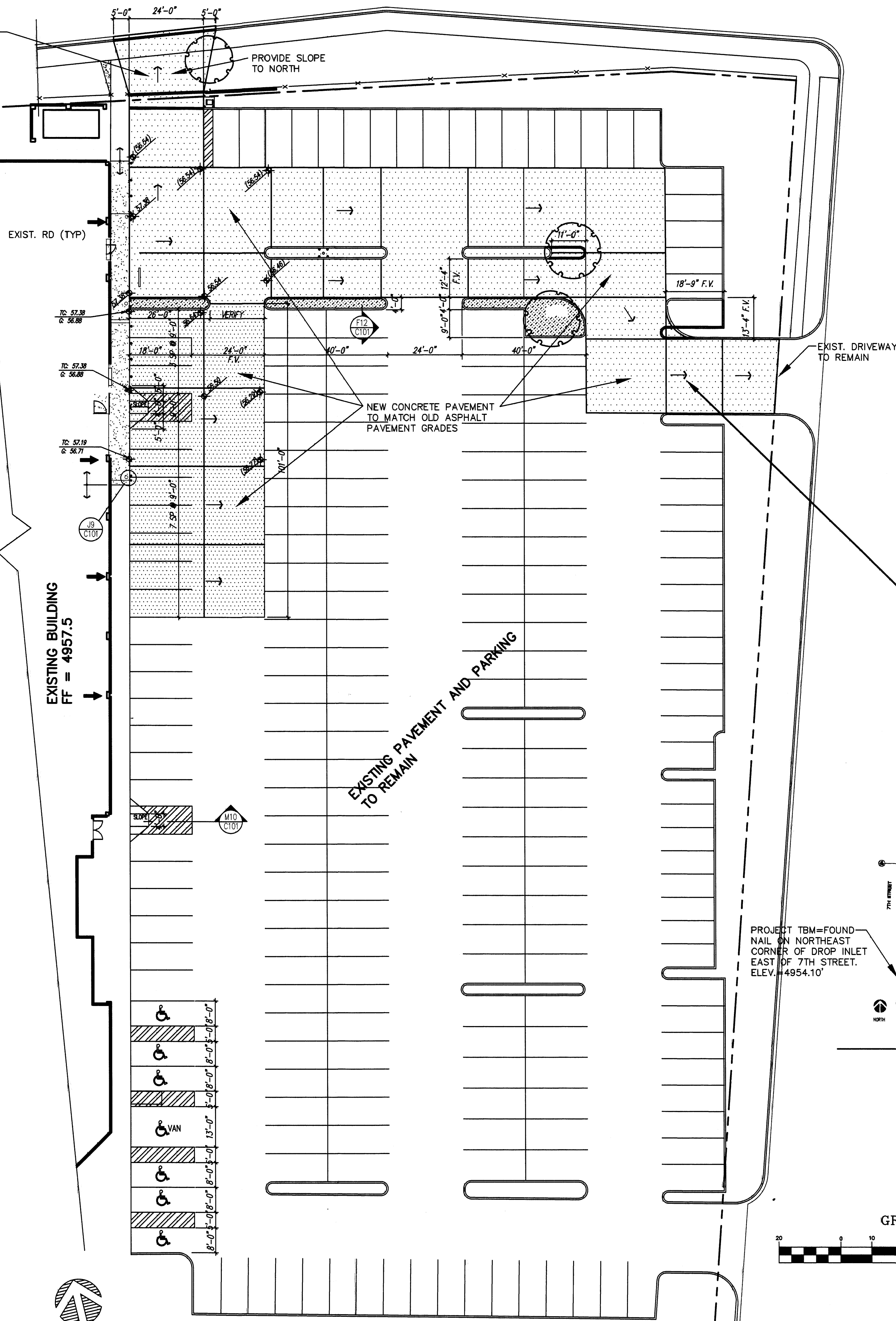


NEW DRIVEPAD
PER COA STD.
DWG. #2425



DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One small building addition (28' x 32') is proposed for the subject property with repavement at the northeast corner of the site from asphalt to concrete for structural stability and associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 5.23 acre site is fully developed. The site is bounded on the north by Marble Avenue, on the east by Sixth Street, on the south by Lomas Boulevard and on the west by Seventh Street. Site topography slopes from the existing building in all directions away from the building. Per FEMA Map Panel No. 334, dated 1996, and FEMA Map Panel No. 28, dated 1983, the site is not located in a 100-year floodplain. No offsite flows enter the site.

PROPOSED CONDITIONS:

As shown by the plan, the building addition is located along the west side of the existing building. The building addition replaces an existing concrete pad. On site flows will continue to drain around the building in the same manner they are presently flowing. All roof drainage will continue to discharge from the roof to the lot and be directed around the structure to existing drainage paths.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

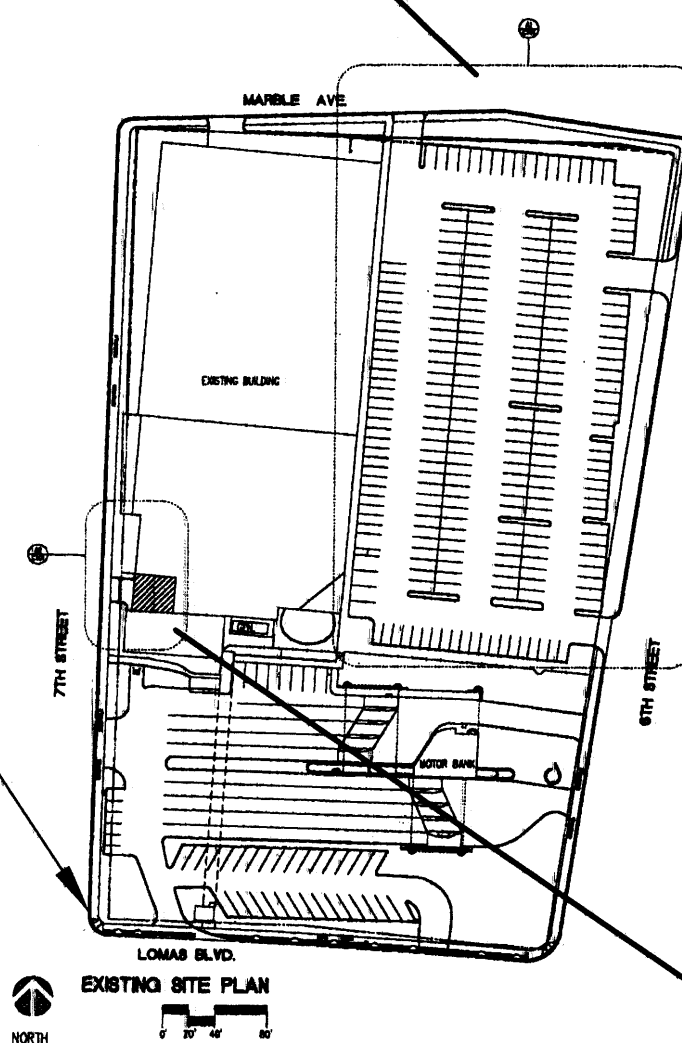
The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

PROPERTY ADDRESS:

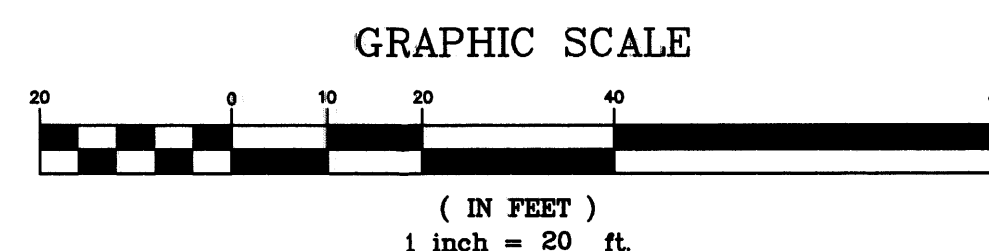
725 Sixth Street NW

BENCH MARK:

ACS Bench Mark 17-J14, 1983.
Elevation = 4954.83 feet.
An aluminum cap set in top of concrete located at the intersection of Eighth Street and Lomas Boulevard in west median.



KEY MAP



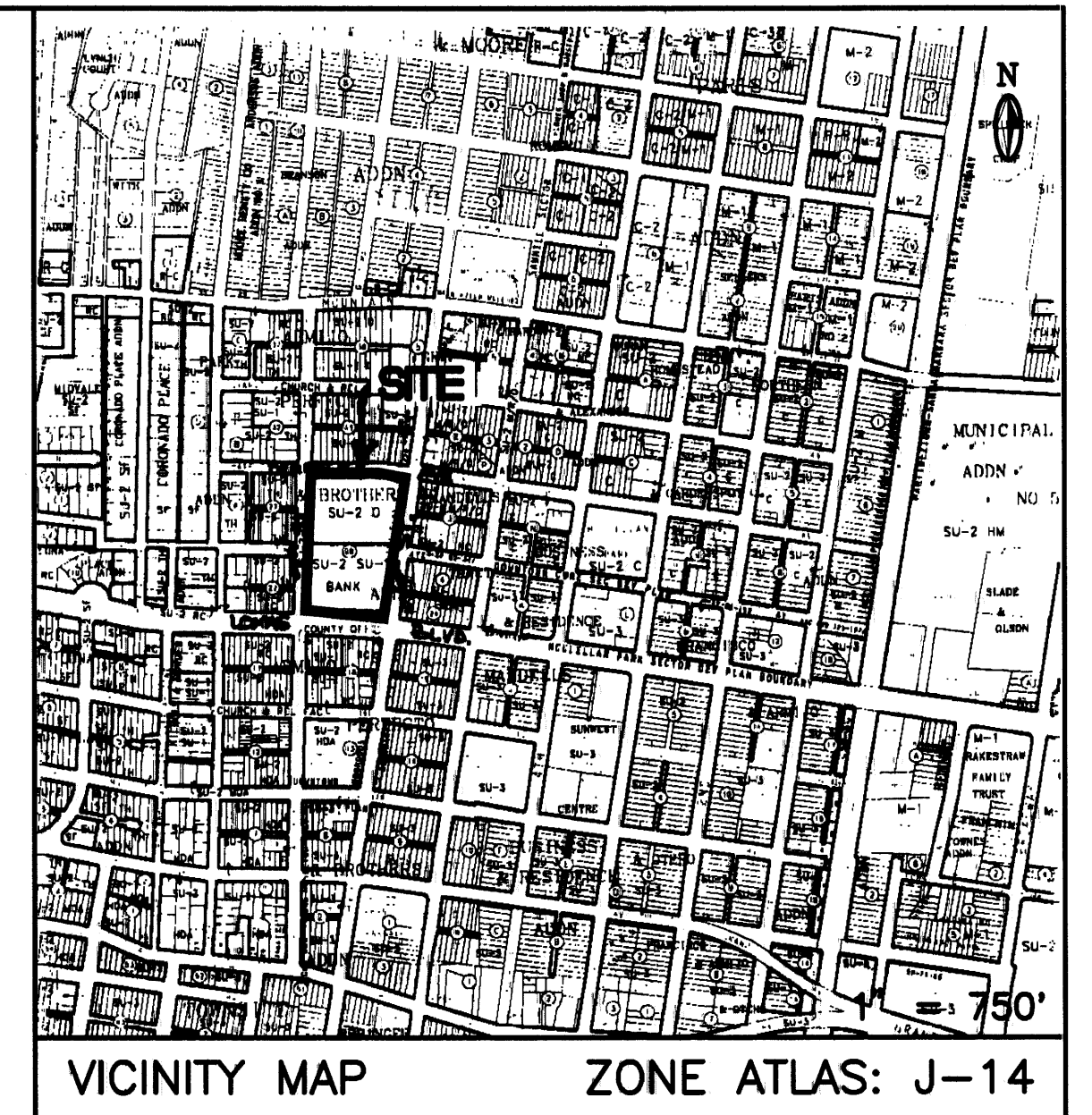
REMOVE EXIST.
DRIVEWAY AND REPLACE
WITH COA STD. C & G
AND SIDEWALK TO
MATCH EXIST. NORTH
AND SOUTH

EXIST. BLDG
FF = 4957.5

ROOF DRAIN
TO BE CONNECTED
TO EXISTING ROOF
DRAINAGE SYSTEM

NEW BLDG.
ADD'D
FF=4956.4

EXIST. BLDG
FF = 4956.4



VICINITY MAP

ZONE ATLAS: J-14

GENERAL NOTES

A. FINISH GRADING OF NEW PAVEMENT SHALL MATCH
EXISTING UNLESS NOTED OTHERWISE.

LEGEND

- 6" CONC. SLAB W/ #5 @ 12" O.C. EA. WAY
OVER 12" AGGREGATE BASE COURSE
- 4" CONC. SLAB W/ #4 @ 16" O.C. EA. WAY
OVER 12" AGGREGATE BASE COURSE
- NEW CONCRETE WALK
- PLANTING BED (SOIL)
- EXISTING GRADE ELEVATION, FIELD VERIFY
- NEW FINISH GRADE
- TOP OF CURB
- FLOW LINE

7-18-97

JUL 18 1997

CITY OF ALBUQUERQUE, BERNALILLO COUNTY			NEW MEXICO					
BLOCKS 23 & 28								
PERFECTO ARMIJO AND BROTHERS ADD'N								
NATIONS BANK GRADING & DRAIANCE PLAN								
McDowell Engineering Inc.								
Designed	JSM	Drawn	STAFF	Checked	JSM	Sheet	of	
File	SMP0197T		Date	JULY 1997			1	1

A1 NORTHEAST PARKING LOT

1"=20'-0"

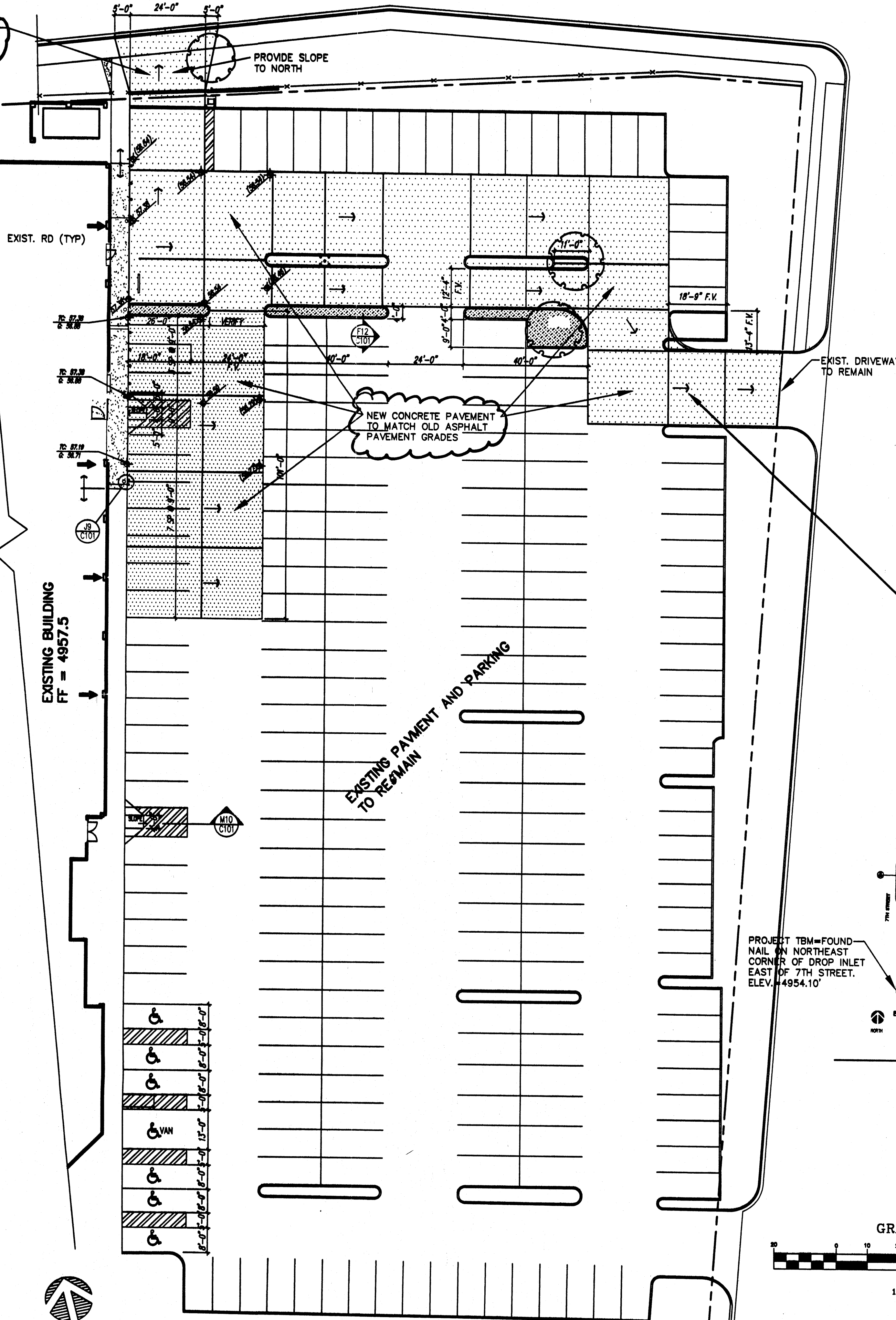
G001

A8 PARTIAL SITE: WEST

1"=20'-0"

G001

NEW DRIVEPAD
PER COA STD.
DWG. #2425



DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One small building addition (28' x 32') is proposed for the subject property with repavement at the northeast corner of the site from asphalt to concrete for structural stability and associated access, parking and landscaping.

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PROPERTY ADDRESS:

725 Sixth Street NW

BENCH MARK:

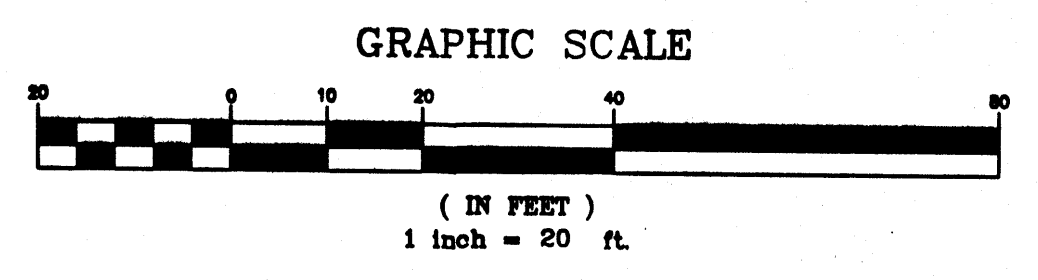
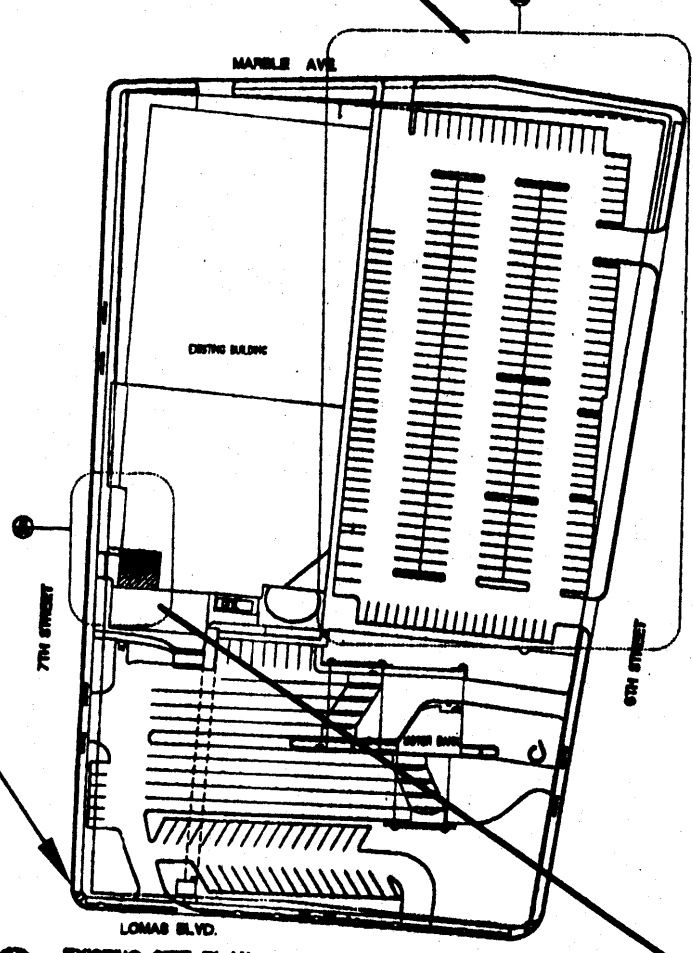
ACS Bench Mark 17-J14, 1983.
Elevation = 4954.83 feet.
An aluminum cap set in top of concrete located at the intersection of Eighth Street and Lomas Boulevard in west median.

GRADING AND DRAINAGE PLAN CERTIFICATION:

The completed Grading and Drainage Plan substantially complies with the approved Grading and Drainage Plan.

Jackie S. McDowell
Jackie S. McDowell, P.E.
NMPE #10903
Date 4-3-98

PROJECT TBM=FOUND
NAIL ON NORTHEAST
CORNER OF DROP INLET
EAST OF 7TH STREET.
ELEV. 4954.10'



REMOVE EXIST.
DRIVEWAY AND REPLACE
WITH COA STD. C & G
AND SIDEWALK TO
MATCH EXIST. NORTH
AND SOUTH

EXIST. BLDG
FF = 4957.5

ROOF DRAIN
TO BE CONNECTED
TO EXISTING ROOF
DRAINAGE SYSTEM

NEW BLDG
ADD'N
FF = 4956.4

EXIST. BLDG
FF = 4956.4



VICINITY MAP ZONE ATLAS: J-14

GENERAL NOTES

A. FINISH GRADING OF NEW PAVEMENT SHALL MATCH EXISTING UNLESS NOTED OTHERWISE.

LEGEND

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- 4" CONC. SLAB W/ #4 @ 16" O.C. EA. WAY OVER 12" AGGREGATE BASE COURSE
- NEW CONCRETE WALK
- PLANTING BED (SOIL)
- EXISTING GRADE ELEVATION, FIELD VERIFY
- NEW FINISH GRADE
- TOP OF CURB
- FLOW LINE

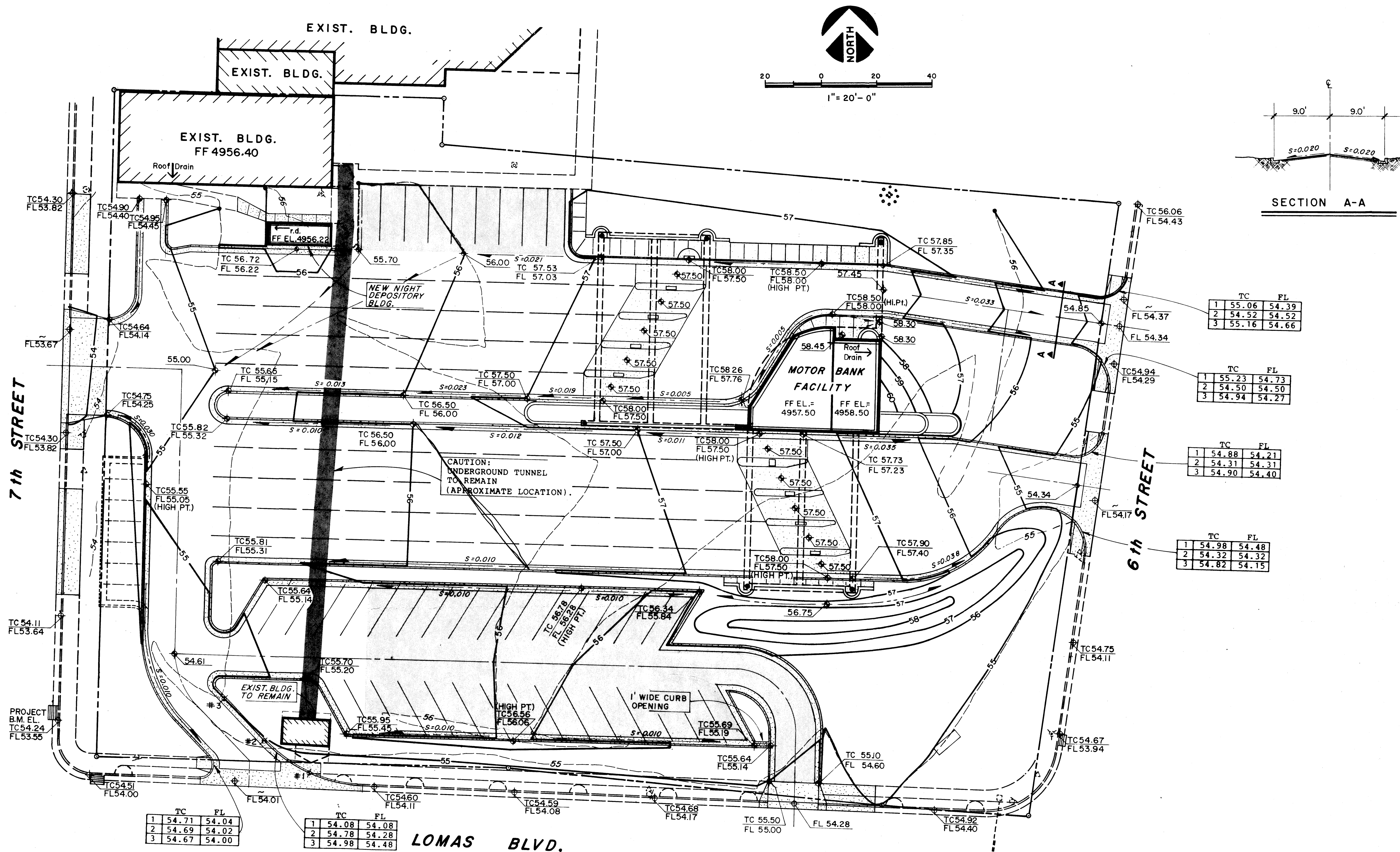
FF=4956.4 AS-BUILT INFO.

Jackie S. McDowell
7-18-97

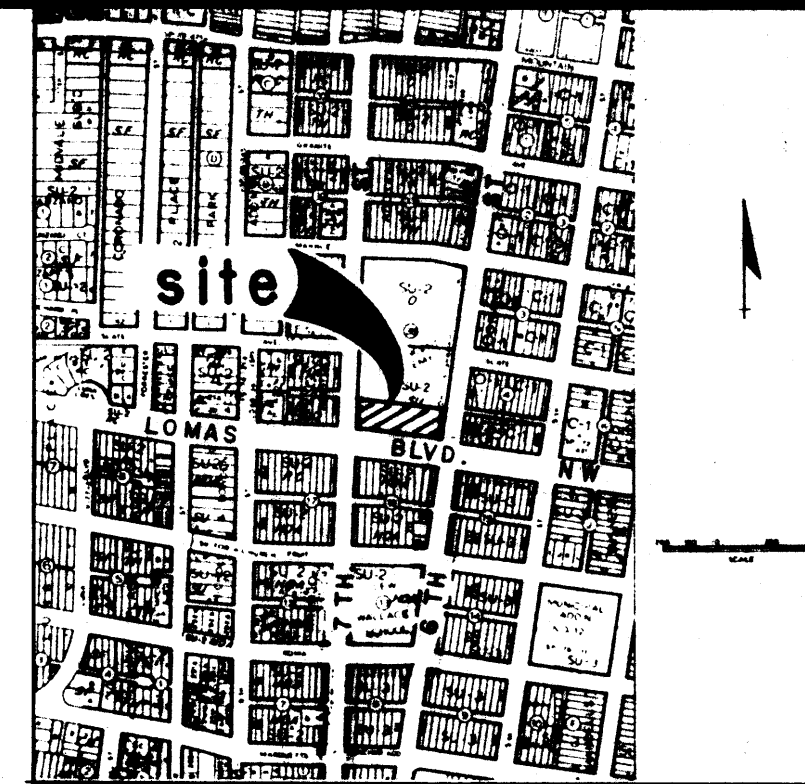
CITY OF ALBUQUERQUE, BERNALILLO COUNTY		NEW MEXICO	
BLOCKS 23 & 28 PERFECTO ARMIJO AND BROTHERS ADD'N			
NATIONS BANK GRADING & DRAINAGE PLAN			
McDowell Engineering Inc.			
Designed JSM	Drawn STAFF	Checked JSM	Sheet of
File SMP0197T	Date JULY, 1997	1	1

A1	NORTHEAST PARKING LOT
1"=20'-0"	G001

A8	PARTIAL SITE: WEST
1"=20'-0"	G001



RECEIVED
JUL 15 1986
ALBUQUERQUE
HYDROLOGY SECTION



VICINITY MAP J-14-Z
FLOOD HAZARD BDY. MAP / PANEL No. 28

LEGAL DESCRIPTION:

PORTIONS OF BLOCKS 23 & 28 OF THE PERFECTO ARMIJO AND BROTHERS ADDITION.

BENCH MARK DATA:

PROJECT B.M. LOCATED TOP OF CURB AT THE SOUTHEAST CORNER OF DROP INLET GRATE AT 7TH ST. N.W. AND LOMAS BLVD. N.W. ELEV. = 4954.24.

B.M. THE STATION IS A STANDARD ACS ALUMINUM CAP STAMPED "17-J14, 1983" SET FLUSH WITH THE TOP OF CONCRETE LOCATED AT THE INTERSECTION OF 8TH ST. N.W. AND LOMAS BLVD. N.W. IN THE WEST MEDIAN. ELEV. = 4954.83.

SURVEY DATA:

SURVEY DATA PROVIDED BY SOUTHWEST SURVEYING CO., INC., ALBUQUERQUE, NEW MEXICO, JUNE 30, 1986.

NOTICE TO CONTRACTOR:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREBY, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL DURING THE CONSTRUCTION PHASE, INCLUDING ANY PROVISIONS THAT NEED TO BE TAKEN TO DIVERT ANY SEDIMENT FROM ENTERING THE CITY RIGHT-OF-WAY.
- REFERENCES MADE TO STANDARD DRAWINGS REFER TO CITY OF ALBUQUERQUE STANDARD DRAWINGS.
- CURB AND GUTTER SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.

LOCATION AND EXISTING CONDITION:

THE SITE IS LOCATED ON THE NORTH SIDE OF LOMAS BOULEVARD BETWEEN 6TH STREET AND 7TH STREET N.W. CONTAINING APPROXIMATELY 1.8148 ACRES. THE SITE IS RELATIVELY LEVEL SLOPING TO THE EAST, WEST, AND SOUTH. THE EXISTING CONDITION OF THE SITE CONSISTS OF A DRIVE-UP FACILITY AND IS 100 PERCENT DEVELOPED.

RUNOFF FROM THE SITE IS INTERCEPTED BY A 24" RCP STORM SEWER (SYSTEM 128) VIA STORM INLETS LOCATED ON THE BOUNDING STREETS. A FUTURE 66" RCP ON LOMAS BOULEVARD FROM BROADWAY BOULEVARD TO 8TH STREET (SYSTEM 128-04B) HAS BEEN PROPOSED BY THE AMDS. THIS SYSTEM WILL LOWER THE HYDRAULIC GRADE LINE OF THE BROADWAY STORM SEWER THUS ELIMINATING FLOODING AT THE INTERSECTION OF LOMAS BOULEVARD AND BROADWAY BOULEVARD. THIS IMPROVEMENT WILL ALSO LOWER THE HYDRAULIC GRADE LINE OF THE 3RD STREET STORM SEWER THUS HELP ELIMINATE FLOODING ON 1ST, 2ND AND 3RD STREET BETWEEN LOMAS BOULEVARD AND ASPEN AVENUE IN CONJUNCTION WITH SYSTEM 128-01.

IF RUNOFF FROM THE SITE BYPASSES THE LOMAS BOULEVARD STORM SEWER SYSTEM THEN IT WILL CONTINUE TO SHEET FLOW WEST ON LOMAS BOULEVARD TO CENTRAL AVENUE UNTIL IT IS INTERCEPTED BY THE RIO GRANDE RIVER.

PROPOSED CONDITION:

PROPOSED DEVELOPMENT OF THE SITE INCLUDES A BUILDING WITH ASSOCIATED DRIVE-UP LANES, PARKING, AND LANDSCAPING RUNOFF FROM THE SITE WILL BE ALLOWED TO CONTINUE TO FREE DISCHARGE TO THE EAST, WEST, AND SOUTH BOUNDING STREETS BECAUSE IT IS IN AN AREA THAT IS FULLY DEVELOPED AND WILL NOT SIGNIFICANTLY EFFECT THE DOWNSTREAM RUNOFF.

CALCULATIONS:

Area = 1.8148 acres
I = 2.2 in./hr. Plate 22.2 D-2
6-hour, 100-year rainfall = 2.2 in. Plate 22.2 D-1
I = (2.2)(2.2) = 4.84 in./hr.

EXISTING ON-SITE CONDITIONS:

SURFACE TYPE	"C" VALUE	A (ACRES)	"C" X A	COMPOSITE "C" = C X A / A
Streets, Drives, Walks	0.95	0.95	0.90	
Roofs	0.90	0.17	0.15	
Lawns & Landscaping	0.25	0.69	0.17	
Undeveloped	0.40	-0-	-0-	
TOTAL		1.81	1.22	0.67

Q(100) = (0.67)(4.84)(1.8148) = 5.89 cfs
Q(10) = (0.657)(5.89) = 3.87 cfs
CN = 80 Plate 22.2 C-2
Direct Runoff = 0.70 in. Plate 22.2 C-4
V(100) = (0.70)(1.8148)(43560)/12 = 4611 cu. ft.
V(10) = (0.657)(4611) = 3030 cu. ft.

PROPOSED ON-SITE CONDITIONS:

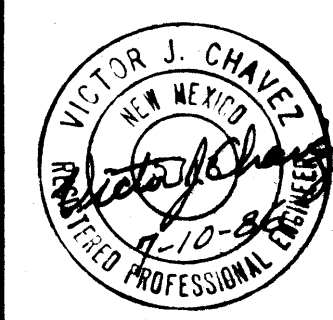
SURFACE TYPE	"C" VALUE	A (ACRES)	"C" X A	COMPOSITE "C" = C X A / A
Streets, Drives, Walks	0.95	1.03	0.98	
Roofs	0.90	0.22	0.20	
Lawns & Landscaping	0.25	0.56	0.14	
Undeveloped	0.40	-0-	-0-	
TOTAL		1.81	1.32	0.73

Q(100) = (0.73)(4.84)(1.8148) = 6.41 cfs
Q(10) = (0.657)(6.41) = 4.21 cfs
CN = 82 Plate 22.2 C-3
Direct Runoff = 0.78 in. Plate 22.2 C-4
V(100) = (0.78)(1.8148)(43560)/12 = 5044 cu. ft.
V(10) = (0.657)(5044) = 3313 cu. ft.

LEGEND:

PROPERTY LINE	---
BUILDING (EXIST.)	=====
BUILDING (NEW)	=====
CURB & GUTTER (EXIST.)	=====
CURB & GUTTER (NEW)	=====
CURB & GUTTER (FUTURE)	=====
CONCRETE (EXIST.)	=====
CONCRETE (NEW)	=====
ASPHALT (EXIST.)	=====
SPOT ELEVATION (EXIST.)	+
SPOT ELEVATION (NEW)	+
CONTOUR (EXIST.)	---60---
CONTOUR (NEW)	---60---

CUSTER • BASARICH AIA
ARCHITECTS • PLANNERS, INC.



SUNWEST BANK
NEW SIXTH & LOMAS MOTOR BANK FACILITY
ALBUQUERQUE
NEW MEXICO

PROJECT

REVISIONS

DATE

SHEET TITLE

GRADING & DRAINAGE PLAN

SHEET NO.

C-2