, Planning Dept.  
Development Review Services

\MM via: email  
C: CO Clerk, File

GENERAL INFORMATION:

A. PLANNING HISTORY:

1. THE PROJECT IS A REMODEL / TENANT IMPROVEMENT OF AN EXISTING BUILDING. THERE IS NO CHANGE OF USE.
2. THERE WILL BE NO CHANGE TO THE GROSS FLOOR AREA OF THE EXISTING BUILDING.
3. THERE WILL BE NO CHANGE TO THE EXISTING LANDSCAPING. PER SECTION 14-16-5-6(B)(4) OF THE CITY OF ALBUQUERQUE IDO, THE VALUE OF THE RENOVATION IS LESS THAN \$500.00 AND NOT SUBJECT TO ADDITIONAL LANDSCAPING REQUIREMENTS.

B. DESCRIPTION:

1. VICINITY MAP (SEE MAP AT UPPER RIGHT OF SHEET).
2. ADDRESS: 121 MOUNTAIN ROAD NW, ALBUQUERQUE, NM 87102

LEGAL DESCRIPTION:

Lot lettered/numbered "P-1" in Block numbered Fifteen (15) of the PARIS ADDITION NO. 2, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on June 20, 1994, in Plat Book 94C, page 205.

3. VARIANCE: NOT REQUIRED

4. TYPE OF DEVELOPMENT:

EXISTING OFFICE BUILDING - NO CHANGE OF USE

5. SIZE OF DEVELOPMENT:

LOT SIZE: 0.1535 ACRES  
EXISTING BUILDING GROSS FLOOR AREA = 1,991 SF

6. PARKING REQUIRED:

THIS REMODEL DOES NOT TRIGGER PARKING REQUIREMENTS. THIS PROJECT IS A REMODEL/TENANT IMPROVEMENT OF AN EXISTING BUILDING. THERE IS NO EXPANSION OF FLOOR AREA. THERE IS NO CHANGE OF USE.

HOWEVER, BASED ON THE PARKING REQUIREMENTS OF THE IDO, THE FOLLOWING NUMBER OF SPACES IS REQUIRED:

3.5 SPACE / 1,000 GSF  
1,991/1,000 = 1.91 X 3.5 = 7 SPACES

PARKING REDUCTION FOR PROXIMITY TO TRANSIT:  
30% X 7 = 2.1 SPACES  
7 - 2.1 = 4.9 SPACES  
THEREFORE, 4.0 SPACES ARE REQUIRED

PARKING SPACES PROVIDED: 5 SPACES + 1 HC ACCESSIBLE SPACE

MOTORCYCLE SPACES REQUIRED/PROVIDED: 1 SPACE

BICYCLE SPACES REQUIRED/PROVIDED: 1 SPACE REQUIRED, 2 PROVIDED

7. EXECUTIVE SUMMARY:

A. PROJECT LOCATION:

THE PROJECT IS LOCATED AT 121 MOUNTAIN ROAD NW.

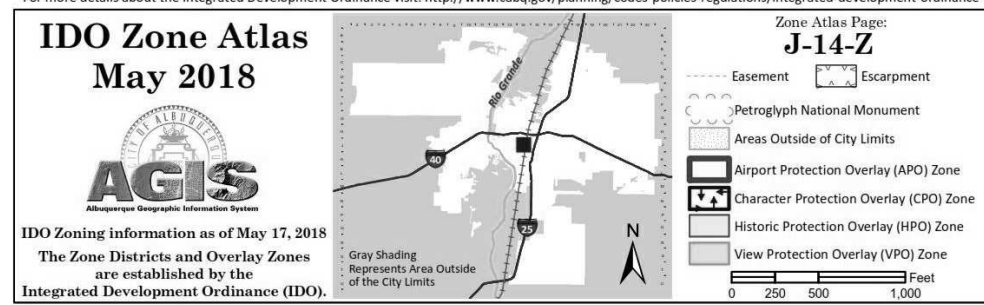
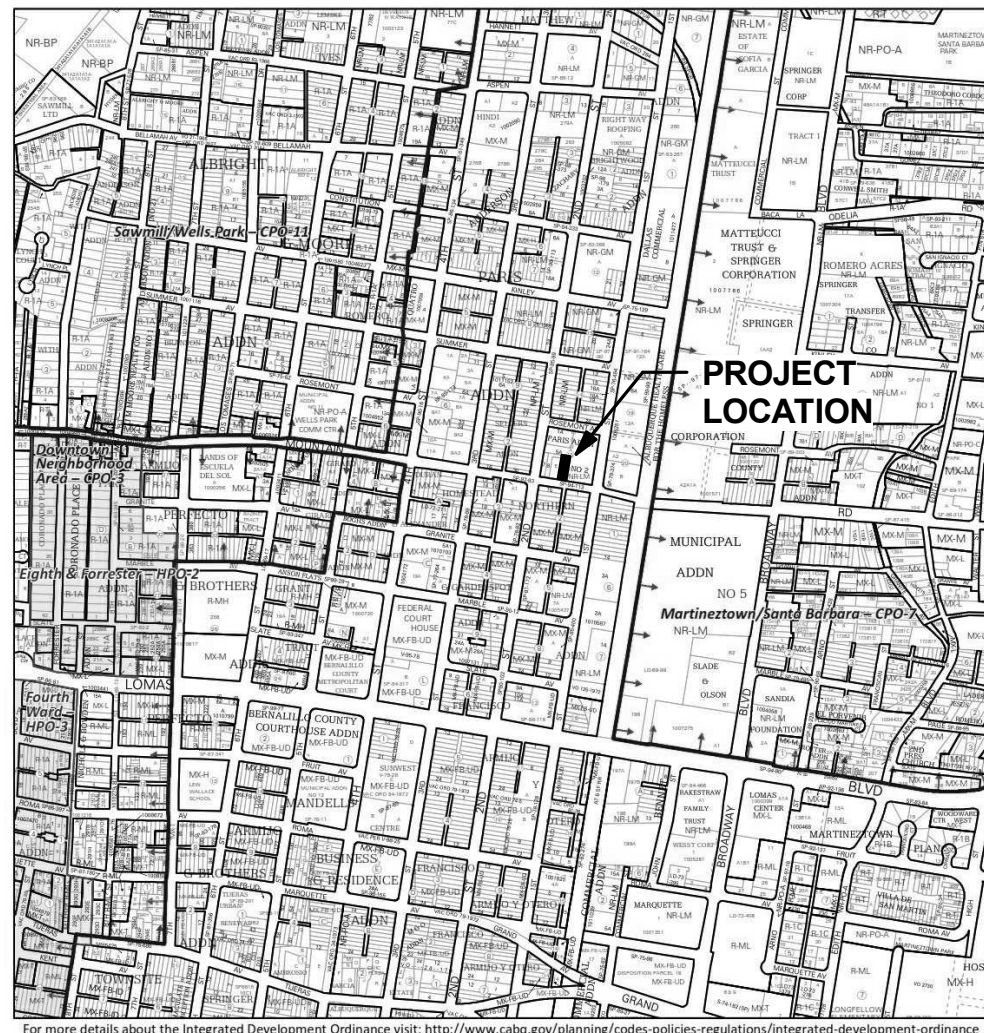
B. DEVELOPMENT CONCEPT:

THE PROJECT IS A REMODEL / TENANT IMPROVEMENT OF AN EXISTING OFFICE BUILDING.

C. TRAFFIC CIRCULATION CONCEPT:

THE EXISTING 48'-9" WIDE DRIVEPAD CURB CUT ALONG MOUNTAIN ROAD NW WILL REMAIN. THE CURB CUT DRIVEPAD ACCESS IS SHARED WITH THE ADJACENT PROPERTY TO THE EAST (SAME OWNER AS THIS PROJECT - ALBUQUERQUE HEALTH CARE FOR THE HOMELESS). THE EXISTING ASPHALT DRIVEPAD WILL REMAIN. NEW PARKING SPACE STRIPING WILL BE APPLIED TO THE EXISTING PARKING LOT SURFACE TO ACCOMMODATE THE PARKING SPACES AS DESCRIBED ABOVE. AN ACCESS AISLE 8'-0" WIDE WILL EXTEND TO THE EXISTING ACCESSIBLE CURB CUT AT THE EXISTING SIDEWALK ALONG THE FRONT OF THE BUILDING.

THERE WILL BE NO NEW LANDSCAPING AS PART OF THIS PROJECT.



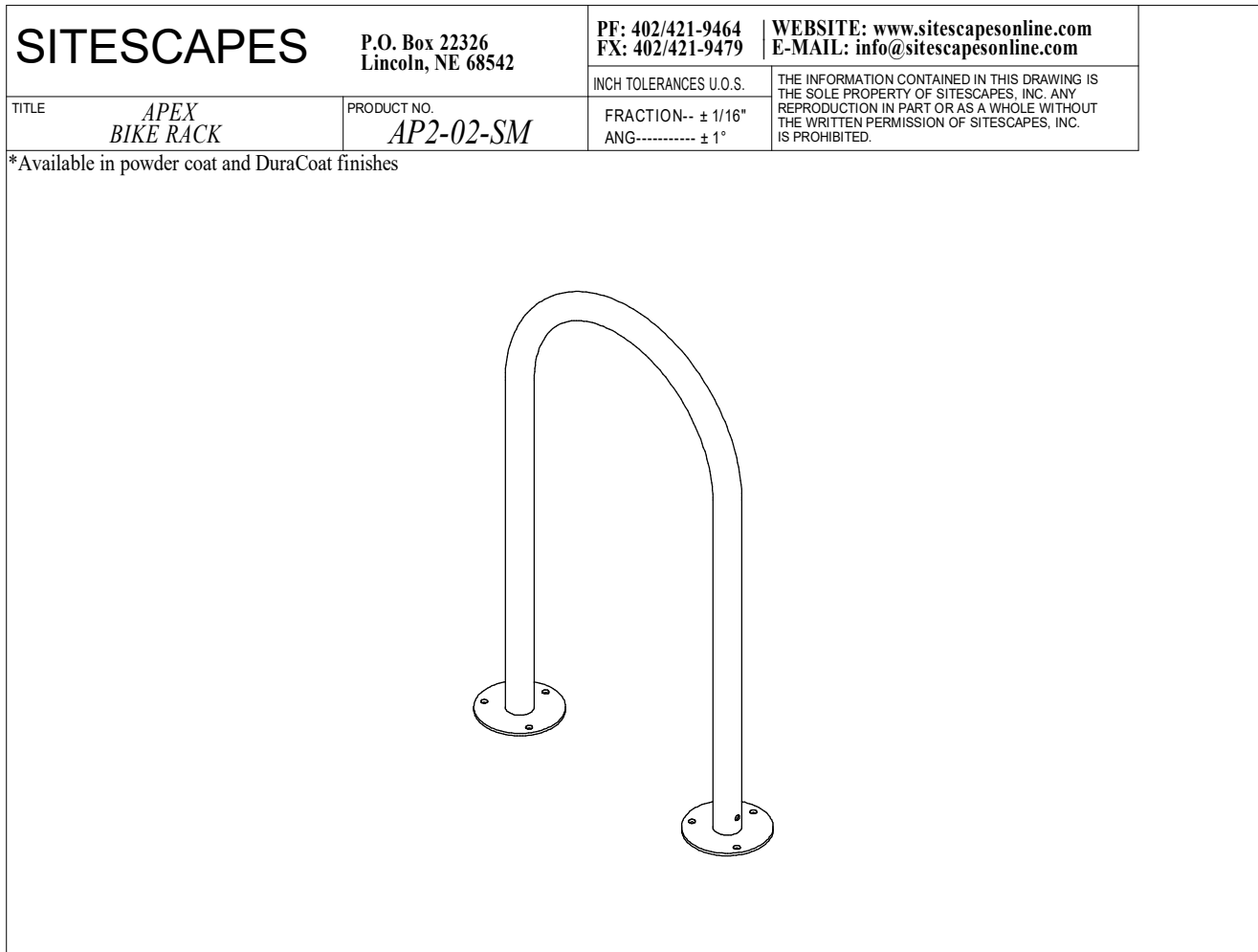
121 MOUNTAIN ROAD NW  
ALBUQUERQUE, NM 87102

VICINITY MAP

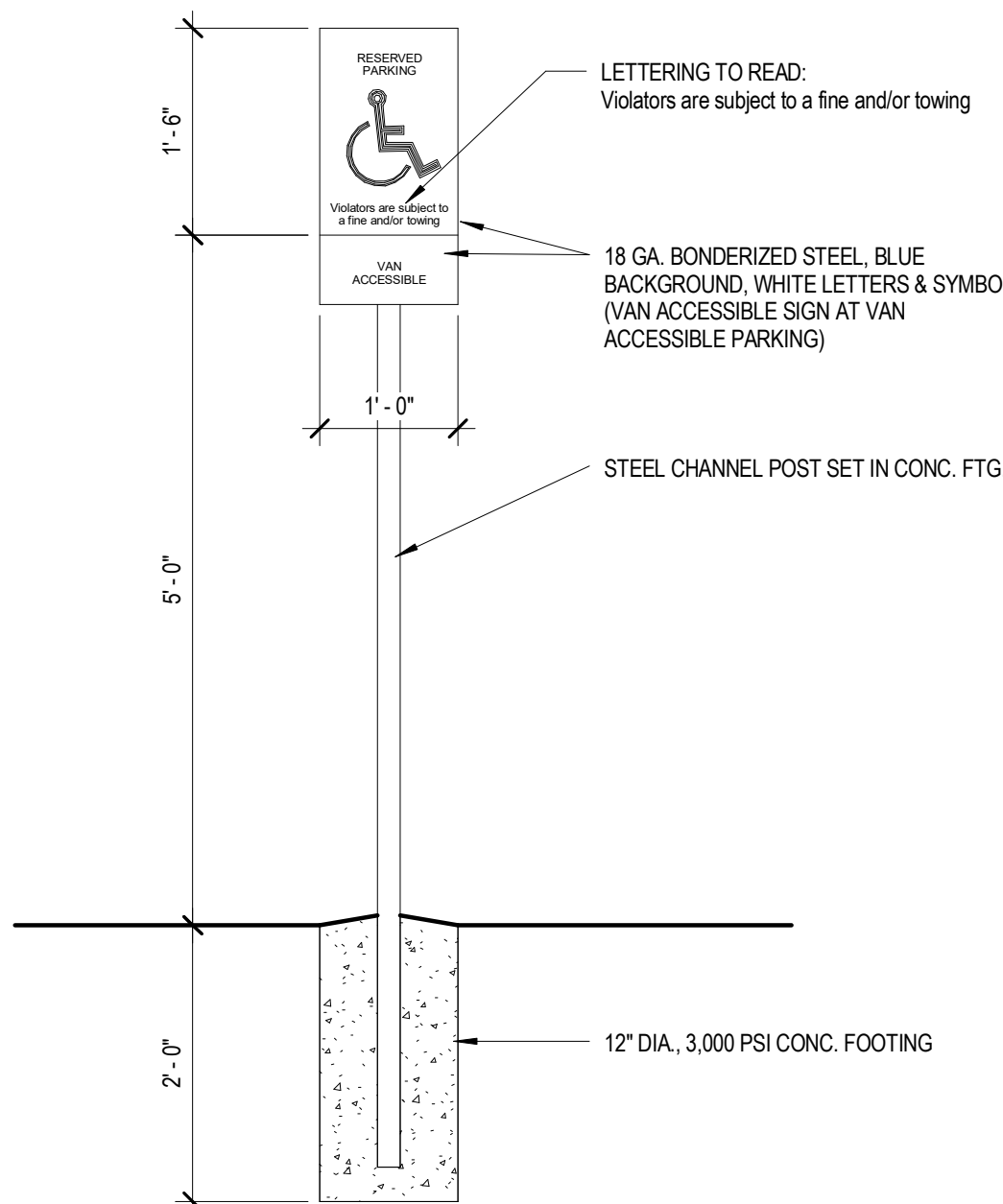
ZONE LOCATION MAP J-14-Z

KEYED NOTES:

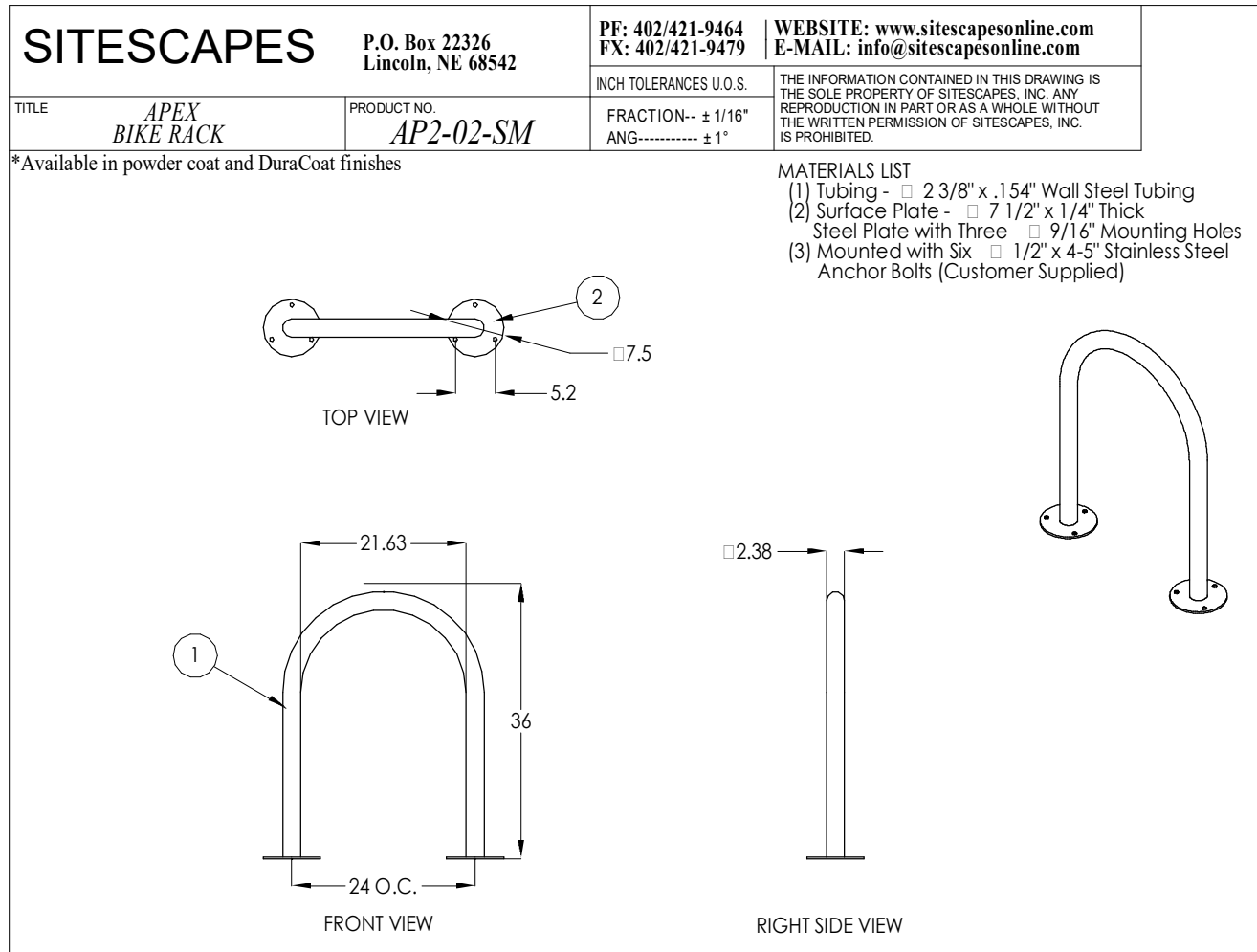
- 01100.01 PROPERTY LINE.
- 01100.03 8' WIDE PUBLIC UTILITY EASEMENT.
- 01100.05 EXISTING 5' WIDE PUBLIC UTILITY EASEMENT (PNM) TO REMAIN.
- 02200.07 REMOVE EXISTING CONCRETE AND ASPHALT PAVING IN THIS AREA.
- 03200.04 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 03200.09 EXISTING CONCRETE SIDEWALK WITH HC ACCESSIBLE SLOPED WALK TO REMAIN.
- 03400.01 EXISTING CONCRETE WHEEL STOPS. RELOCATE PER NEW PARKING LAYOUT, TYPICAL.
- 05600.01 EXISTING STEEL PIPE BOLLARDS TO REMAIN. PRIME AND PAINT.
- 05600.01 EXISTING STEEL PIPE BOLLARDS TO REMAIN. CONCRETE FILLED.
- 06100.13 EXISTING 6X6 WOOD POSTS (4) TO REMAIN. PRIME AND PAINT.
- 10100.10 VAN ACCESSIBLE DISABLED PARKING SIGN. SEE DETAIL A3 / TCL-101.
- 10100.11 MOTORCYCLE PARKING SIGN. SEE DETAIL A4 / TCL-101.
- 12900.03 BIKE RACK. SEE DETAIL B3/TCL-101. BASIS OF DESIGN IS SITESCAPES ECHO BIKE RACK "EC2-05-SM" SURFACE MOUNTED (2) BIKE TUBE RACK.
- 26200.01 EXISTING POWER POLE TO REMAIN.
- 26200.02 DASHED LINE INDICATES OVERHEAD UTILITY LINES.
- 27100.04 EXISTING COMMUNICATIONS BOX TO REMAIN.
- 32100.04 EDGE OF EXISTING ASPHALT TO REMAIN.
- 32100.08 HC PARKING AND SYMBOLS. VAN ACCESS AISLE IS 8'-0" WIDE X 18'-0" LONG WITH AN 8'-0" WIDE ACCESS LANE. PAINT ACCESSIBLE PARKING STRIPING AND SYMBOLS WITH ASPHALT STRIPING PAINT. THE ADA ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACED. PER 66-14-1.1.B NMSA 1978. HC PARKING SLOPE AT 1.1%.
- 32100.09 RE-STRIPE PARKING SPACES ON EXISTING ASPHALT.
- 32100.10 EXISTING CONCRETE CURB / SIDEWALK / DRIVEWAY TO REMAIN.
- 32100.11 EXISTING PARKING LOT SLOPE A MINIMUM OF 1%, LESS THAN 4% THROUGHOUT.
- 32100.12 AT AREA OF REMOVED ASPHALT / CONCRETE: SLOPE NEW ASPHALT PAVING AWAY FROM BUILDING. MATCH EXISTING GRADE. COMPACT EXISTING SUBGRADE TO 95%. INSTALL NEW ASPHALT, 2" IN THICKNESS MINIMUM.
- 32300.02 THIS CHAIN-LINK FENCING IS LOCATED ON ADJOINING PROPERTY.
- 32300.04 EXISTING 5'-0" HIGH CHAIN-LINK FENCE TO REMAIN.
- 32900.01 EXISTING TREES TO REMAIN.
- 32900.02 EXISTING LANDSCAPE AREA TO REMAIN.
- 33100.01 EXISTING WATER METER TO REMAIN.



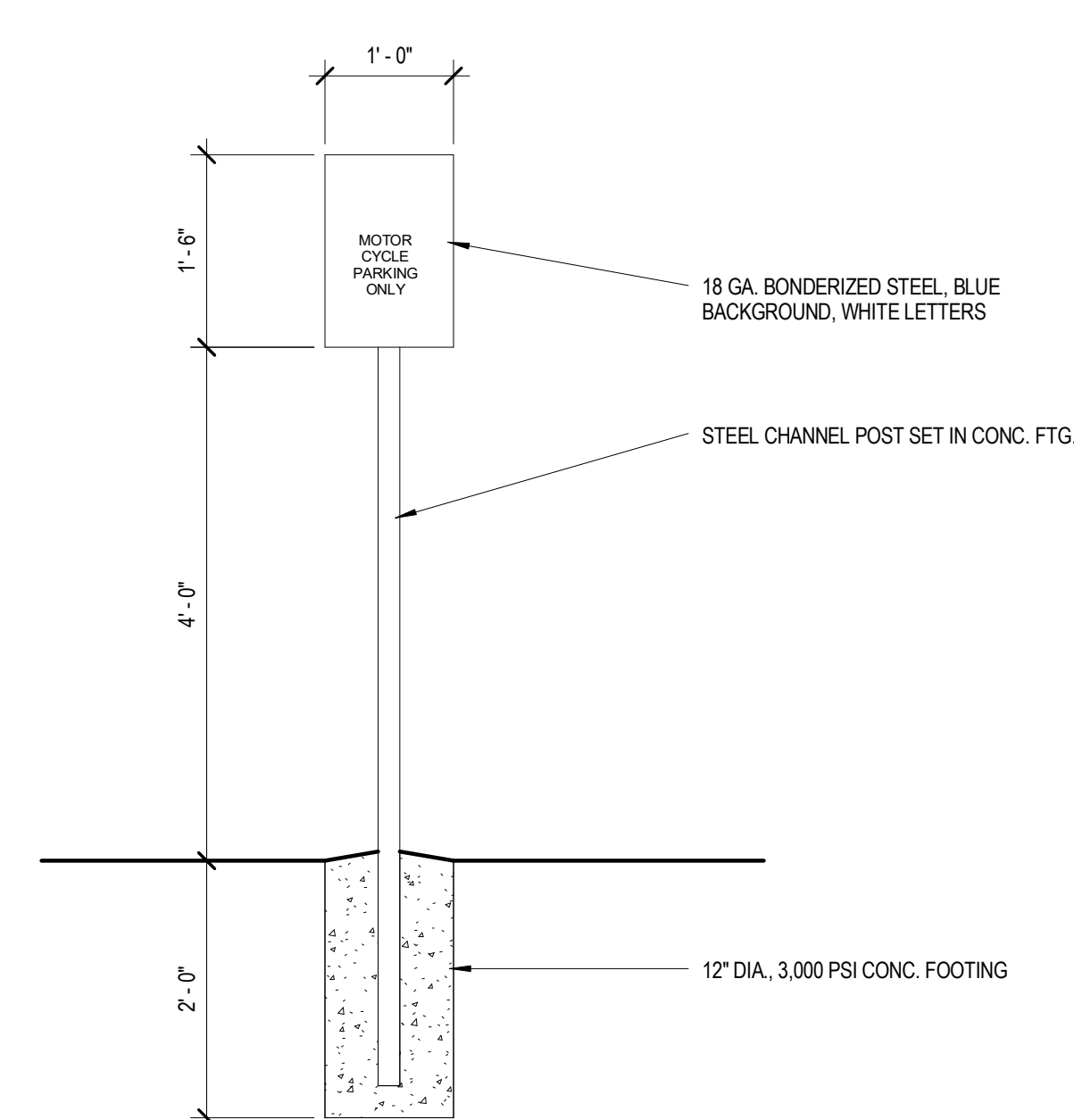
B3 BIKE RACK DETAILS  
1/2" = 1'-0"



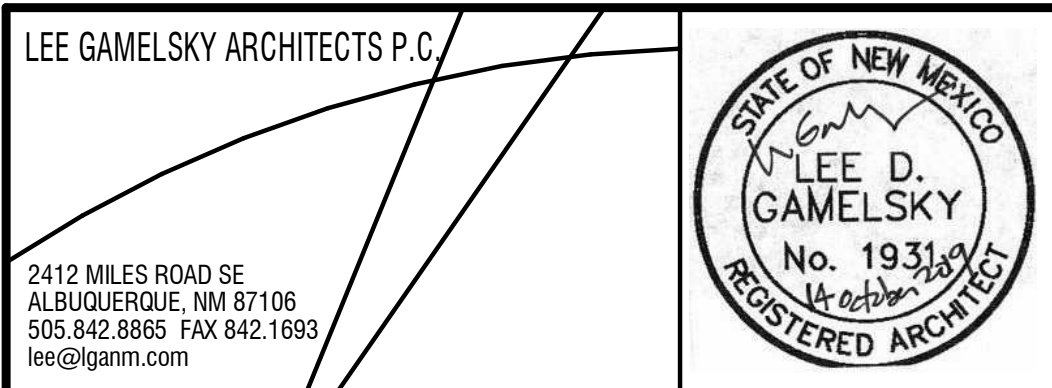
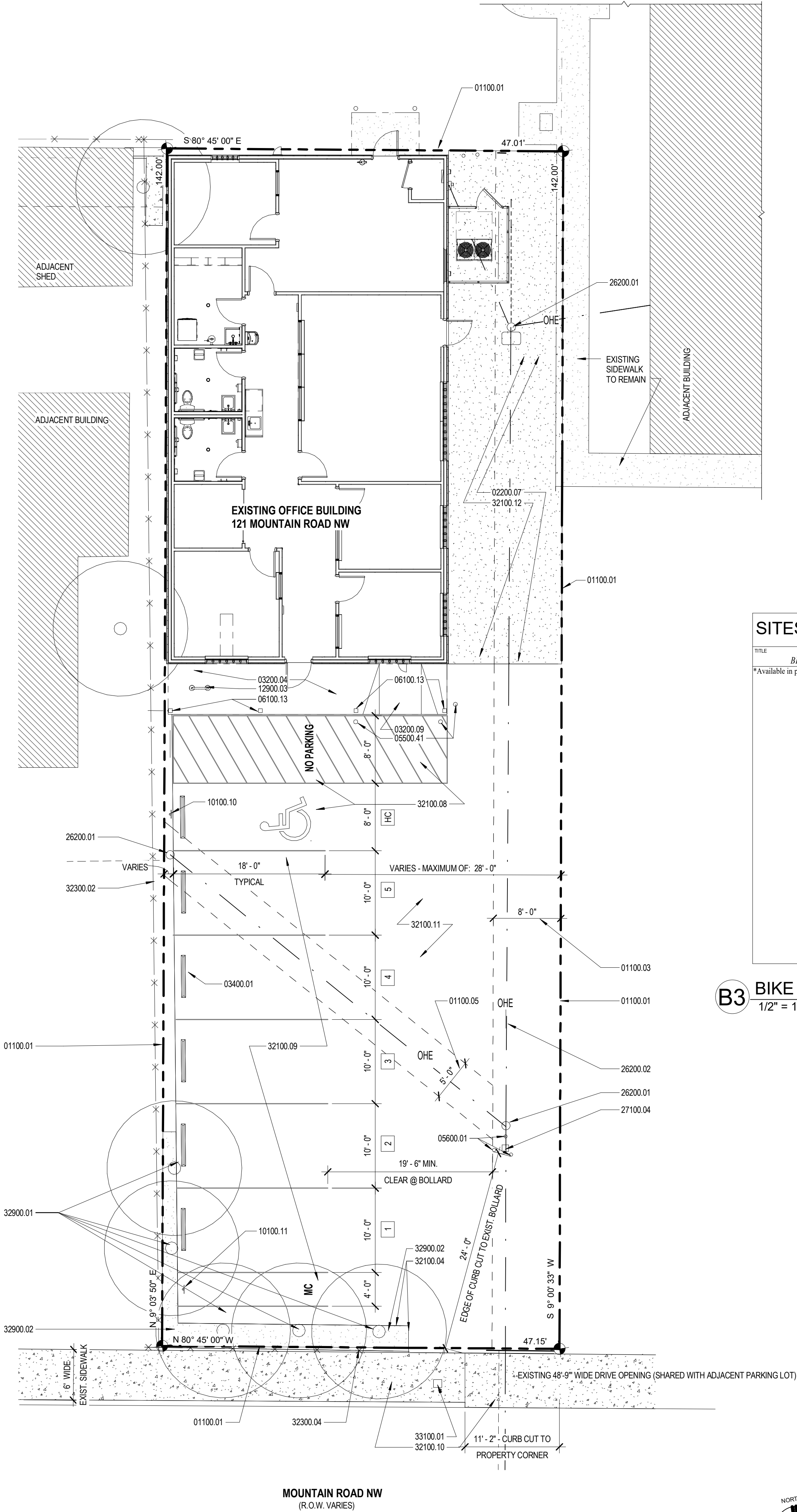
A3 HC Parking Sign  
3/4" = 1'-0"



A4 Motorcycle Parking Sign  
3/4" = 1'-0"



1 TCL  
1/8" = 1'-0"



ALBUQUERQUE HEALTH CARE FOR THE HOMELESS  
REMODEL OF 121 MOUNTAIN ROAD NW,  
ALBUQUERQUE, NEW MEXICO 87102

PROJECT ARCHITECT:  
LEE GAMESKY, AIA

Project #:  
Date: 10 OCTOBER 2019

TRAFFIC CIRCULATION LAYOUT PLAN