

DATA

AREA OF SITE	28074 SQ FT (.54 AC)
SLOPE	± 1%
TIME OF CONCENTRATION	10 MINUTES
10-YR. 6-HR. RAINFALL	2.2 INCHES
INTENSITY $(2.2 \times 6.34 \times 10^{-.94})$	= 4.65 IN/HR

EXISTING ON-SITE CONDITIONS

ENTIRE SITE IS COVERED WITH BUILDING AND PAVEMENT.
NO OPEN AREAS OR LANDSCAPING EXIST.
MOST OF THE SITE (.49 AC.) DRAINS TO SECOND STREET.
PORTIONS OF THE ROOF AREA OF THE NORTH BUILDING
AND OF THE CANOPY ADJOINING THE SOUTH FACE OF THE
SOUTH BUILDING DRAIN TO THE ALLEY. (.05 AC.)

TO SECOND SET:

	AREA	C =	%
ROOF	.20 AC	.20	18
PAVEMENT	.40 AC	.05	82

$$C_{avg} = (.18 \times .20) + (.82 \times .95) = .94$$
$$Q_{100} = .94 \times 4.05 \text{ INCHES} \times 40 \text{ AC} = 15.19 \text{ CFS, PAVK}$$
$$Q_{10} = .94 \times Q_{100} = 1.41 \text{ CFS}$$

TO ALLEY:

AREA	0.2	0.6
ROOT	0.4 AC	0.8
PAVEMENT	0.1 AC	0.2

Costs = (0.80 + 0.20 + 0.20 + 0.20) = .91

Q100 = .91 + 45¢ = 1.36 = 1.36 CFS PER AC

Q10 = 0.65 Q100 = .89 CFS

EXISTING DITCH AS INDICATED ON PLAN.

OPPOSITE CONTRIBUTORY PLANE

THE ONLY AREA IMPACTING SITE IS A PORTION OF THE LOT (.06 AC)
TO THE NORTH WHICH IS COVERED WITH PAVEMENT AND ROOF.

	WDA	C =	%
ROOF	.010	.00	30
PAVEMENT	.25	.05	10
Curbs =	$30 \times 20' + 1.0 \times 95'$		= .04
Grass =	$94 \times 4.56 \text{ m}^2 \times .06 \text{ AC}$		= <u>.29 CPM</u> <u>Peak</u>
Q10 =	67×2.00		= <u>.17 CPM</u>

ENTRY FLOW CROSS 6" E AND DISCHARGE N O SECOND STREET VIA FIRE AL.

PROPOSED DEVELOPMENT

1900 SQ. FT. SINGLE-STORY COMMERCIAL ADDITION TO SOUTHERN BUILDING. PAVEMENT, GRADING AS NEEDED TO DIRECT ROOF RUNOFF TO SECOND STREET.

DIEPHEAL ROUTING

NEW ASPH/ION ROOF WILL DRAIN TO NORTH SIDE. PORTION OF EXISTING ASPHALT WILL BE REMOVED AND REPLACED WITH ASPHALT SHALE TO SIDEWALK CULVERT. DRAINAGE PATTERN OF THE REMAINDER OF SITE WILL NOT BE ALTERED.

AREA DRAINING TO CULVERT = 30 AC.
 AREA C = 1%
 RPT = 30
 80
 PAVEMENT 24 .95
 .05
 $C_{adj} = (.30 + 30) + .05 + .95 = .95$
 $Q_{100} = .95 \times 4.65 \text{ IN HR} \times 30 \text{ AC} = 129 \text{ CFS}$
 $Q_{10} = .67 Q_{100} = 86 \text{ CFS}$

STORM SEWER EXIST'S IN SECOND STREET

CONCLUSION: A RECAP

LOT - '2'
LANDS OF ZACHARY
ALBUQUERQUE, NEW MEX:CO

1619 SECOND STREET, NW
GERTRUDE ZACHARY SILVERSMITHS

PREPARED FOR
JLS ARCHITECTURE

FIELD NOTES DECEMBER 2, 1966



HALL ENGINEERING COMPANY INC.
 ENGINEERING • SURVEYING • PLANNING • CONSTRUCTION
 6840 2ND ST., N.W., SUITE 306 • ALBUQUERQUE, NEW MEXICO 87107
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NOTE TO CONTRACTOR

SECOND STREET LIES WITHIN AN "AO" FLOOD ZONE, AVG. FLOOD DEPTH OF ONE FOOT.
FINISH FLOOR ELEVATION OF NEW BUILDING SHALL BE A MINIMUM OF TWO FEET (2.00') ABOVE ADJACENT GUTTER FLOWLINE.
ELEVATION SHOWN ON PLAN IS MINIMUM.

BENCH MARK

16-114 A SQUARE CHISELED IN TOP OF NNW
CURE RETURN, INTERSECTION OF CONSTITUTION
AVENUE AND FOURTH STREET, NW
ELEV. 4050.194

TƏMİ

TOP OF CURB ON SECOND STREET AT SOUTH EDGE
OF DRIVEPAD ADJACENT TO SOUTHEAST PROPERTY
CORNER...

ELEV. 4957.30

LEGEND

CONTOUR INTERVAL ONE-HALF FOOT (0.5')

(50) ————— EXISTING CONTOUR
 ————— 50 ————— PROPOSED CONTOUR

+50.0 EXISTING SPOT ELEVATION


 OUTLINE OF EXISTING BUILDING

 DIVISION OF CONTRIBUTORY ZONES

PROPOSED GRT ELEVATIONS AND CONTOURS AS SHOWN
ARE TO FINISHED SURFACES. CONTRACTOR SHALL
DETERMINE APPROPRIATE SUBGRADES.

CONTRACTOR IS RESPONSIBLE FOR ABATEMENT OF SEDIMENT RELEASED ONTO ADJOINING PRIVATE PROPERTIES AND PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION.

AS-BUILT INFORMATION

ALL NOTES SHOWN ON THIS SHEET ENCLOSED
IN BOOKS ARE AS-BUILT.

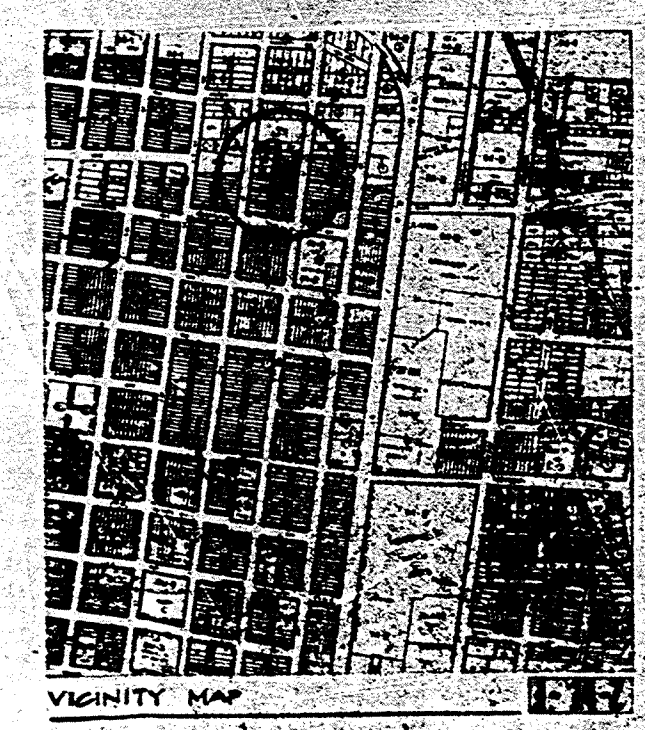
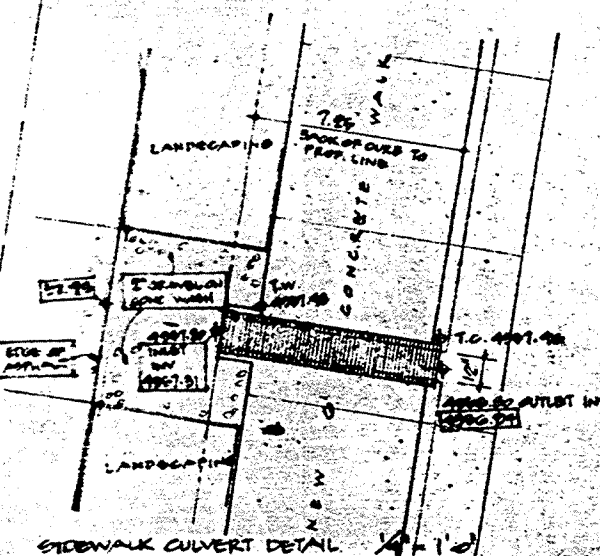
THE SITE, AS BUILT, CONFORMS TO THE
ORIGINAL DESIGN INTENT. SURF WATER
EXITING SITE DOES SO VIA SIDEWALK
DRAIN GULCHES. DOWNROUTE ON ADJACENT
DISCHARGE TO NORTH SIDE OF BUILDING.
NO PERIMETER ELEVATIONS OR SURFACES
HAVE BEEN AFFECTED BY CONSTRUCTION.
ROUTING TO DRAIN GULCHES IS VIA NON-
BECOME. HARD SURFACING.

APR 20 1977
Richard Hall
RICHARD V. HALL
N.M.P.B. # 7010

NOTICE TO CONTRACTOR

- 1. No excavation/construction plans shall be submitted to the City without a copy of this agreement. All plans must be submitted at the time of application for this permit.
- 2. All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with the City Engineering Department and the Public Works Commission's plans.
- 3. The working days prior to any excavation, contractor must contact Lane Licensing Service, 785-1234, for location of any existing utilities.
- 4. Prior to construction, the contractor shall remove and verify the horizontal and vertical locations of all obstructions. Should a conflict occur, the contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
- 5. Haulfill and excavation shall be according to section of the contract.
- 6. Maintenance of this facility shall be the responsibility of the owner thereof.

APPROVALS	NAME	DATE
HYDROLOGY/DESIGN		
INSPECTOR/DESIGN		
CONST./ACPT.		



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