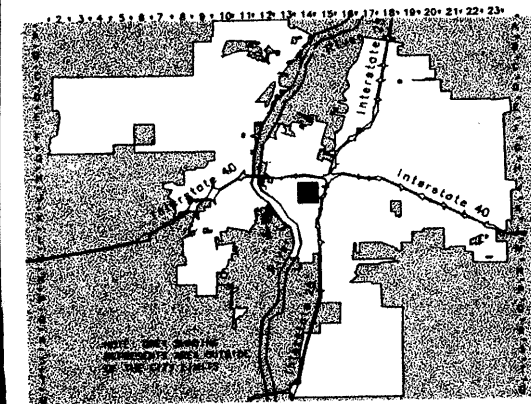
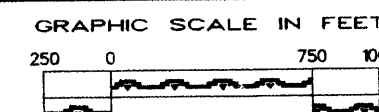




Zone Atlas Page

J-14-Z



LOCATION MAP

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

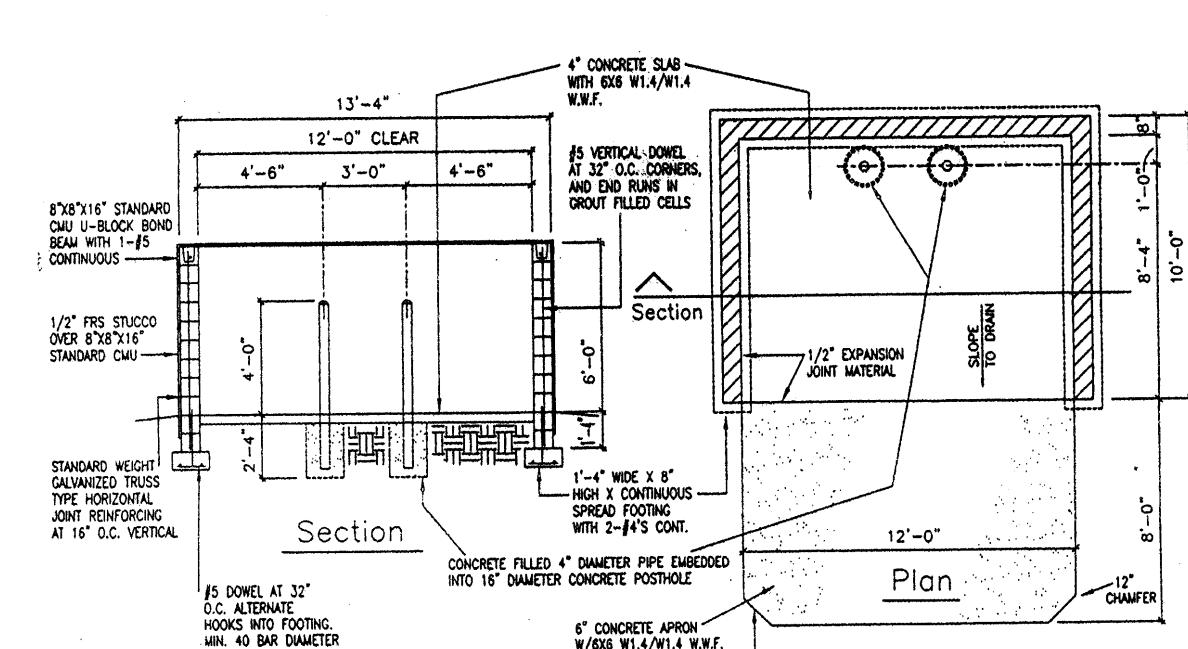
LEGEND:

TOP OF CURB ELEVATION = TC = G6.66
CURB FLOWLINE ELEVATION = E = G6.00
EXISTING SPOT ELEVATION = + G7.1
EXISTING CONTOUR ELEVATION = G7.0
PROPOSED SPOT ELEVATION = + G7.50
PROPOSED CONTOUR ELEVATION = G7.0
PROPOSED OR EXISTING CONCRETE SURFACE =
EXISTING FENCE LINE =

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

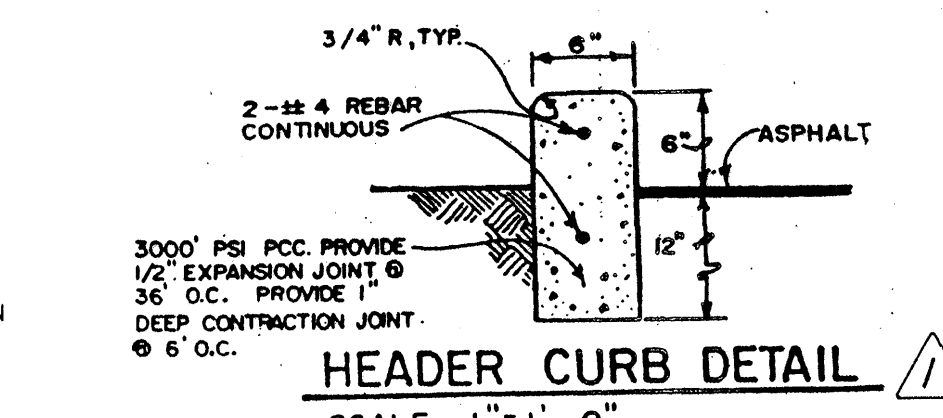
(A) → DELETE & COVER EXISTING STORM INLET.



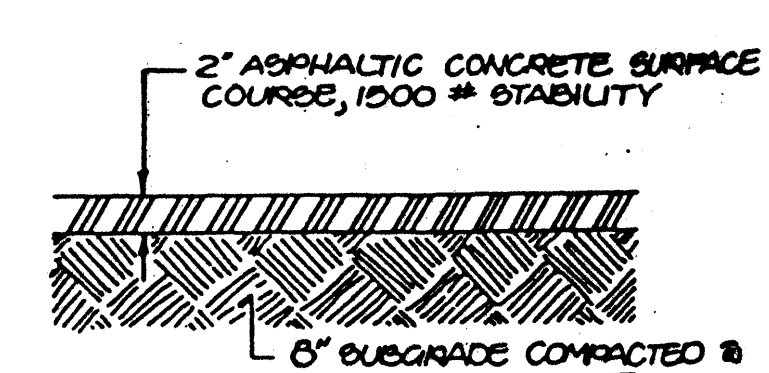
Refuse Enclosure Details

NTS

5 TYP. HC. SIGN DETAIL
SCALE: 1" = 1'-0"

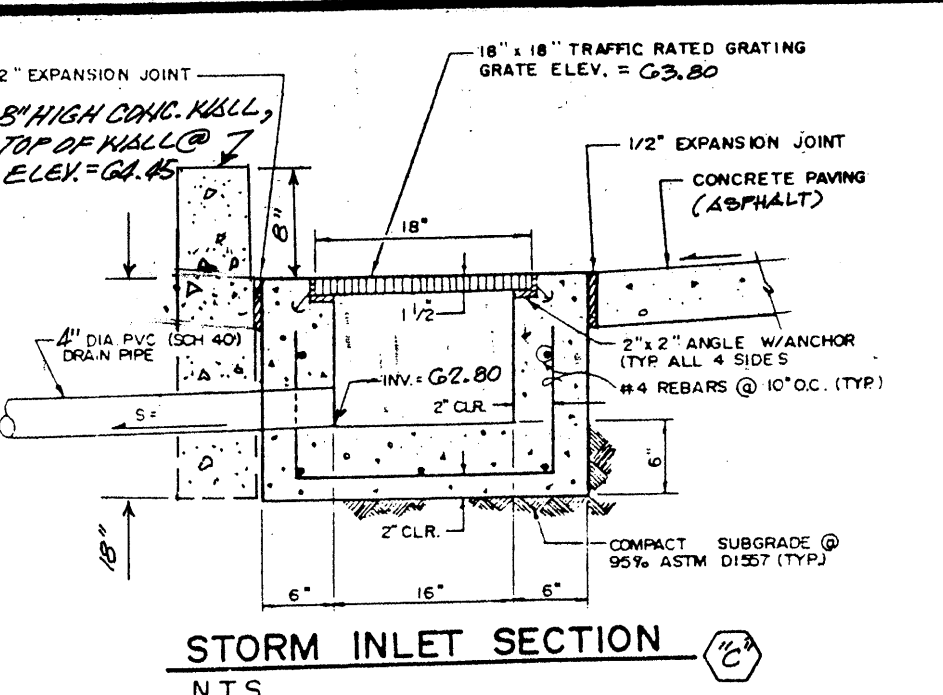


HEADER CURB DETAIL
SCALE: 1" = 1'-0"



TYPICAL PAVEMENT SECTION
SCALE: 1" = 1'-0"

UTILITY PRECAUTIONS
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



STORM INLET SECTION
N.T.S.

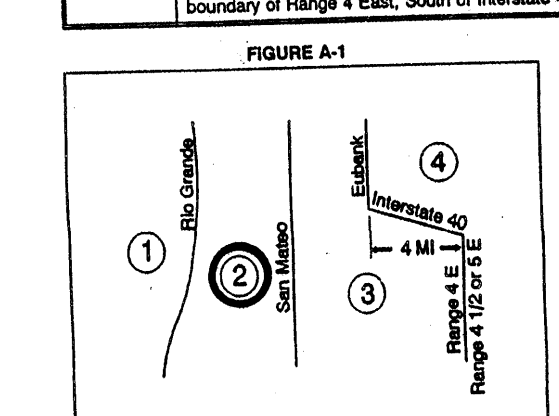
TABLE A-9. PEAK DISCHARGE (cfs/acre)				
Zone	Treatment			
	A	B	C	D
1	1.29 [0.00, 0.24]	2.03 [0.03, 0.78]	2.87 [0.47, 1.49]	4.37 [1.69, 2.89]
2	1.58 [0.00, 0.38]	2.28 [0.09, 0.95]	3.14 [0.80, 1.71]	4.70 [1.96, 3.14]
3	1.87 [0.00, 0.58]	2.80 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.05, 0.87]	2.92 [0.38, 1.48]	3.73 [1.00, 2.26]	5.25 [2.17, 3.67]

TABLE A-10. PEAK INTENSITY (IN/HR at $t_c = 0.2$ hour)		
Zone	Intensity	100-YR
1	4.70 [1.84, 3.14]	100-YR
2	5.05 [2.04, 3.41]	100-YR
3	5.38 [2.21, 3.65]	100-YR
4	5.81 [2.34, 3.83]	100-YR

A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Edith, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Edith, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

DPM SECTION 22.2 - HYDROLOGY
January, 1993 Page A-4

TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Cropland, Unirrigated.
B	Irrigated lands, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Unirrigated cropland, Unirrigated.
C	Soil compacted by human activity. Minimal vegetation. Unirrigated parking, roads, trails. Most vacant lots. Gravel or rock on plastic (lowest landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 50 percent or greater. Other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

DRAINAGE COMMENTS:

As shown on the Vicinity Map hereon, the subject site is located on the west side of Edith Blvd. N.E., between Mountain Road N.E. and Lomas Blvd. N.E., in the City of Albuquerque, New Mexico, (Zone Atlas Map J-14-Z).

The subject site, 1, is not located within a designated floodplain (Ref: F.E.M.A. Panel 334 of 825). 2.) Is a partial developed commercial site, 3.) Does not contribute to the offsite flows of adjacent properties, 4.) Does not accept offsite flows from adjacent properties, 5.) Will not have an adverse impact to downstream properties with the free discharge of the proposed developed flows, 6.) The existing sump-pump/tank design for storm run-off is to be eliminated; existing and proposed flows are to be drained through a 4" P.V.C. drainpipe (easement) within Lot 7, El Porvenir Subdivision.

CALCULATIONS:

Per Section 22.2, Hydrology of the Development Process Manual, Vol.2., Design Criteria for the City of Albuquerque, New Mexico.

Site Area: 0.51 Acre
Precipitation Zone: Two(2)
Peak Intensity: IN/HR. at T_c = Twelve (12) Min., 100-Yr.-6Hr. = 5.05, Land Treatment Factors, Table A-4

EXISTING CONDITION:

TREATMENT	AREA/ACRES	FACTORS	CFS
C	0.22	X	3.14 = 0.69
D	0.29	X	4.70 = 1.36

"Qp" = 2.05 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTORS	CFS
C	0.09	X	3.14 = 0.28
D	0.42	X	4.70 = 1.97

"Qp" = 2.25 CFS ***INCREASE=0.20 CFS

BENCH MARK REFERENCE:

ACS Station "6-J15", M.S.L.D. elevation = 4965.91; Project T.B.M. as shown on plan hereon.

LEGAL DESCRIPTION:

Lot "A-1", Jesus Romero Addition, Albuquerque, New Mexico

DRAINAGE CERTIFICATION

I, LEVI J. VALDES, NMPE #5693 of the firm LEVI J. VALDES & ASSOCIATES, P.C. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 04-07-06. The record information edited onto the original design document has been obtained by ANTHONY HERRERA, NMPS #11463, of the firm HARRIS SURVEYING. I further certify that I have personally visited the project site on JULY 17, 2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy.

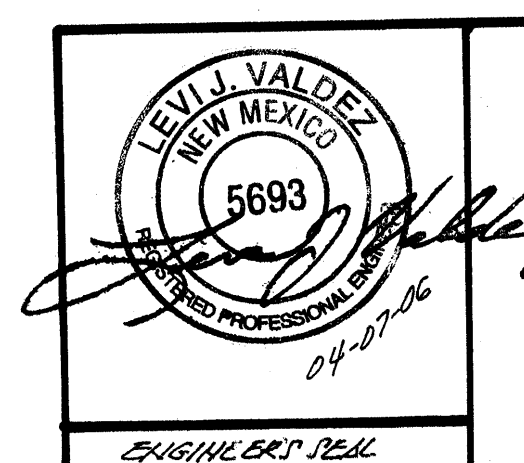
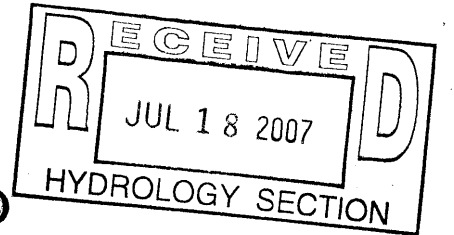
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

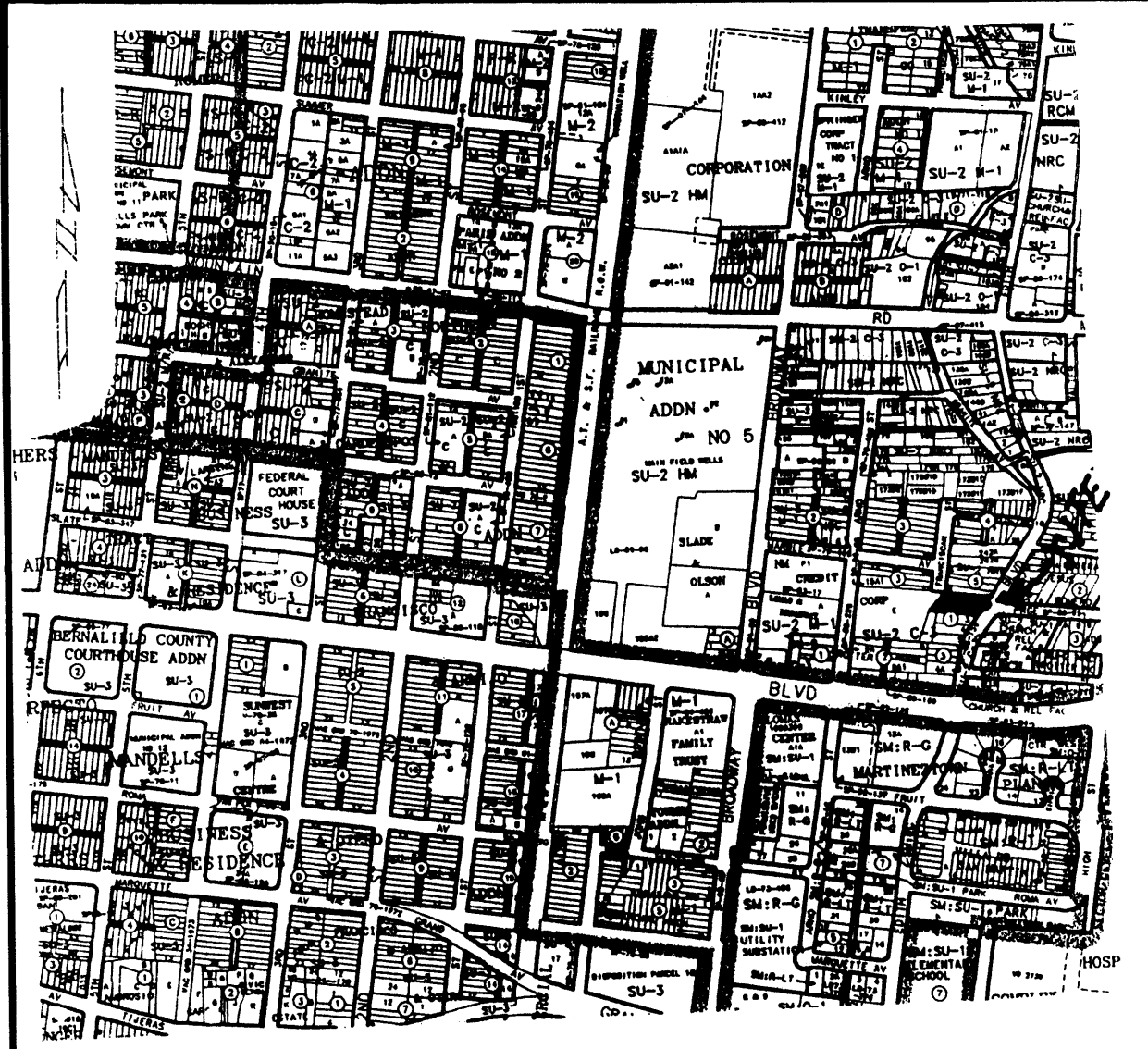
Levi J. Valdes
NMPE
Date July 17, 2007



GRADING AND DRAINAGE PLAN

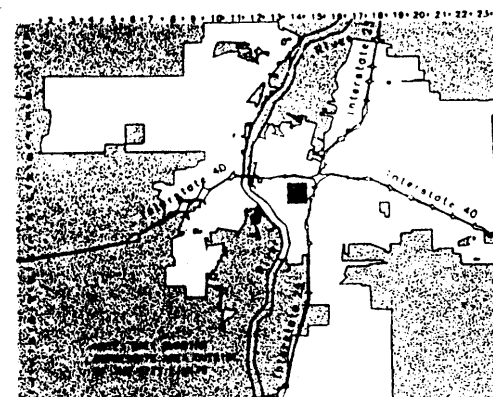
A PROPOSED PLAN
FOR
AIR PRO, INC.
(827 EDITH N.E.)
ALBUQUERQUE, NEW MEXICO
APRIL, 2006



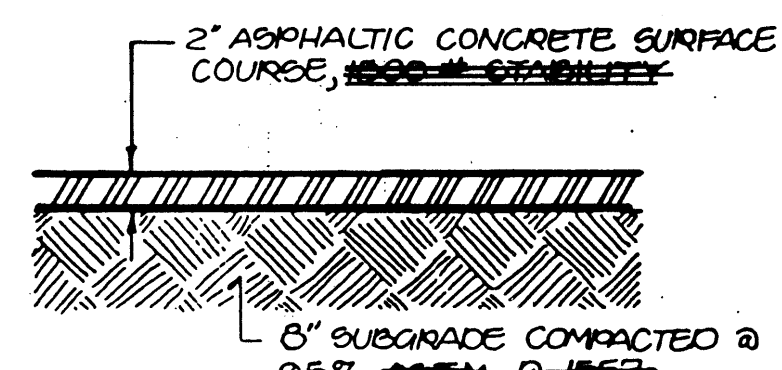
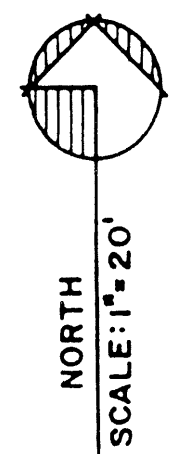


Zone Atlas Page

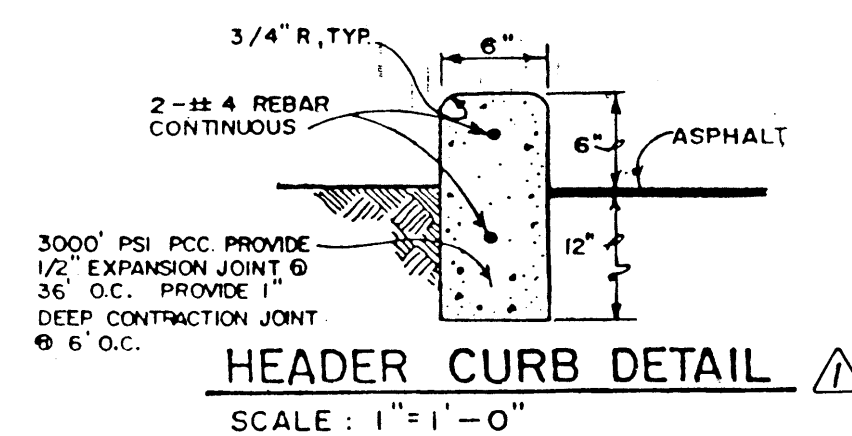
J-14-Z



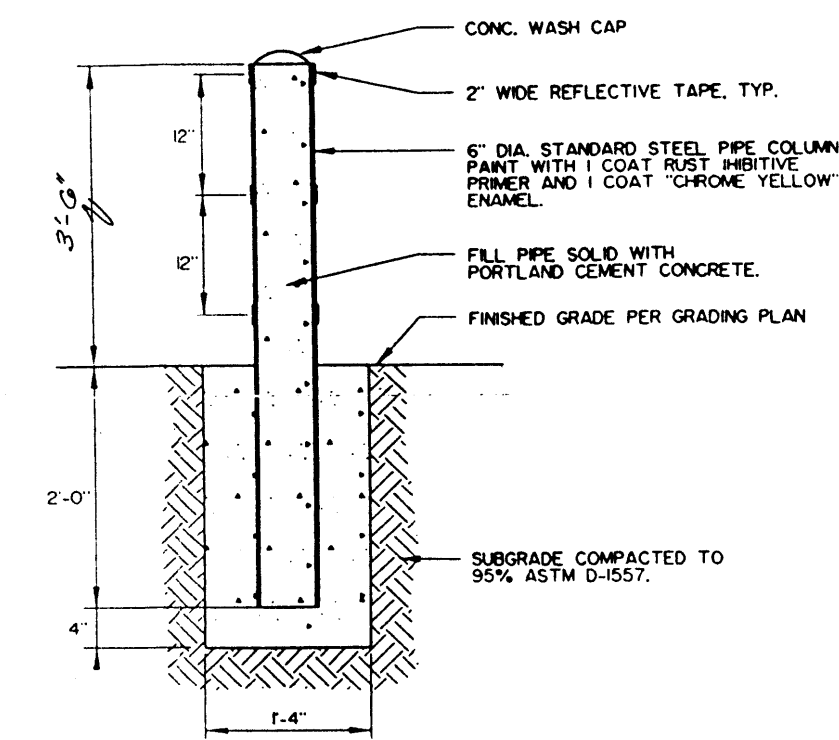
LOCATION MAP



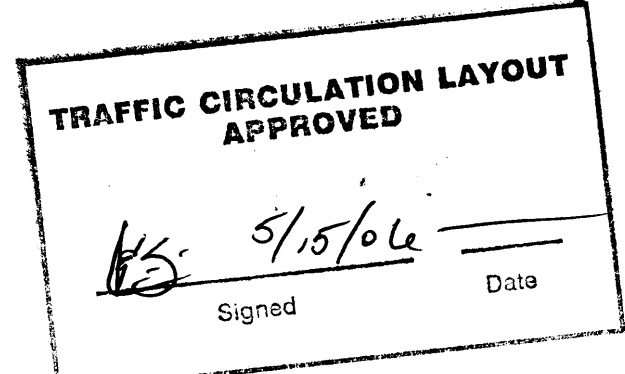
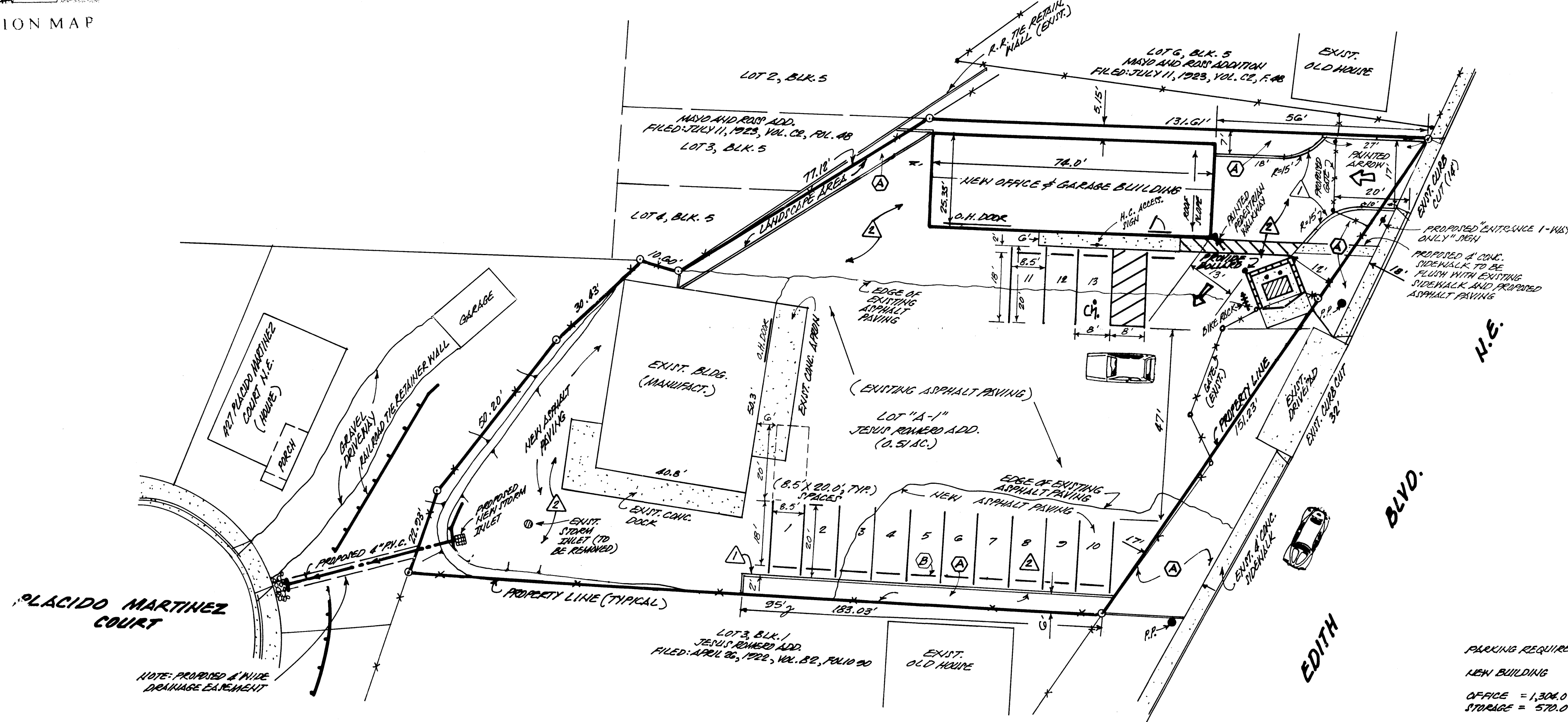
TYPICAL PAVEMENT SECTION
SCALE: 1" = 1'-0"



HEADER CURB DETAIL
SCALE: 1" = 1'-0"



TYPICAL BOLLARD SECTION



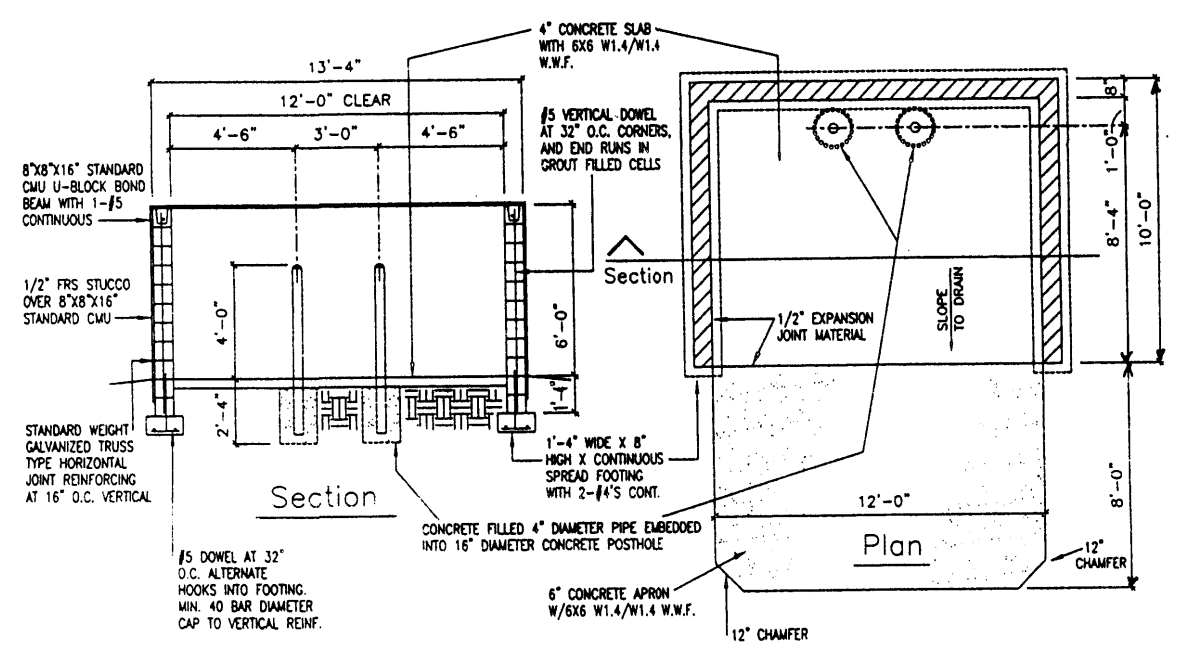
PARKING REQUIREMENTS:

NEW BUILDING
OFFICE = 1,304.0 SQ. FT./200 = 7 SPACES
STORAGE = 570.0 SQ. FT./1,000 = 1 SPACE
TOTAL = 1,874.0 SQ. FT. 8 SPACES

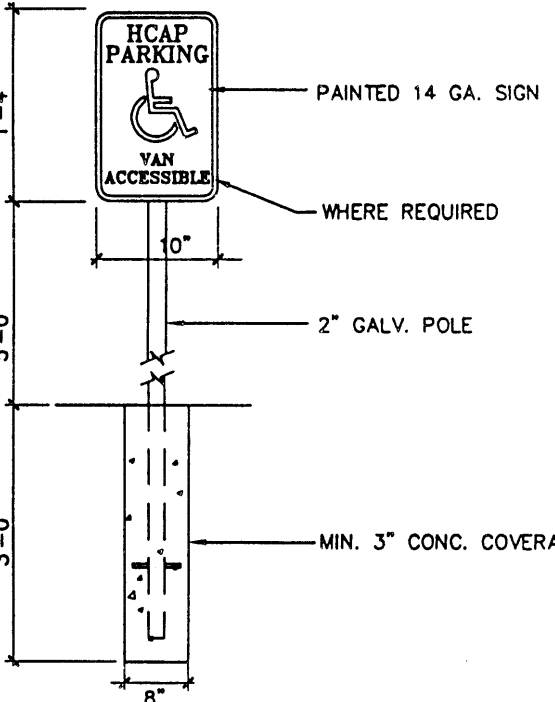
EXISTING BUILDING

OFFICE = 240.0 SQ. FT./200 = 2 SPACES
SHEETMETAL MFG = 1,810.0 SQ. FT./1,000 = 2 SPACES
TOTAL = 2,052.0 SQ. FT. 4 SPACES

8 SPACES + 4 SPACES = 12 SPACES REQUIRED
13 SPACES PROVIDED (+ 2 SPACES IN NEW GARAGE)
ZONE: PU-2/C3 15 TOTAL SPACES

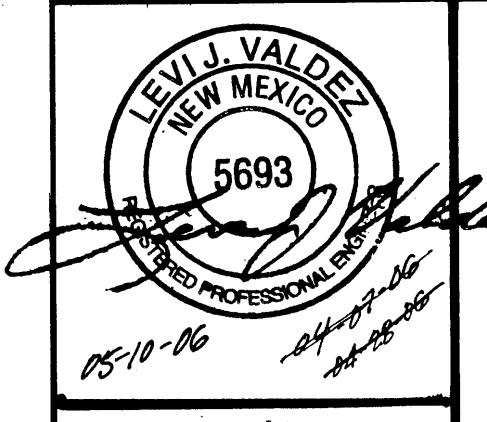


Refuse Enclosure Details



TYP. HC. SIGN DETAIL
SCALE: 1" = 1'-0"

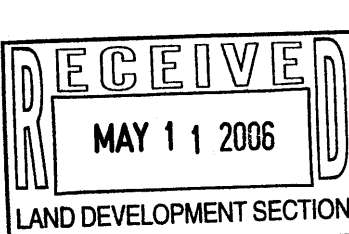
- (A) PROPOSED LANDSCAPE AREA (P)
- (B) TYPICAL CONCRETE PARKING BUMPER



TRAFFIC CIRCULATION LAYOUT

(REVISED)

A PROPOSED PLAN
FOR
AIR PRO, INC.
(827 EDITH N.E.)
ALBUQUERQUE, NEW MEXICO

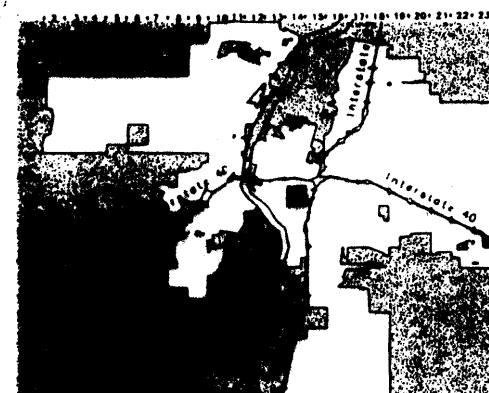




J-142



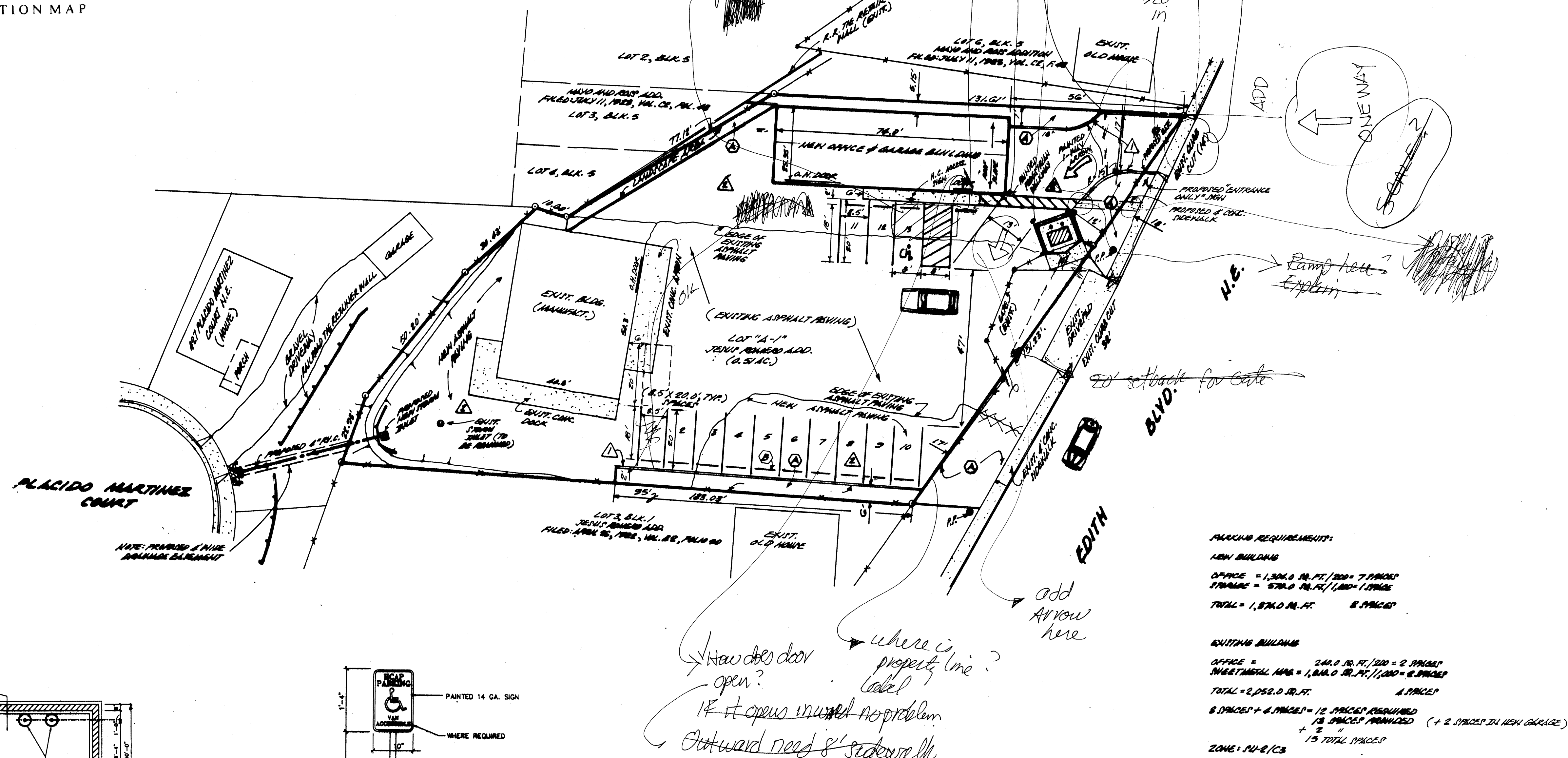
LOCATION MAP



TYPICAL PAVEMENT SECTION
SCALE: 1" = 1'-0"



SCALE : 1" = 1' - 0"



PARKING REQUIREMENTS:

NEW BUILDING

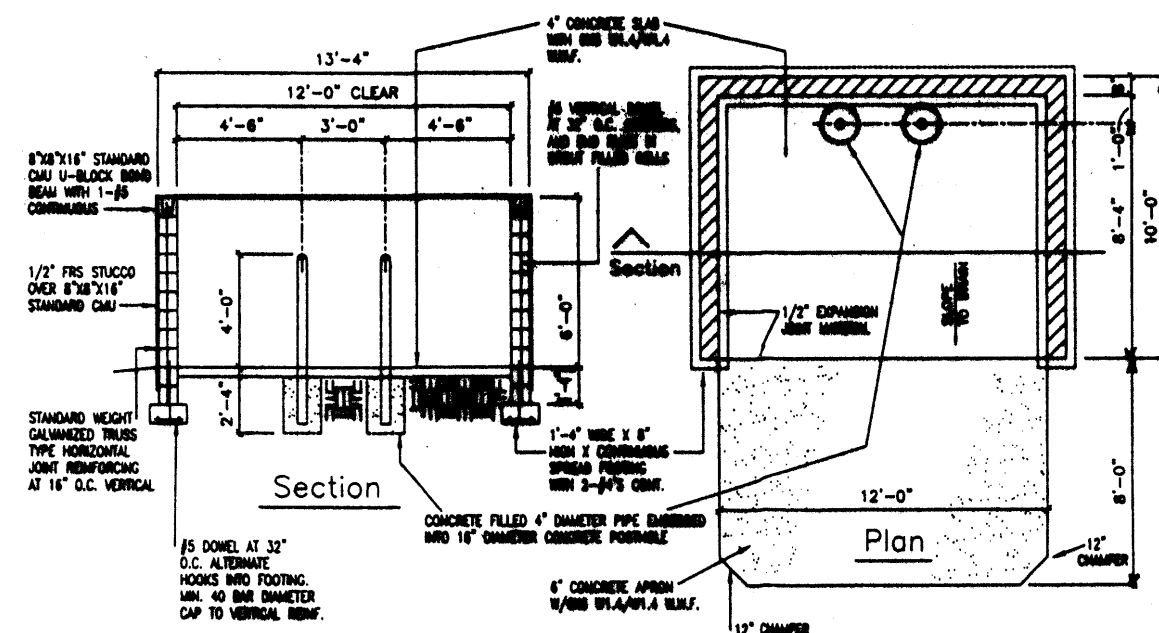
$OFACE = 1,306.0 \text{ SQ. FT.} / 200 = 7 \text{ SPALCS}$
 $STORAGE = 570.0 \text{ SQ. FT.} / 1,000 = 1 \text{ SPALCS}$
 $TOTAL = 1,876.0 \text{ SQ. FT.} \quad 8 \text{ SPALCS}$

EXISTING BUILDING

OFFICE = $240.0 \text{ SQ. FT.} / 200 = 2 \text{ PRICES}$
SWEETWATER MGR = $1,040.0 \text{ SQ. FT.} / 1,000 = 2 \text{ PRICES}$
TOTAL = 2,052.0 SQ. FT. 4 PRICES

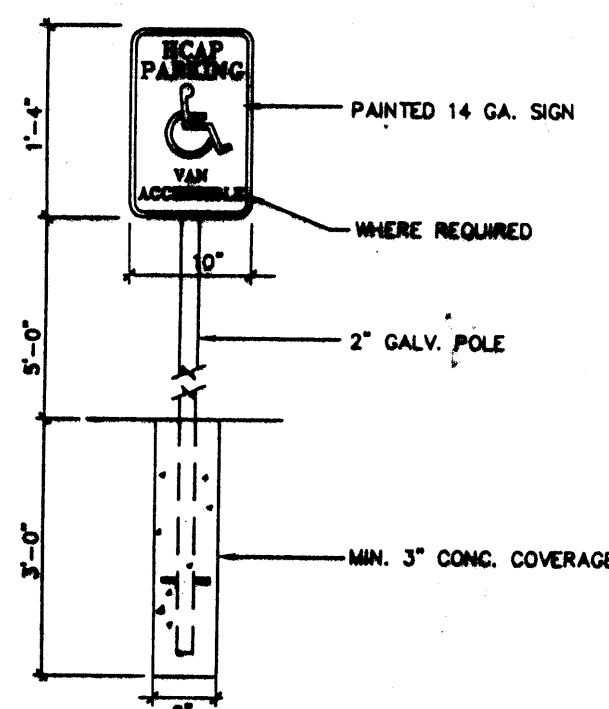
8 SPACES + 4 SPACES = 12 SPACES REQUIRED
13 SPACES PROVIDED (+ 2 SPACES IN NEXT GARAGE)
+ 2 "
15 TOTAL SPACES

ZONE: SU-2/C3



Refuse Enclosure Details

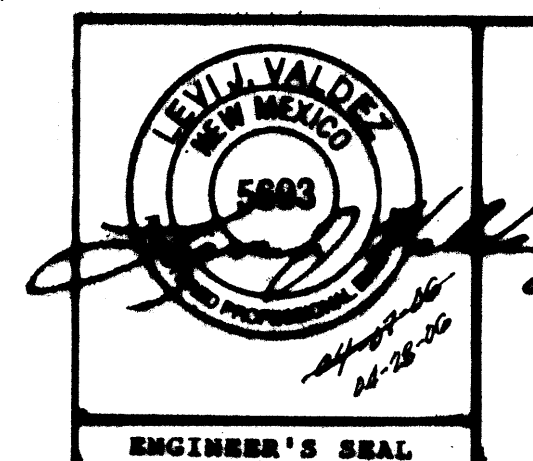
NTS



TYP. HC. SIGN DETAIL
SCALE: 1" = 1'-0"

A → **GRAVED LANDSCAPE AREA (P)**

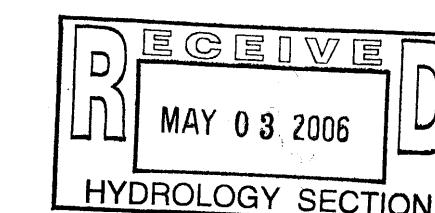
B → **TYPICAL CONCRETE PARKING BAY**



TRAFFIC CIRCULATION LAYOUT

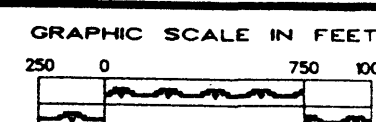
(REVISED)

**A PROPOSED PLAN
FOR
AIR PRO, INC.
(827 EDITH N.E.)
ALBUQUERQUE, NEW MEXICO**

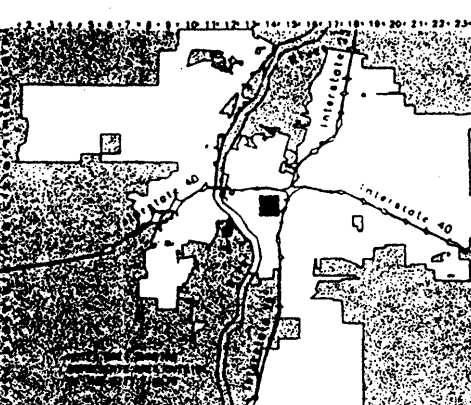


Zone Atlas Page

J-14-Z

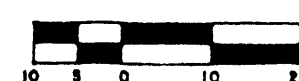


LOCATION MAP



NORTH

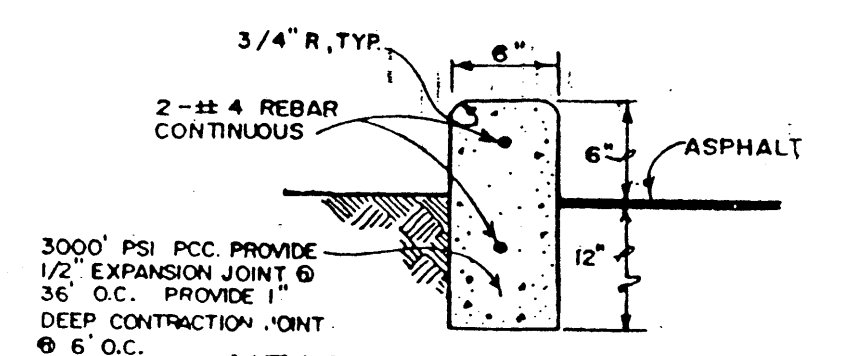
SCALE: 1" = 20'



2" ASPHALTIC CONCRETE SURFACE COURSE, 1500 # STABILITY

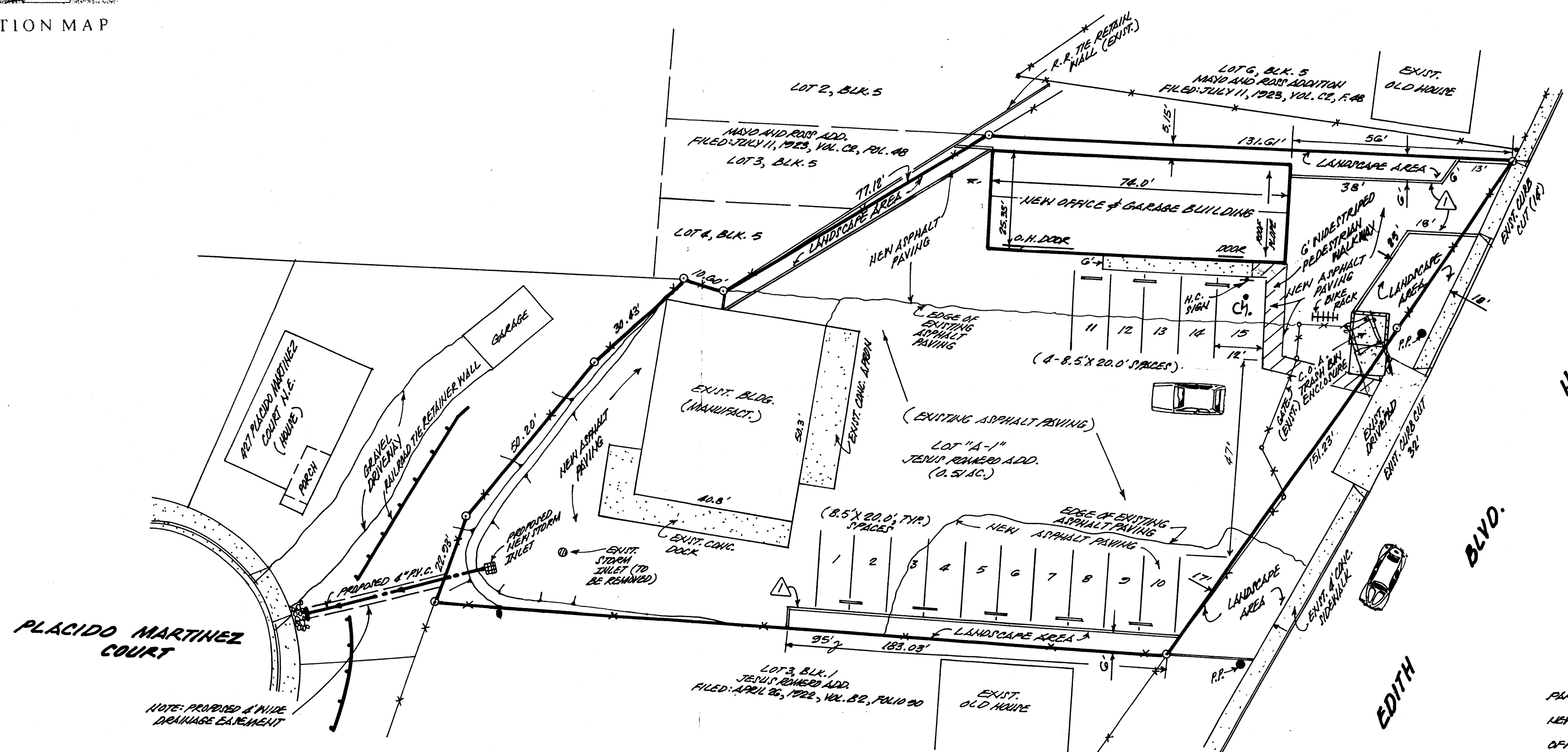
8" SUBGRADE COMPACTED @ 95% A.S.T.M. D-1557

TYPICAL PAVEMENT SECTION
SCALE : 1" = 1'-0"



HEADER CURB DETAIL

SCALE: 1" = 1'-0"



PARKING REQUIREMENTS:

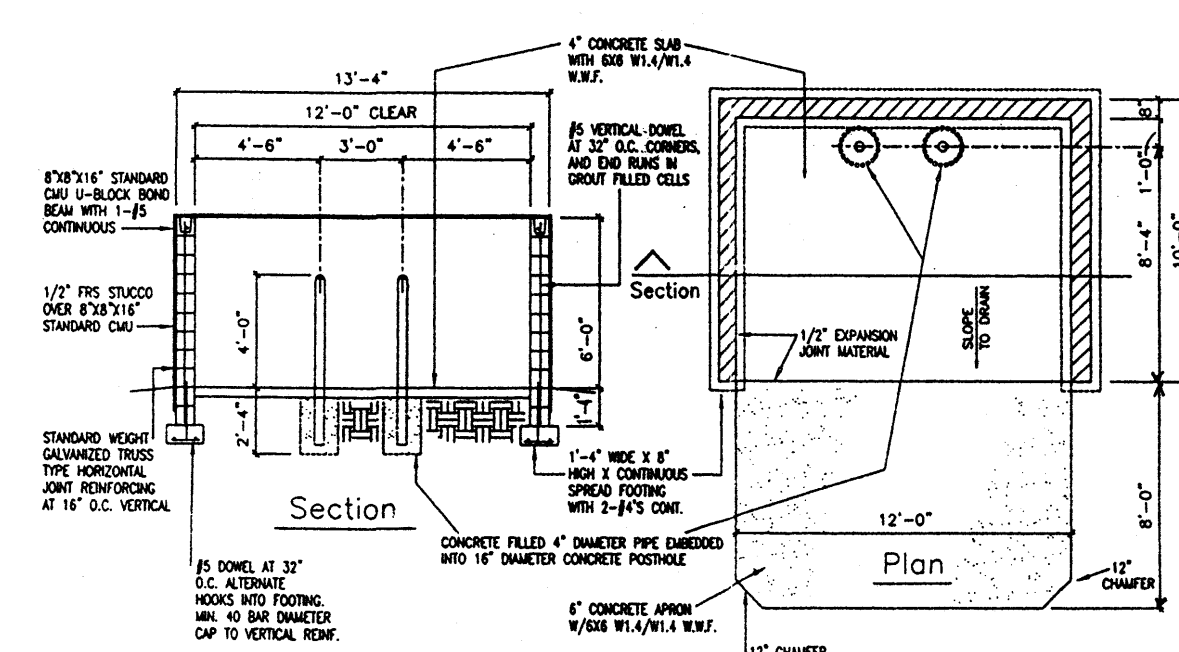
NEW BUILDING

OFFICE = 1,304.0 SQ. FT./200 = 7 SPACES
STORAGE = 570.0 SQ. FT./1,000 = 1 SPACE
TOTAL = 1,874.0 SQ. FT. 8 SPACES

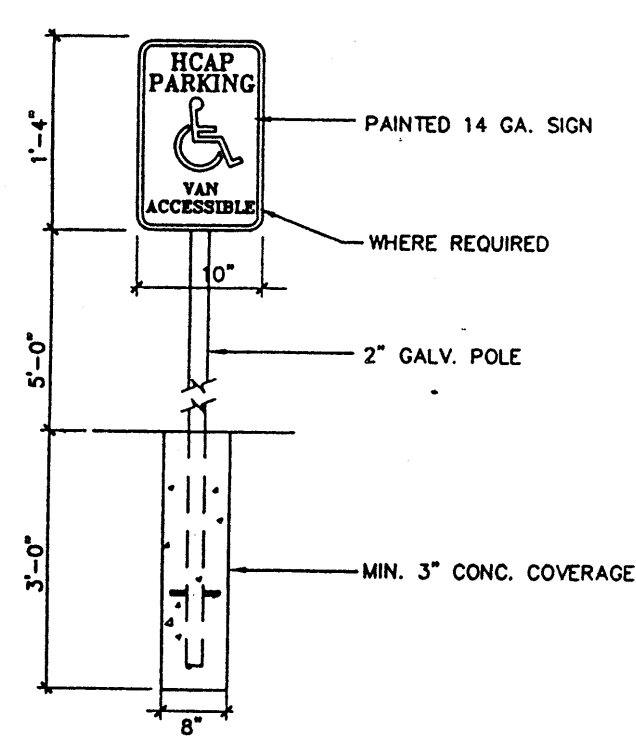
EXISTING BUILDING

OFFICE = $240.0 \text{ SQ. FT.} / 200 = 2 \text{ SPACES}$
SHEETMETAL MFG. = $1,810.0 \text{ SQ. FT.} / 1,000 = 2 \text{ SPACES}$
TOTAL = 2,052.0 SQ. FT. 4 SPACES
8 SPACES + 4 SPACES = 12 SPACES REQUIRED
15 SPACES PROVIDED

ZONE: SU-2/C3



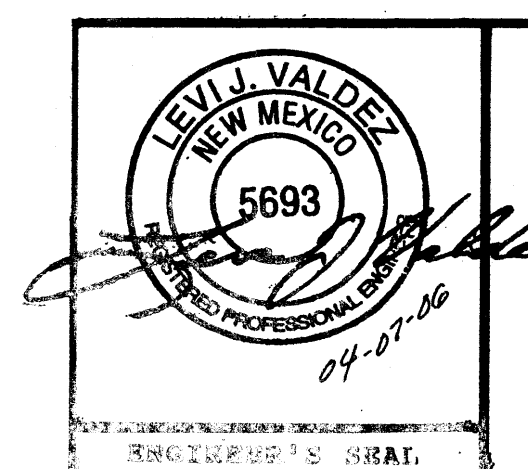
Refuse Enclosure Details



8
TYP. HC. SIGN DETAIL
SCALE: 1" = 1'-0"

TRAFFIC CIRCULATION LAYOUT

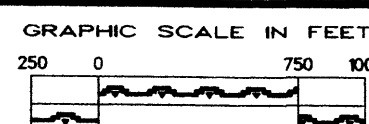
**A PROPOSED PLAN
FOR
AIR PRO, INC.
(827 EDITH N.E.)
ALBUQUERQUE, NEW MEXICO**



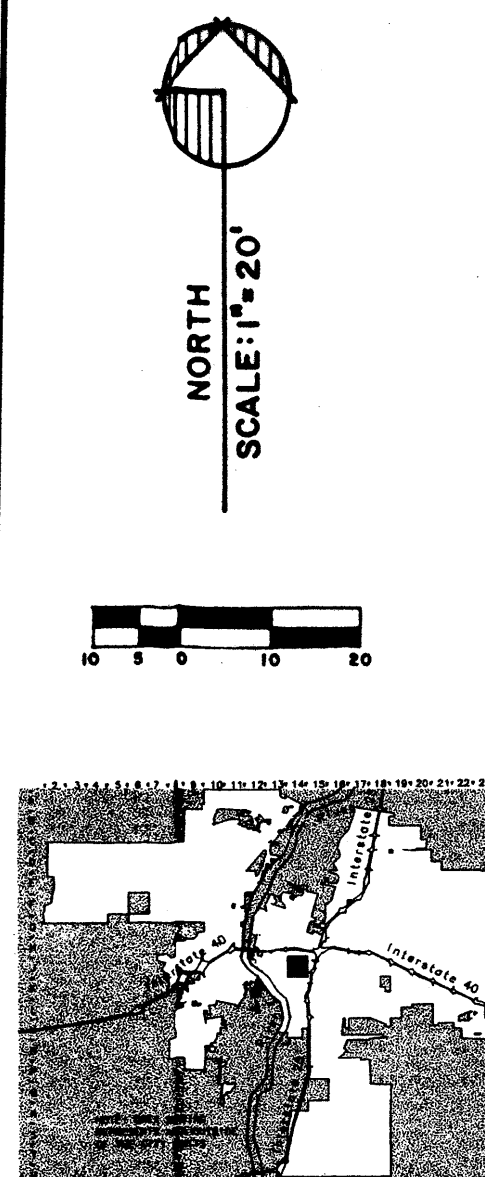


Zone Atlas Page

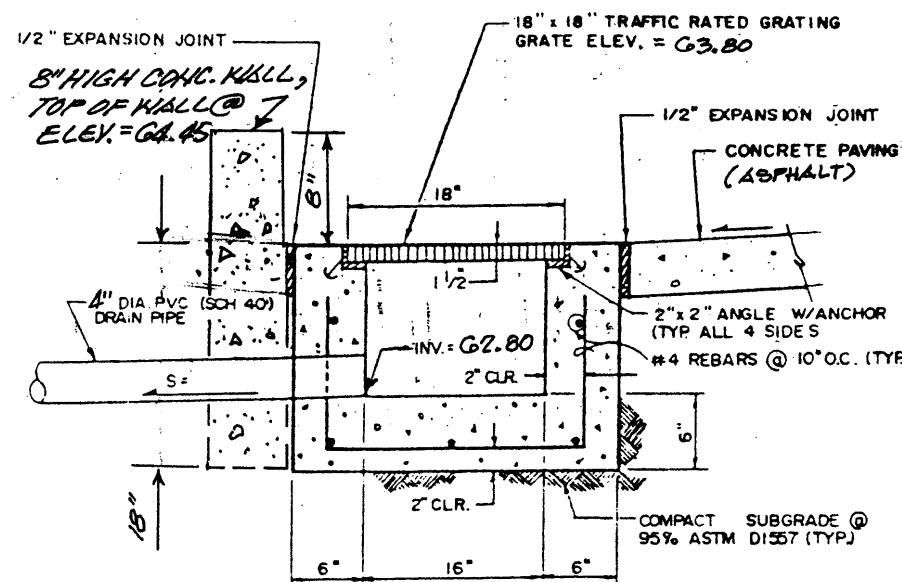
J-14-Z



LOCATION MAP



UTILITY PRECAUTIONS
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



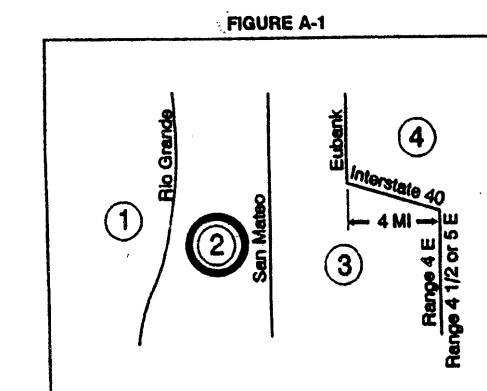
STORM INLET SECTION
N.T.S.

Zone	Treatment			
	A	B	C	D
1	1.29 [0.00, 0.24]	2.03 [0.03, 0.76]	2.87 [0.47, 1.49]	4.37 [1.89, 2.89]
2	1.56 [0.00, 0.38]	2.28 [0.08, 0.95]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]
3	1.81 [0.00, 0.59]	2.60 [0.21, 1.19]	3.45 [0.79, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.05, 0.87]	2.92 [0.38, 1.45]	3.73 [1.00, 2.26]	5.25 [2.17, 3.57]

Zone	Intensity	
	2-YR, 10-YR	100-YR
1	4.70 [1.84, 3.14]	5.05 [2.04, 3.41]
2	5.38 [2.21, 3.65]	5.61 [2.34, 3.83]
3		
4		

PRECIPITATION ZONES
Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

DPM SECTION 22.2 - HYDROLOGY
January, 1993 Page A-4

TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unleaded arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (seal) landscaping. Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the area percentages in TABLE A-5 may be employed.

DRAINAGE COMMENTS:

As shown on the Vicinity Map hereon, the subject site is located on the west side of Edith Blvd. N.E., between Mountain Road N.E. and Lomas Blvd. N.E., in the City of Albuquerque, New Mexico. (Zone Atlas Map J-14-Z).

The subject site, 1, is not located within a designated floodplain (Re: F.E.M.A. Panel 334 of 825). 2.) Is a partial developed commercial site, 3.) Does not contribute to the offsite flows of adjacent properties, 4.) Does not accept offsite flows from adjacent properties, 5.) Will not have an adverse impact to downstream properties with the free discharge of the proposed developed flows, 6.) The existing sump-pump/plank design for storm run-off is to be eliminated; existing and proposed flows are to be drained through a 4" P.V.C. drainpipe (easement) within Lot 7, El Porvenir Subdivision.

CALCULATIONS:

Per Section 22.2, Hydrology of the Development Process Manual, Vol.2., Design Criteria for the City of Albuquerque, New Mexico.

Site Area: 0.51 Acre
Precipitation Zone: Two(2)
Peak Intensity: IN./HR. at Tc = Twelve (12) Min., 100-Yr.-6Hr. = 5.05, Land Treatment Factors, Table A-4

EXISTING CONDITION:

TREATMENT	AREA/ACRES	FACTORS	CFS
C	0.22	X	3.14 = 0.69
D	0.29	X	4.70 = 1.36

"Qp" = 2.05 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTORS	CFS
C	0.09	X	3.14 = 0.28
D	0.42	X	4.70 = 1.97

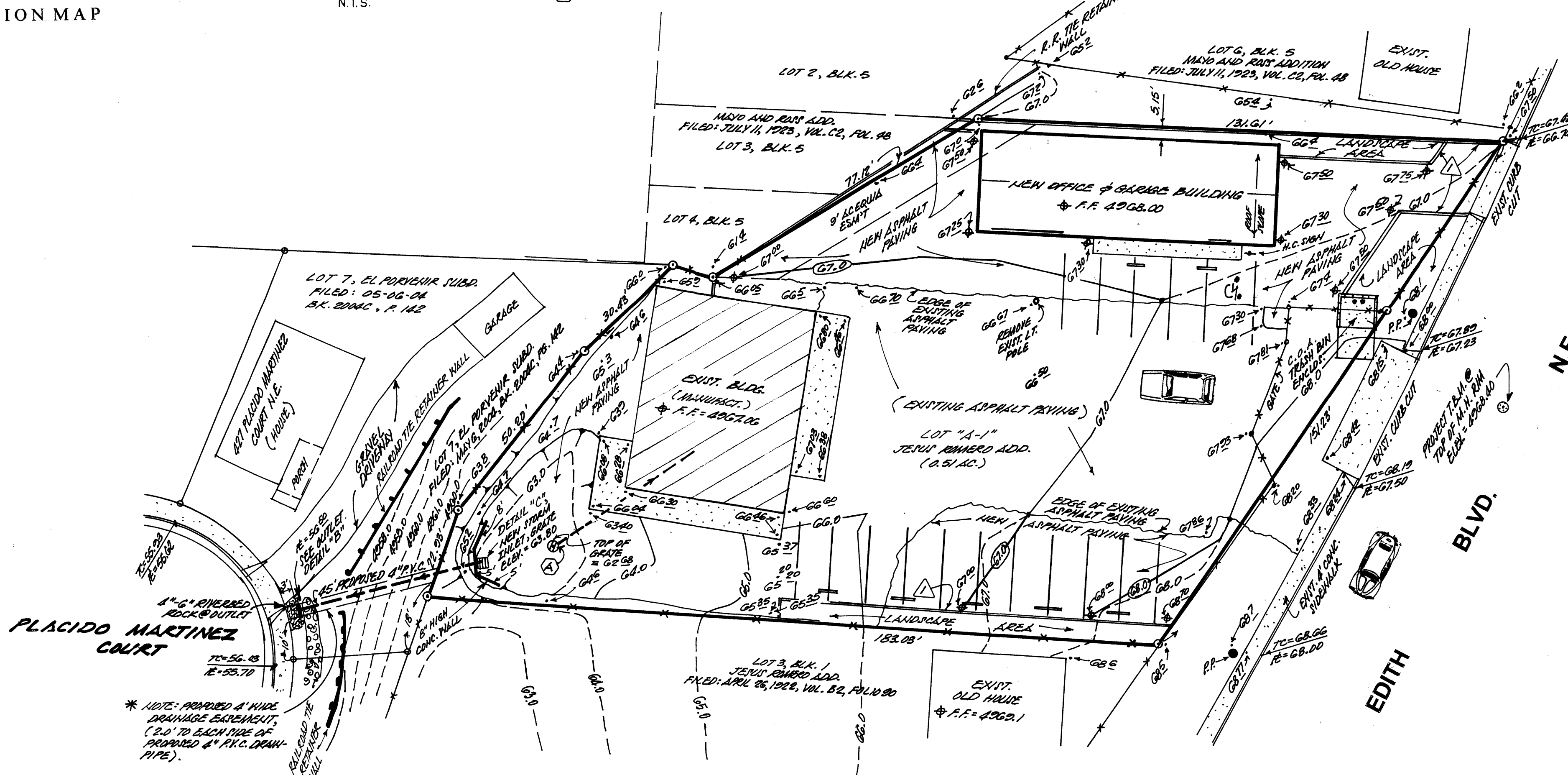
"Qp" = 2.25 CFS ***INCREASE=0.20 CFS

BENCH MARK REFERENCE:

ACS Station "6-J15", M.S.L.D. elevation = 4965.91; Project T.B.M. as shown on plan hereon.

LEGAL DESCRIPTION:

Lot "A-1", Jesus Romero Addition, Albuquerque, New Mexico



EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

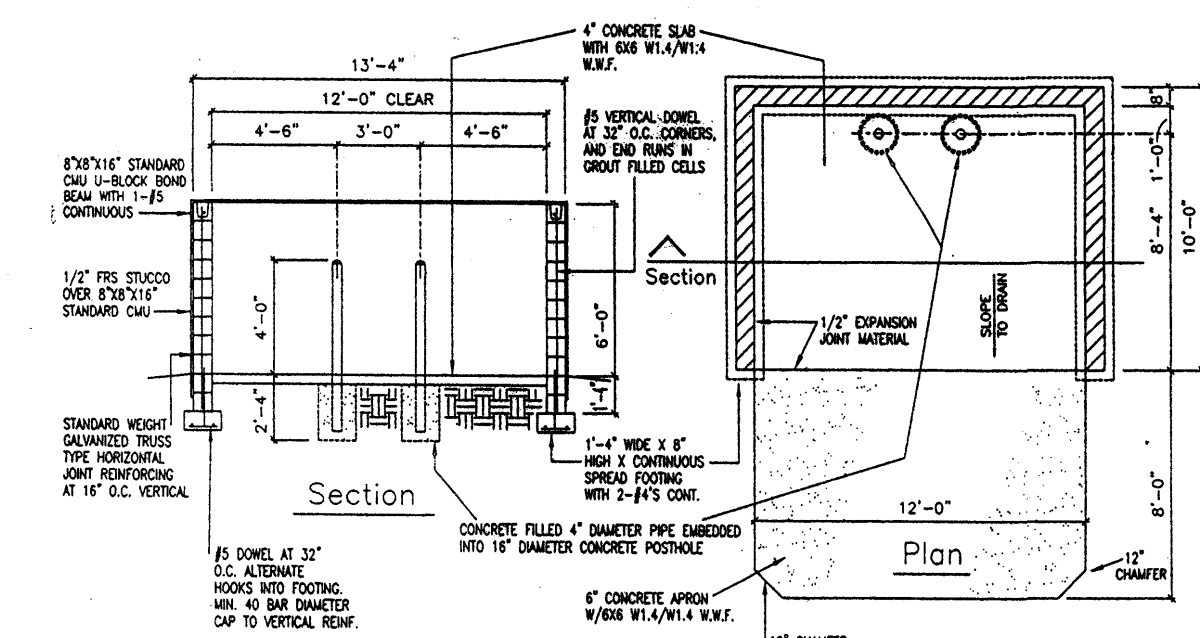
LEGEND:

TOP OF CURB ELEVATION = T.C. = 68.66
CURB FLOWLINE ELEVATION = R = 68.00
EXISTING SPOT ELEVATION = + G7
EXISTING CONTOUR ELEVATION = --- G7.0 ---
PROPOSED SPOT ELEVATION = + G7.50
PROPOSED CONTOUR ELEVATION = --- G7.0 ---
PROPOSED OR EXISTING CONCRETE SURFACE = [Pattern]
EXISTING FENCE LINE = [Pattern]

GENERAL NOTES:

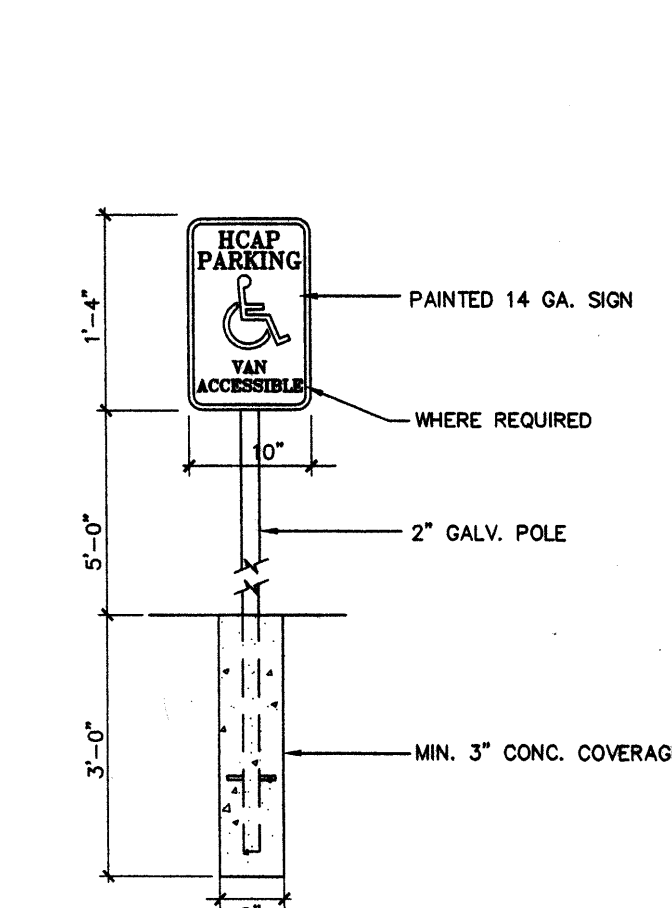
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

ⓐ → DELETE & COVER EXISTING STORM INLET.

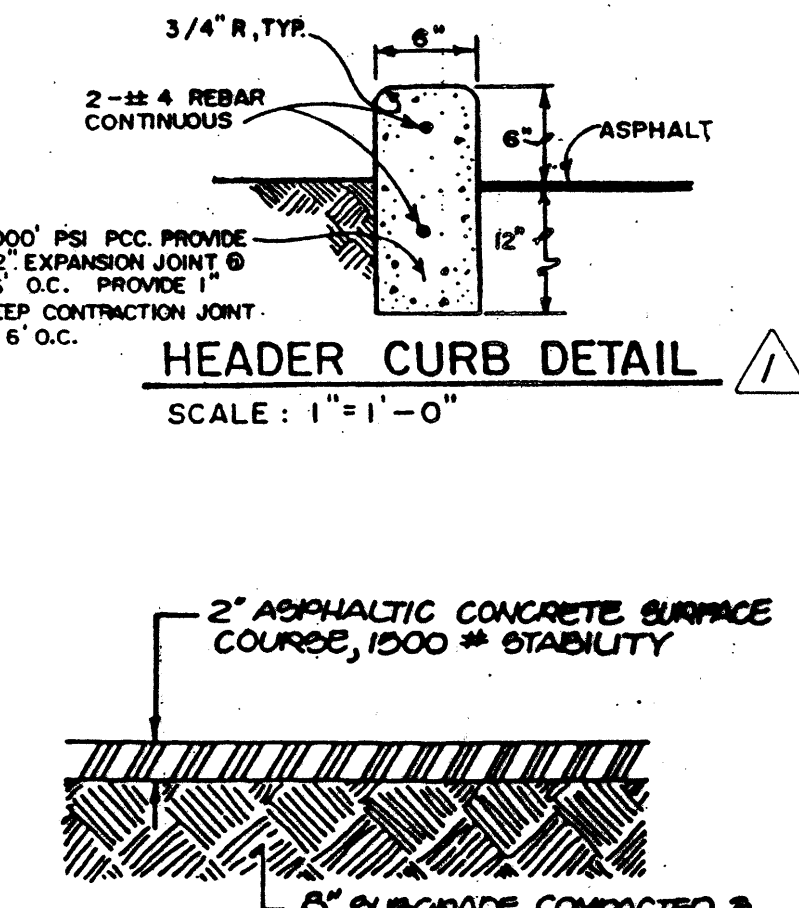


Refuse Enclosure Details

NTS

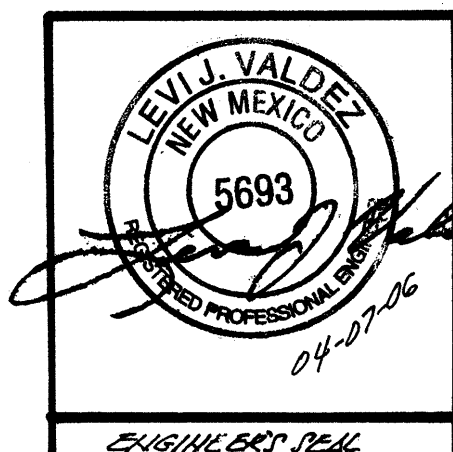


5 TYP. HC. SIGN DETAIL
SCALE: 1" = 1'-0"



TYPICAL PAVEMENT SECTION
SCALE: 1" = 1'-0"

NOTE: NEW OFFICE BUILDING TO HAVE RAMP GRATES WITH DOWNDRAIN WITH FLUMS DIRECTED SOUTHWEST TO ADJACENT PAVED PARKING AREA.



GRADING AND DRAINAGE PLAN

**A PROPOSED PLAN
FOR
AIR PRO, INC.
(827 EDITH N.E.)
ALBUQUERQUE, NEW MEXICO**