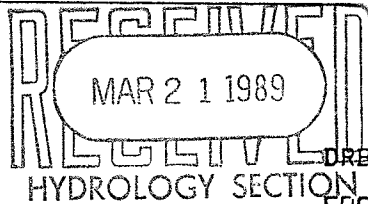


DRAINAGE INFORMATION SHEET

CITY OF ALBUQUERQUE, N.M.

PROJECT TITLE: Office Conversion ZONE ATLAS/DRNG. FILE #: J14/D78LEGAL DESCRIPTION: Portions of Lots 6 & 7, Forrester Place AdditionCITY ADDRESS: 804 Forrester Ave. N.W.ENGINEERING FIRM: Louis Gross & Assoc. Inc. CONTACT: Louis GrossADDRESS: 925 Sixth St. N.W. PHONE: 243-6353OWNER: Ron Bell CONTACT: Ron BellADDRESS: 610 7th St. N.W. PHONE: 242-7979ARCHITECT: Bill Buckley CONTACT: Bill BuckleyADDRESS: 3625 Central N.E. PHONE: 255-9196SURVEYOR: Louis Gross & Assoc. Inc. CONTACT: Louis GrossADDRESS: 925 Sixth St. N.W. PHONE: 243-6353CONTRACTOR: Bill Boland CONTACT: Bill BolandADDRESS: _____ PHONE: 836-1966

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRG NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☒ GRADING/PAVING PERMIT APPROVAL☐ OTHER _____ (SPECIFY)Revised to reflect changes by Owner.DATE SUBMITTED: 3/21/89

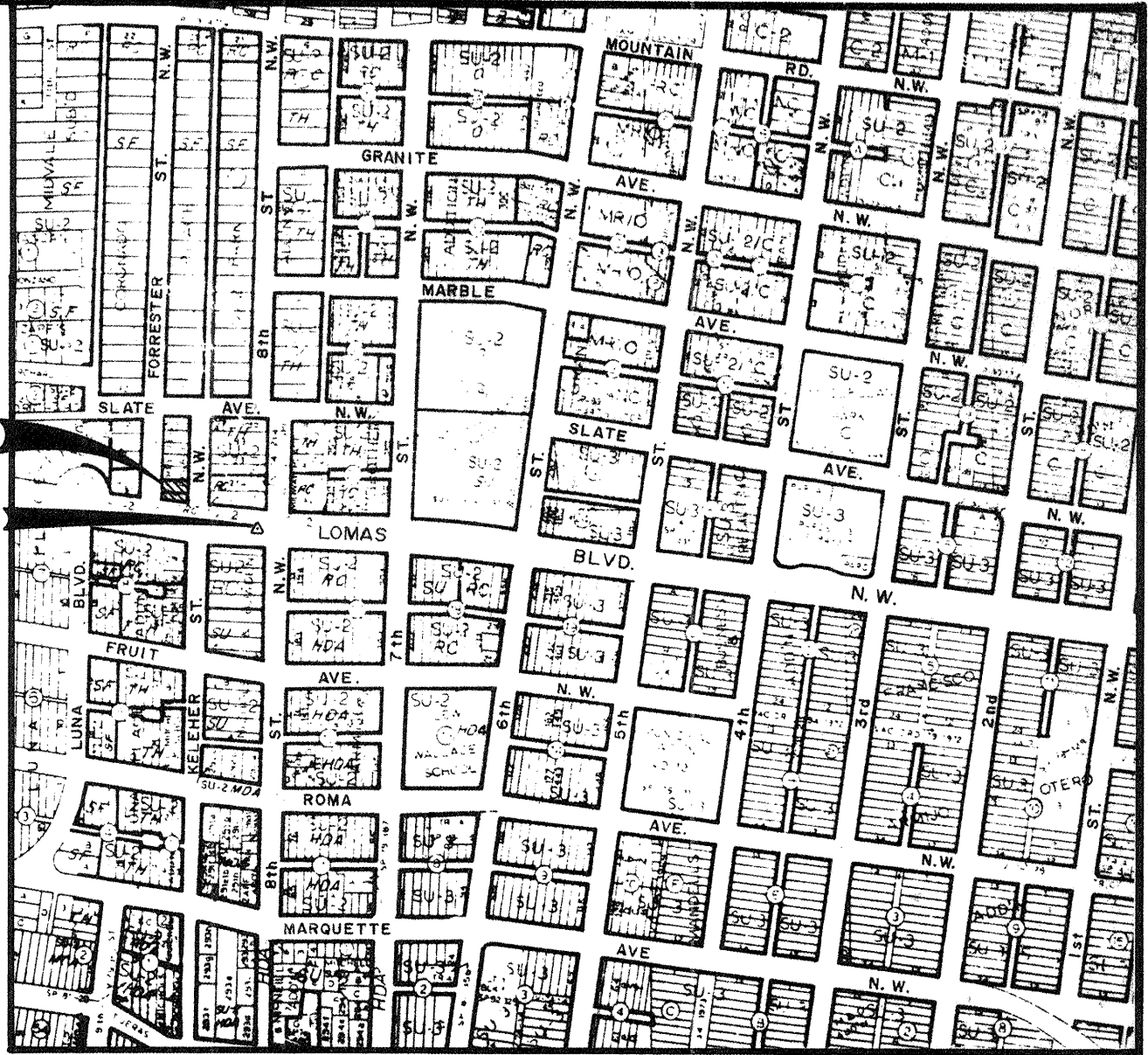
BY: _____

Louis W. Gross

REVISED DRAINAGE PLAN

PORTIONS OF LOTS 6 & 7
FORRESTER PLACE ADDITION
ALBUQUERQUE, NEW MEXICO

ZONE MAP J-14 FLOOD PANEL 28
SOIL TYPE "B" BENCHMARK "17-J14" ELEV.=4954.83
FILE N° J14/D78 APPROVED 8-15-88



VICINITY MAP
Zone Map J-14-Z Scale: 1"=500'

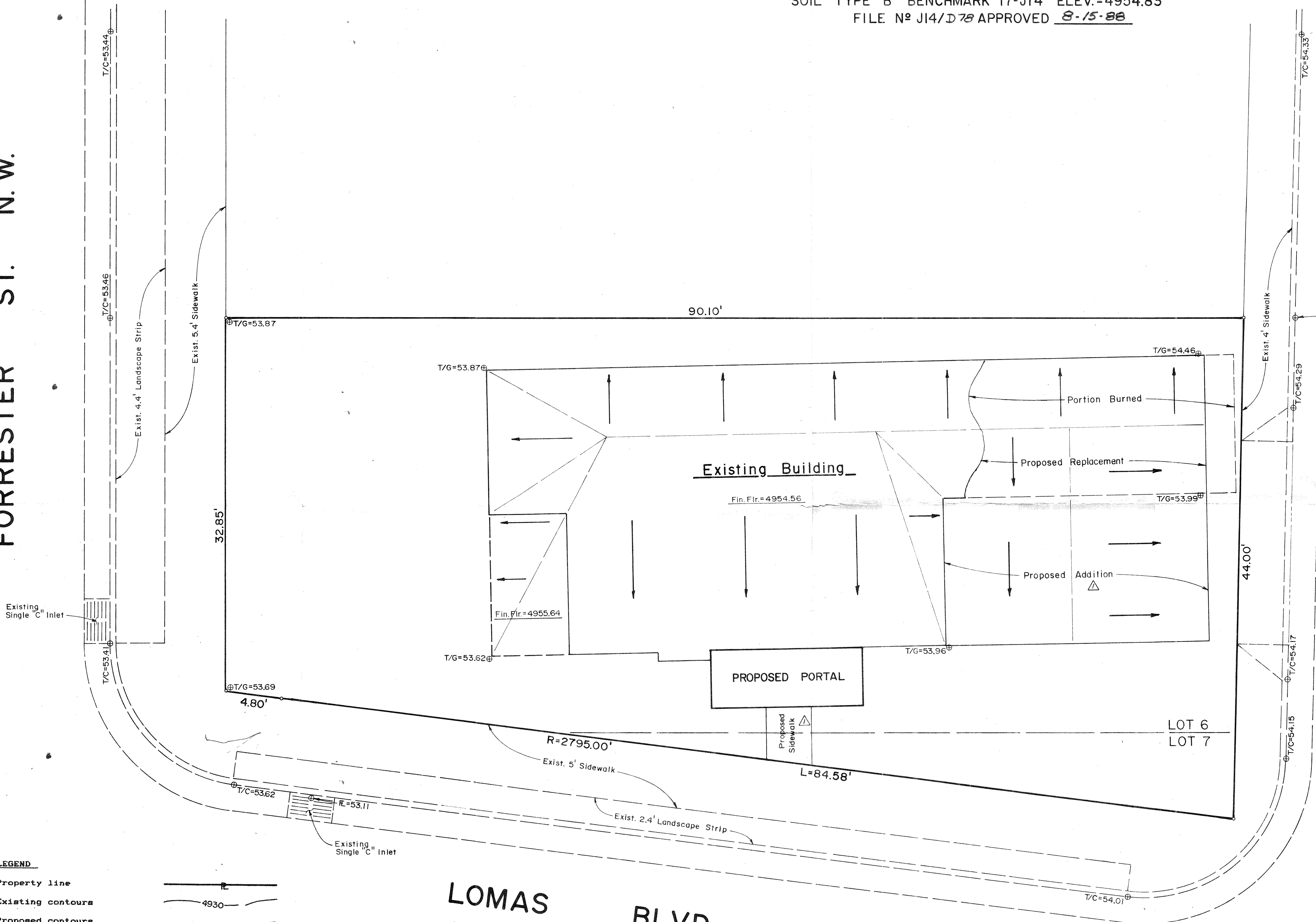
SITE
BENCHMARK
"17-J14"

TBM
Fluorescent Orange
Spot on Top of Curb
Elev.=4954.31

FORRESTER ST. N.W.
KELEHER ST. N.W.

FORRESTER ST. N.W.

Scale: 1"=5'



LEGEND

*Property line	—
Existing contours	— 4930 —
Proposed contours	— 4925 —
Flow direction	→
Existing spot elevations	⊕
Proposed spot elevations	⊙
Top of ground	T/G
Top of pavement	T/P
Top of concrete	T/Conc.
Top of curb	T/C
Flowline Gutter or avale	R.L.

*A property boundary survey was not performed in the preparation of this plan.

LOMAS BLVD. N.W.

EROSION CONTROL NOTES

- The contractor shall be responsible for compliance of the following:
1. No sediment bearing water shall be allowed to discharge from the site during construction.
 2. During grading operations and until the project has been completed all adjacent property, rights of way and easements shall be protected from flooding.
 3. Any and all sedimentation originating from the site which is deposited within public right of way shall be promptly removed by the contractor.
 4. Control of sediment laden waters will be accomplished by use of a compacted earth berm of adequate height. The berm shall be located along the downstream perimeters of the property.

HYDROLOGY

100 Yr.-G.Hr. = 2.2 I = $2.2 \times 6.84 / 10^{0.51} = 4.65$ In/Hr
Area = 3462 S.F. = 0.079 Ac.

Existing (Prior to Fire)

Roof = $1334 \times 0.90 = 1200$
Landscape = $\frac{2128 \times 0.25}{3462} = \frac{532}{1732}$

C = $1732 / 3462 = 0.50$
Q = $0.079 \times 5.06 \times 0.50 = 0.2$ CFS
Curve N° = 80 Direct Run-off = 0.70
V = $0.70 / 12 \times 3462 = 202$ CF

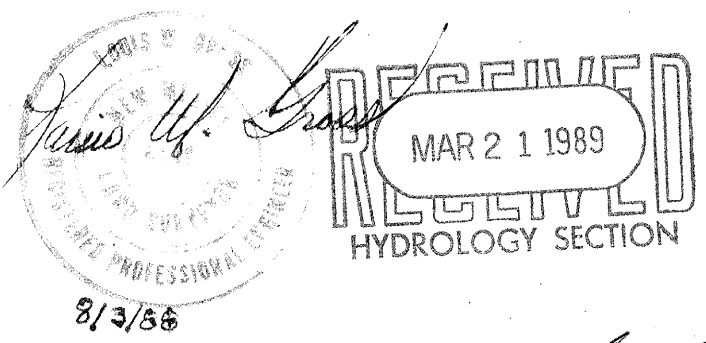
Proposed

Sidewalk = $20 \times 0.95 = 19$
Roof = $1664 \times 0.90 = 1498$
Landscape = $\frac{1778 \times 0.25}{3462} = \frac{445}{1962}$

C = $1962 / 3462 = 0.57$
Q = $0.079 \times 4.65 \times 0.57 = 0.2$ CFS
Curve N° = 80 Direct Run-off = 0.70
V = $0.70 / 12 \times 3462 = 202$ CF

Conclusion

The Proposed Construction on the Dwelling and the Sidewalk will Not Affect the Drainage Conditions on this Lot.



Revised per Owner 3/21/89
804 FORRESTER AVE. N.W.

	LOGAN/GROSS & ASSOC., INC. Consulting Civil Engineers	File No 379
	925 6th Street N.W., Suite 3 Albuquerque, N. Mex. 87102 (505) 243-6353	Date: July, '88
		Drawn LCG
		Sheet 1 of 1