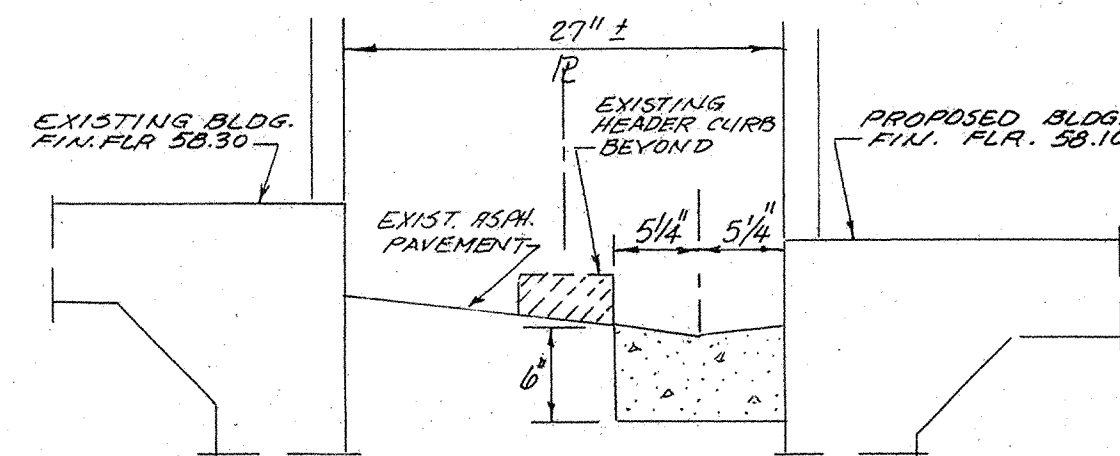
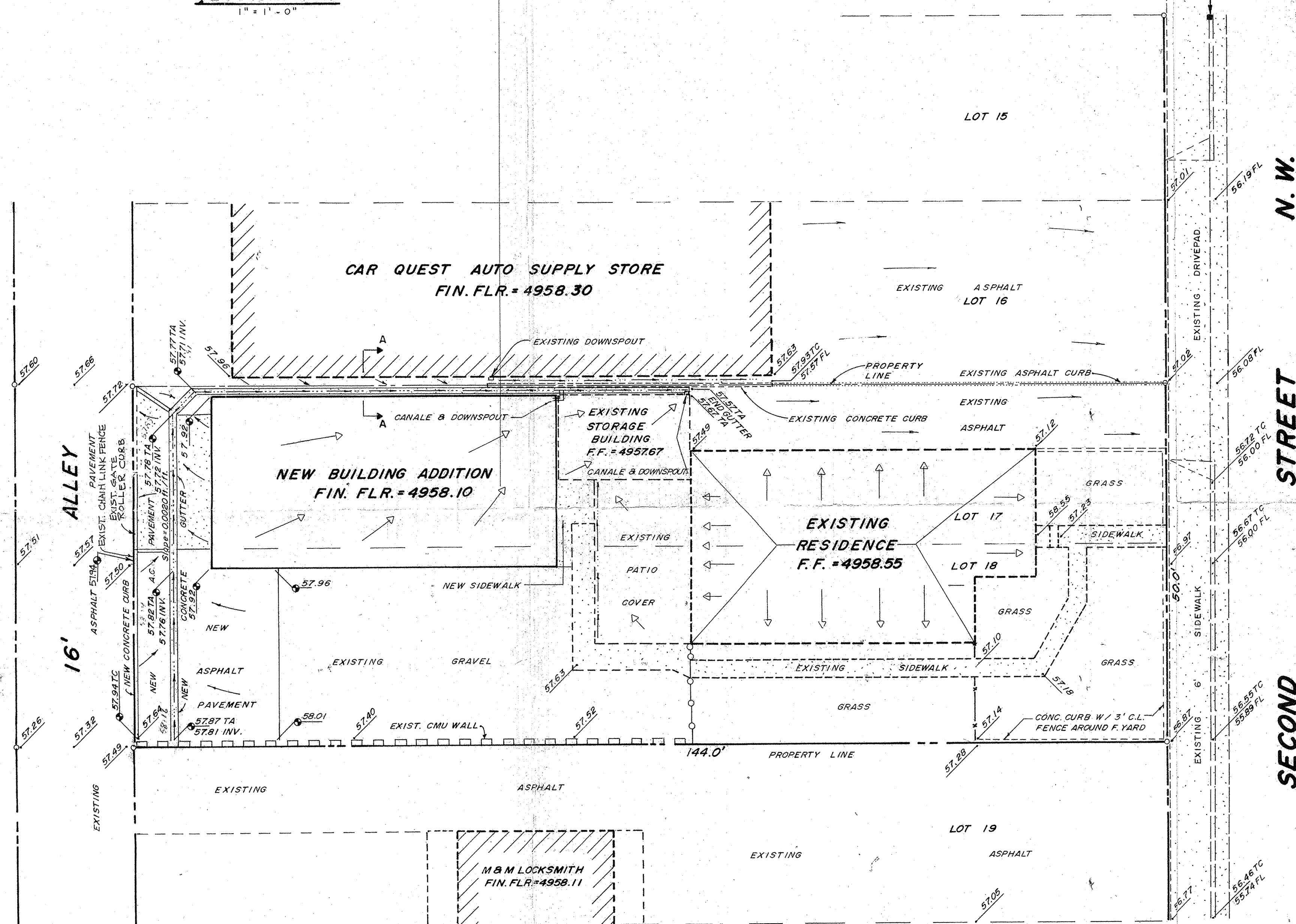
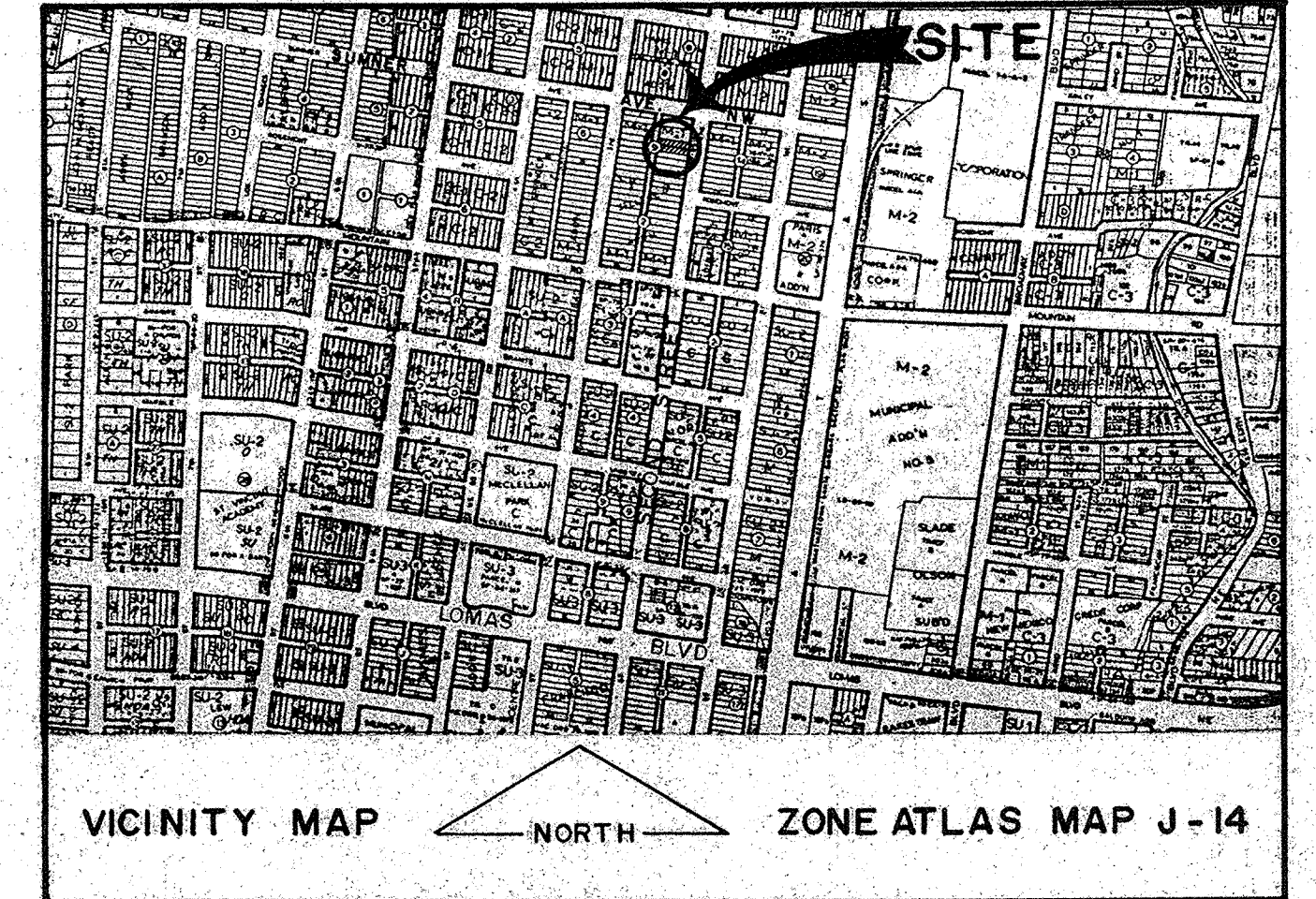
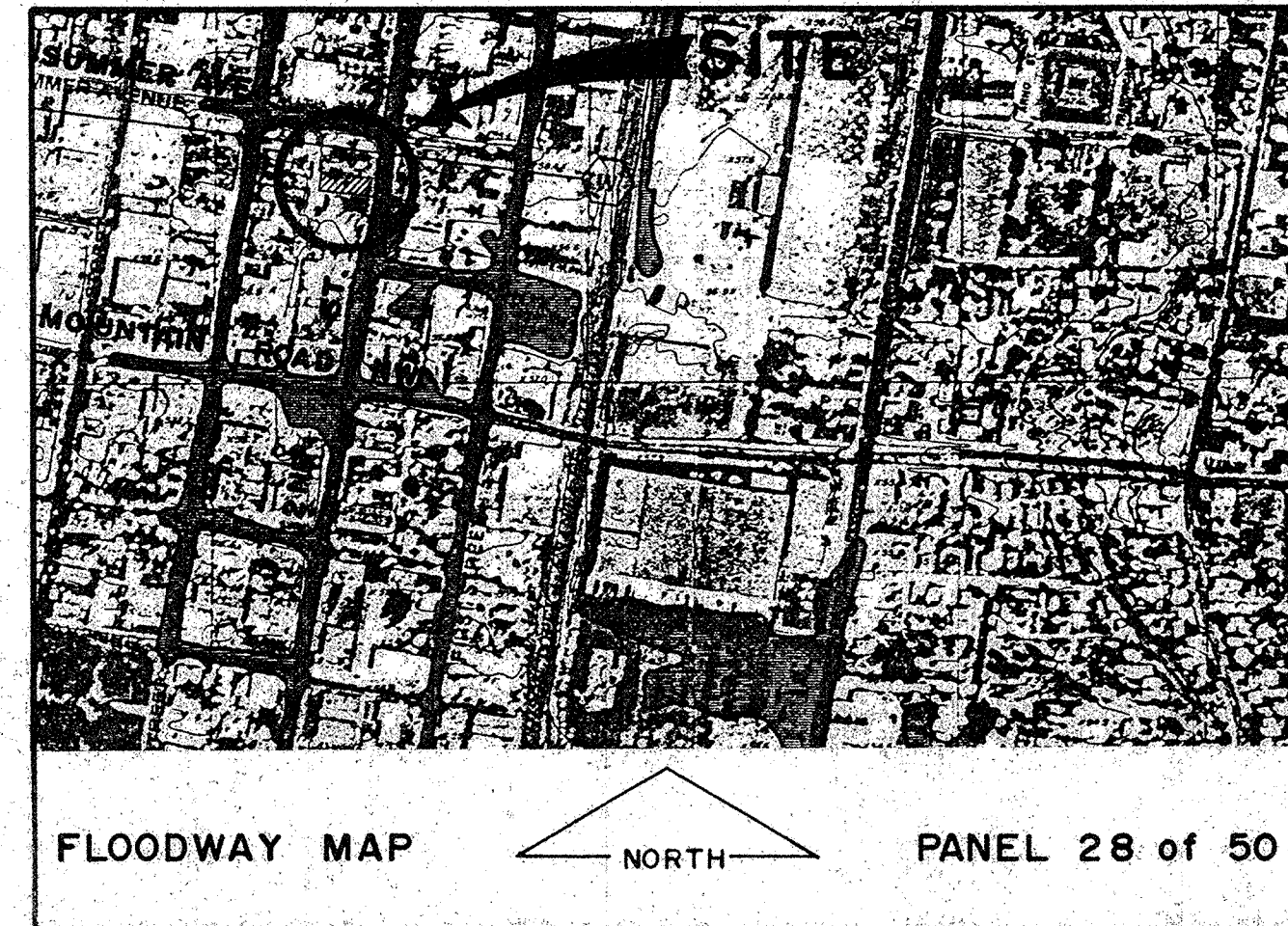




SECTION A-A
1" = 1' - 0"

SCALE 1" = 10'

TEMPORARY BENCH MARK (TBM)
2" SQUARE AND LETTERS "TBM" PAINTED IN
BLACK ON TOP OF CURB AT POINT ADJACENT
TO THE N.E. CORNER OF LOT 15.



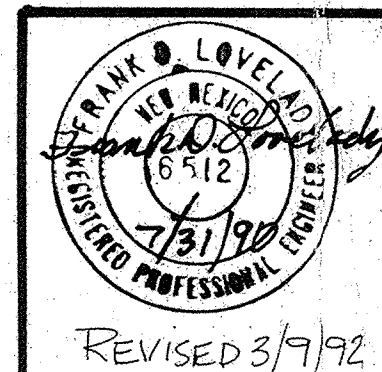
DRAINAGE CALCULATIONS					
EXISTING DRAINAGE CONDITIONS:					
THE LOT IS PRESENTLY DEVELOPED WITH A HOUSE CONVERTED TO A DUPLEX APARTMENTS. AT THE REAR OF THE HOUSE IS A COVERED PATIO AND AN EXISTING STORAGE BUILDING WHICH DRAIN AS DESCRIBED BELOW. THE BACK YARD IS GRAVEL WITH A 6" HIGH CONCRETE BLOCK WALL AT THE SOUTH PROPERTY LINE AND A 6' HIGH CHAIN LINK FENCE AT THE WEST PROPERTY LINE. ALONG THE NORTH PROPERTY LINE THERE IS AN EXISTING CONCRETE CURB AND ASPHALT "CURB" WHICH KEEPS DRAINAGE FROM CROSSING THE LOT LINE AND CONVEYS IT TO SECOND STREET. ADJACENT TO THE WESTERLY 35' OF THE CAR QUEST BUILDING, THE LOT IS PAVED WITH ASPHALT BETWEEN THE BUILDING AND THE PROPERTY LINE. THIS GENERATES A SMALL AMOUNT OF OFF-SITE FLOW, WHICH IS ACCEPTED. THIS IS THE ONLY OFF-SITE FLOW RELATIVE TO THIS SITE. THE HOUSE HAS A PITCHED ROOF. THE WESTERLY SLOPE RUNS ONTO THE PATIO COVER WHICH DRAINS ONTO THE EXISTING STORAGE BUILDING ROOF, WHICH DRAINS BY CANAL AND DOWNSPOUT ONTO THE ASPHALT ON THE NORTH SIDE OF THE HOUSE. THE NORTH SIDE OF THE HOUSE DRAINS ONTO THE EXISTING ASPHALT. THE EAST AND SOUTH SIDES DRAIN ONTO THE LAWN. PROPERTIES TO THE NORTH AND SOUTH OF THE SITE ARE LARGELY PAVED WITH ASPHALT AROUND THE EXISTING BUILDINGS. THE EXISTING ALLEY IS PAVED BUT DOES NOT HAVE ADEQUATE CAPACITY TO CONVEY DISCHARGE FROM THE SITE.					
PROPOSED DRAINAGE CONDITIONS:					
MUCH OF THE SITE WILL REMAIN AS IT PRESENTLY IS. A CONCRETE GUTTER SECTION IS PROPOSED TO CONVEY RUNOFF FROM THE NEW ASPHALT PAVEMENT TO THE NORTHEAST CORNER OF THE EXISTING STORAGE BUILDING. THE NEW BUILDING WILL DISCHARGE BY CANAL AND DOWNSPOUT TO THE CONCRETE GUTTER. THE EXISTING GRAVEL AREA WILL CONTINUE TO DRAIN AS IT PRESENTLY DOES, I.E., IT WILL CONTINUE TO BE ABSORBED WHERE IT FALLS WITH POSSIBLY SOME OF IT RUNNING ONTO THE LAWN AREA WHERE IT IS ABSORBED.					
SOIL INFORMATION:					
(REFER TO SOIL SURVEY OF BERNALILLO COUNTY, JUNE 1977.) SOIL IS Gk, GLENDALE LOAM, HYDROLOGIC SOIL GROUP "B".					
FLOOD ZONE:					
THE FLOOD INSURANCE RATE MAP (FIRM), PANEL 28 OF 50, SHOWS THAT THERE IS AN AO-1 FLOOD ZONE IN SECOND STREET. IT IS CONFINED TO THE RIGHT-OF-WAY. THE FINISH FLOOR ELEVATION OF THE PROPOSED ADDITION HAS BEEN SET 2.02' ABOVE THE FLOWLINE ELEVATION ADJACENT TO THE NE CORNER OF LOT 17 TO ENSURE THAT THE FINISH FLOOR WILL BE A MINIMUM OF 1.0' ABOVE THE 100-YEAR FLOOD LEVEL IN SECOND STREET.					
RAINFALL, 100-YEAR, 6-HOUR:					
(REFER TO D.P.M., PLATE 22.2 D-1.) $R_6 = 2.2$ INCHES					
TIME OF CONCENTRATION:					
(USE TEN (10) MINUTES, MINIMUM TIME OF CONCENTRATION.)					
RAINFALL INTENSITY:					
$I = R_6 \times 6.84 \times T_c^{-0.51} = 2.2 \times 6.84 \times 10^{-0.51} = 4.65$ INCHES PER HOUR.					
EROSION CONTROL NOTES:					
THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:					
1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.					
2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.					
3. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPTLY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.					
4. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.					
LEGAL DESCRIPTION:					
A CERTAIN TRACT OR PARCEL OF LAND SITUATED WITHIN THE LEGAL LIMITS OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; BEING MORE PARTICULARLY DESCRIBED AS: LOTS 17 AND 18, BLOCK 9, OF THE PARTS ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO.					
BENCH MARK:					
STANDARD USC & GS BRASS CAP STAMPED "L-224 RESET" SET IN THE TOP OF TRAFFIC WARNING LIGHT AT THE INTERSECTION OF MOUNTAIN ROAD NW AND THE A.T. & S.F. RAILROAD TRACK, N.S.L. ELEVATION = 4958.560 FEET.					

- PRE-DESIGN CONFERENCE FINDINGS:** (MEETING OF JULY 16, 1990)
- PROPOSING BUILDING ADDITION IN EXCESS OF 1000 SF AND 2 PAVED PARKING SPACES ON M-1 ZONING.
 - A DRAINAGE PLAN IS REQUIRED FOR PROPOSED AND EXISTING IMPROVEMENTS PER D.P.M. CHECKLIST PRIOR TO BUILDING PERMIT APPROVAL.

LEGEND:		
EXISTING	NEW	DESCRIPTION
		CONTOUR (N/A)
	57.96	SPOT ELEVATION
		SHEET FLOW
		ROOF DRAINAGE
		SWALE / GUTTER
		PROPERTY LINE
	TA	TOP OF ASPHALT
	TC	TOP OF CONCRETE
	FL	FLOWLINE

CONCRETE GUTTER DETAIL
1-1/2" = 1' - 0"

GRADING AND DRAINAGE PLAN
NEW BUILDING ADDITION FOR
MARTIN J. VIGIL
1315 SECOND STREET N.W.
ALBUQUERQUE, NEW MEXICO



MAR 9 1992