

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

March 21, 1986

Mark Goodwin
D. Mark Goodwin & Associates
Post Office Box 21307
Albuquerque, New Mexico 87154

RE: DRAINAGE PLAN FOR ADDITION TO ROBERT B. GIBSON
(J-14/D60) RECEIVED MARCH 19, 1986

Dear Mark:

The referenced plan, dated March 19, 1986, is approved for Building Permit sign-off.

Please be advised that the final Certificate of Occupancy will not be issued until:

1. Approved filed copy of replat is submitted for our records and;
2. Approved copy of alley grades must also be submitted.

If you have any questions regarding this project, call me at 766-7644.

Cordially,

Carlos A. Montoya, P.E.
City/County Floodplain Administrator

BJM:CAM/bsj

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER



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DRAINAGE INFORMATION SHEET

PROJECT TITLE: ROBERT GIBSON ADDITION ZONE ATLAS/DRNG. FILE #: J-14 / 060
LEGAL DESCRIPTION: LOTS 2-7, BLOCK 4, ANDERSON ADDITION
CITY ADDRESS: 1600 4th STREET N. W.
ENGINEERING FIRM: MARK GOODWIN & ASSOC. CONTACT: MARK GOODWIN, P.E.
ADDRESS: P. O. BOX 21307 ALB. 87154 PHONE: 294-9961
OWNER: ROBERT GIBSON AUTO SALES CONTACT: N/A
ADDRESS: 1600 4th N.W. 87103 PHONE: _____
ARCHITECT: MIGUEL TRUJILLO & ASSOC. CONTACT: MIGUEL TRUJILLO, A.I.A.
ADDRESS: 8214 LA MIRADA N.E. PHONE: 298-7535
SURVEYOR: SOUTHWEST SURVEYING CONTACT: DAN GRANEY
ADDRESS: 333 LOMAS N.E. 87102 PHONE: 247-4444
CONTRACTOR: SOUTHWEST CONSTRUCTION CONTACT: N/A
ADDRESS: 2001 WILLIAMS PHONE: _____

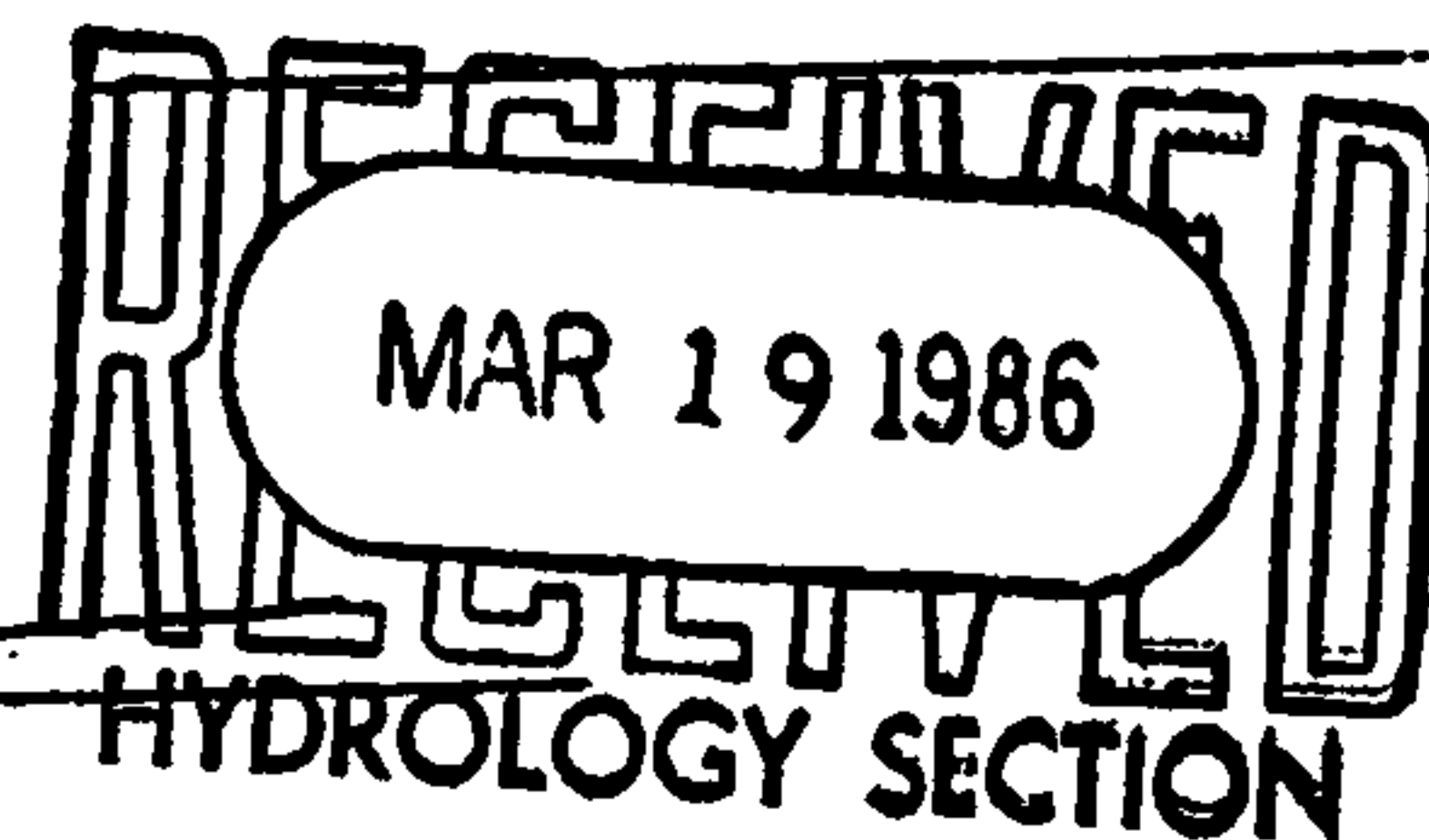
PRE-DESIGN MEETING:

☒ YES
☐ NO
☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____



TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 3/19/86BY: Mark Goodwin

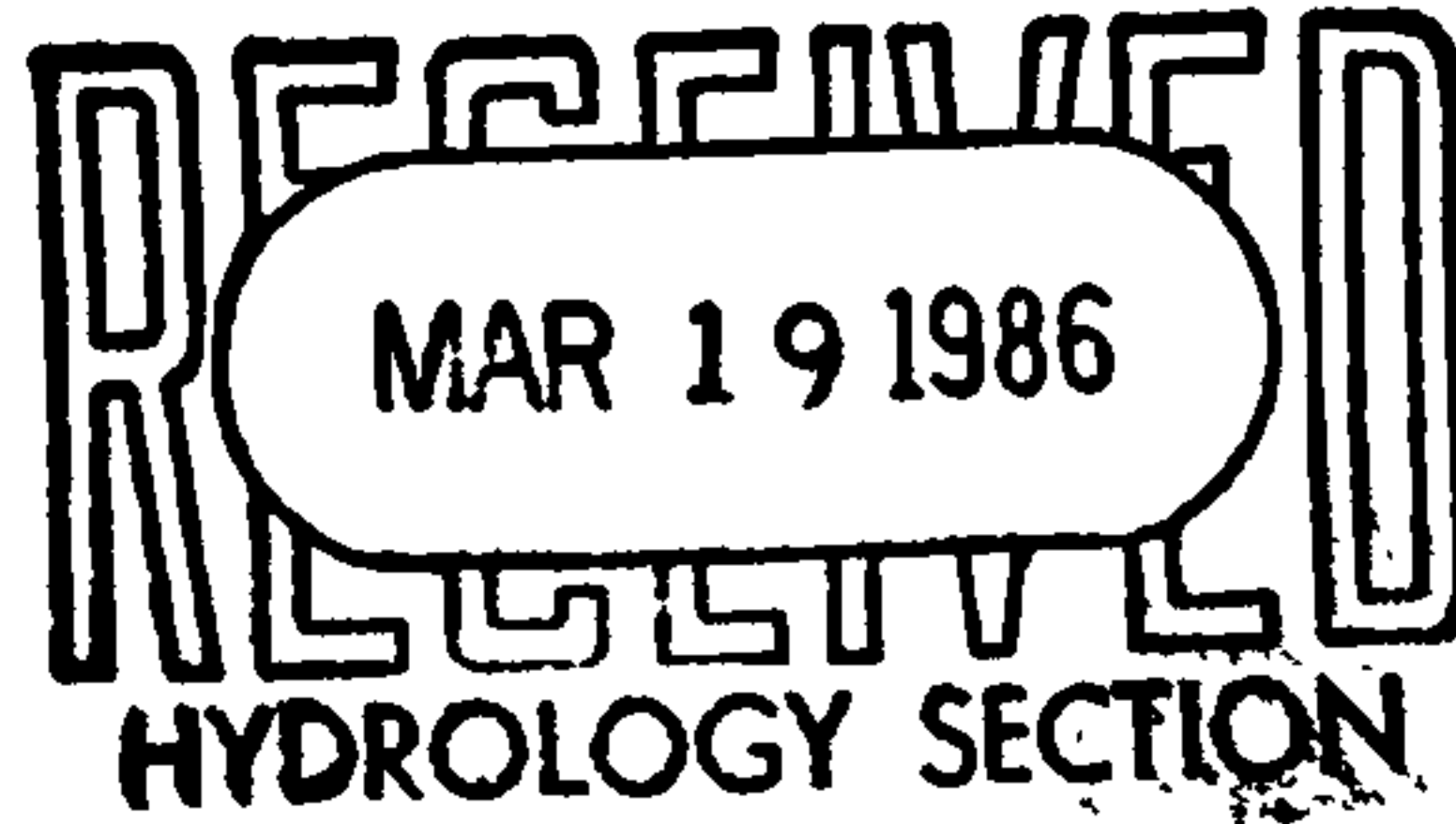
MARK GOODWIN, P.E.



D. MARK GOODWIN & ASSOCIATES
CONSULTING ENGINEERS
P.O. BOX 21307
ALBUQUERQUE, NEW MEXICO 87154

March 19, 1986

Design Hydrology Section
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103



RE: ROBERT GIBSON ADDITION -- J-14

Gentlemen:

Mark Goodwin and Associates is pleased to submit the Grading and Drainage Plan for the referenced project for your review.

As you will note from the drawing, the site is currently a paved parking lot with an alley. The alley is currently not paved, therefore, we have requested alley grades from MDD. We were told that this process could take six weeks. In any case, we are not proposing to do any improvements near or in the alley. Stormwater runoff does not enter this site from the alley nor from anywhere off-site.

We wish to state that we are not increasing the peak rate of runoff from this site with this proposed addition. In fact, the peak should be slightly less in that it is proposed to replace 350 square feet of the existing parking lot with landscaped areas.

If we may be of further service to you in this matter, please call.

Sincerely,

D. Mark Goodwin and Associates, P.A.

Mark Goodwin, P.E.

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: J-14 DATE: 3/12/86 @ 11:00
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: Robert B. Gibson Addition
STREET ADDRESS (IF KNOWN): _____
SUBDIVISION NAME: Lots 2-7; Block 4; Anderson

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	_____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN	<u>X</u> BUILDING PERMIT
_____ OTHER	_____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>D. Mark Goodwin</u>	<u>self.</u>
	<u>Carlos Montoya</u>	<u>Design Hydrology</u>

FINDINGS:

- ① ~~Site~~ Site is an existing developed area - asphalt area is to be removed and a building replacement constructed. No other grading or paving is to take place. Discharge shall remain as existing as less.
- ② Replat will be required to remove the lotlines and create one tract or lot.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Billy G. Goltsky</u>	SIGNED: <u>Mark Goodwin</u>
TITLE: <u>CE/Design Hydrology</u>	TITLE: _____
DATE: <u>3/12/86</u>	DATE: <u>3/12/86</u>

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL