



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 6, 1999

Dave Thompson, PE
Thompson Eng. Cons. Inc.
2060 Main St. NE, Ste E
Los Lunas, NM 87031

RE: CONCEPTUAL G & D PLAN FOR MCDONALD'S/GAS STATION (J-14/D109)
RECEIVED AUG 10, 1999 FOR SITE DEVELOPMENT PLAN
ENGINEER'S STAMP DATED 7-29-99

Dear Mr. Thompson:

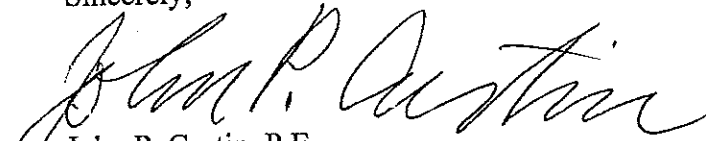
Based on the information included in the submittal referenced above, City Hydrology has the following comments that must be addressed:

The lettering for the existing & proposed spot elevations are too small. All lettering must be at least 0.10" tall per DPM. Are curb elevations T.C. or F.L.? Show storm drains in Lomas, Broadway and Arno. Include a copy of the Infrastructure List in the next submittal. What is the DRB #?

Do any off-site flows enter this site? It appears that Building C-1 encroaches on the 50' surface drainage easement. Are you vacating this easement?

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,



John P. Curtin, P.E.
Project Manager, PWD/Hyd

c: Inspector

DRAINAGE INFORMATION SHEET

PROJECT TITLE: McDONALD'S/GAS STATION ATLAS/DRAINAGE FILE# J14/D109

LEGAL DESCRIPTION: Tract A-1, Lomas Center

CITY ADDRESS: SE corner of Broadway & Lomas

ENGINEERING FIRM: THOMPSON ENG. CONS. INC. CONTACT: DAVE THOMPSON

ADDRESS: 2060 MAIN ST. NE, STE E
LOS LUNAS, NM 87031

PHONE: 866-1395

OWNER: McDONALD'S CORP.

CONTACT: DAN BRUBAKER

ADDRESS: 5251 DTC Parkway, Ste. 300
Englewood, CO 80111

PHONE: (303) 779-0444

ARCHITECT: JLS Architects

CONTACT: FRED ROBINSON

ADDRESS: 1600 Rio Grande NW

PHONE: 246-0870

SURVEYOR: Precision Surveys, Inc.

CONTACT: Larry Medrano

ADDRESS: 8414-D Jefferson Street, NE

PHONE: 856-5700

CONTRACTOR: NA

CONTACT: NA

ADDRESS: NA

PHONE: NA

PRE-DESIGN MEETING:

☐ YES

DRB NO.

☒ NO

EPC NO.

☐ COPY OF CONFERENCE

PROJECT NO. _____

RECAP SHEET PROVIDED

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT

☐ SECTOR PLAN APPROVAL

☐ DRAINAGE PLAN

☐ SKETCH PLAT APPROVAL

☒ CONCEPTUAL GRADING
& DRAINAGE PLAN

☐ PRELIMINARY PLAT APPROVAL

☐ GRADING PLAN

☒ SITE DEVELOPMENT PLAN APPROVAL

☐ EROSION CONTROL PLAN

☐ FINAL PLAT APPROVAL

☐ ENGINEERS CERTIFICATION

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT

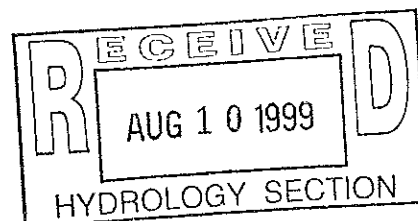
☐ GRADING/PAVING PERMIT APPROVAL

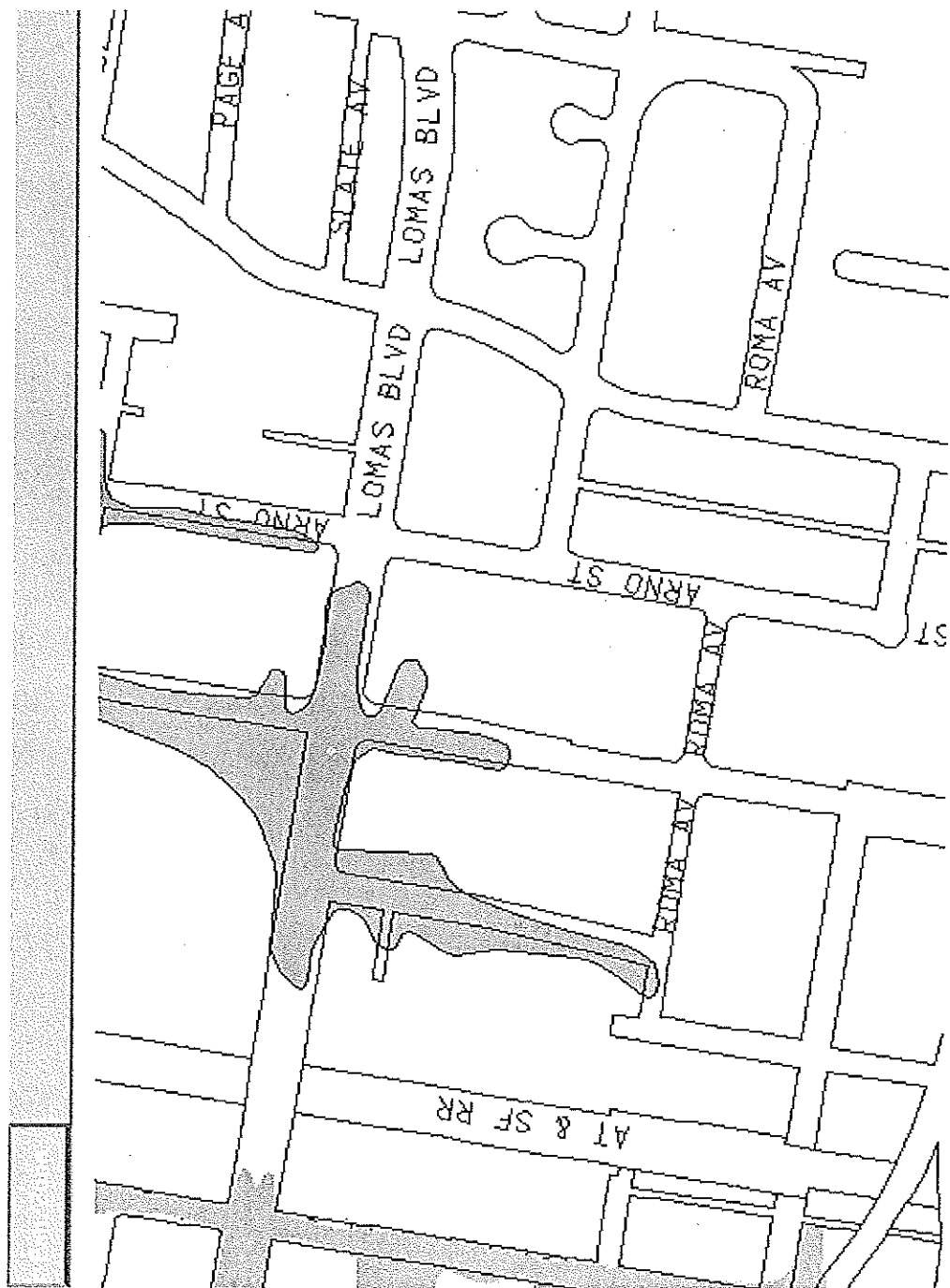
☐ OTHER _____ (SPECIFY)

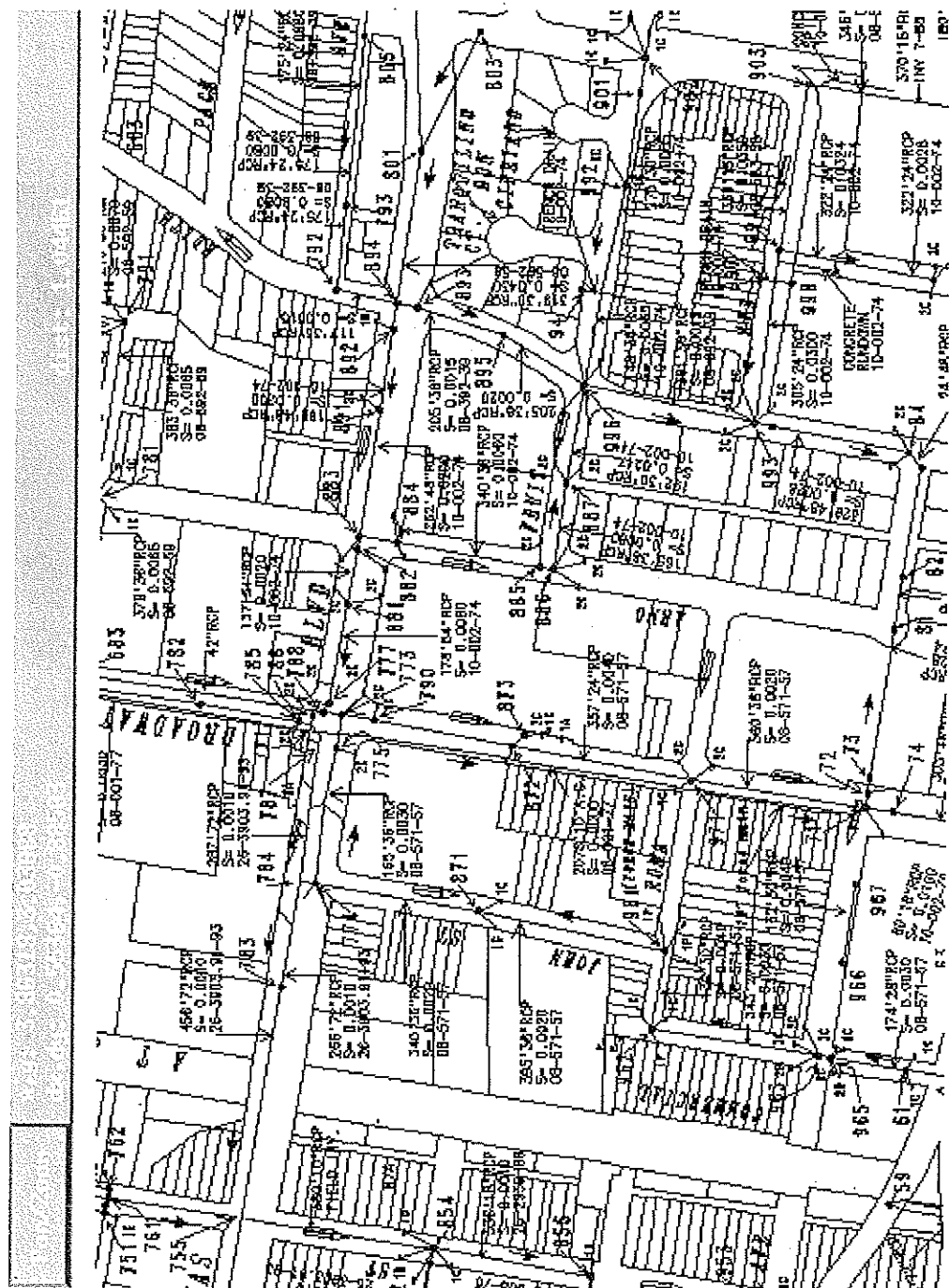
DATE SUBMITTED: 8-9-99

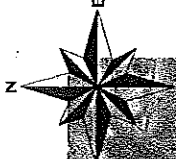
BY: *[Signature]*

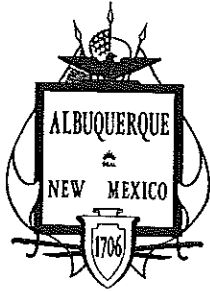
REV. 10/85











City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 23, 1995

Tom Isaacson, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

RE: CONCEPTUAL GRADING AND DRAINAGE PLAN FOR GATEWAY
APARTMENTS ON TRACT A-1, LOMAS CENTER (J14/D109),
ENGINEER'S STAMP DATED 5/8/95.

Dear Mr. Isaacson:

Based on the information provided in the above referenced submittal of May 8, 1995, the revised conceptual drainage plan is approved for Site Development Plan.

Prior to release of the Building Permit, the final drainage plan must be approved by this office.

Please be advised that prior to Certificate of Occupancy release, the Engineer's Certification per the D.P.M. checklist will be required.

If you have any questions, or if I may be of further assistance, please do not hesitate to call.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File

PROJECT TITLE: Gateway Apartments ZONE ATLAS/DRNG. FILE #: J14 / 8109
 ORB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: Tract A-1, Lomas Center
 CITY ADDRESS: Southeast Corner of Lomas & Broadway
 ENGINEERING FIRM: Isaacson & Arfman CONTACT: Tom Isaacson
 ADDRESS: 128 Monroe NE 87108 PHONE: 268-8828
 OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: Dekker/Perich & Assoc CONTACT: Don Witherspoon
 ADDRESS: 6501 Americas Parkway NE PHONE: 888-3111
 SURVEYOR: GMA, Inc CONTACT: Rodger Kretz
 ADDRESS: 5700 Harper Dr NE 87109 PHONE: 823-4494
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

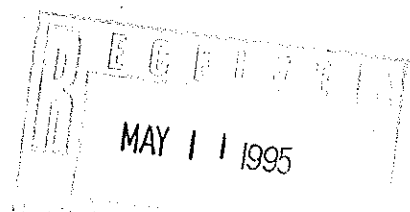
BY:

5/8/95

3/3/95

1/30/95

Tom Isaacson





ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

May 8, 1995

Ms. Susan M. Calongne, P.E.
City/County Floodplain Administrator
Hydrology Division/P.W.D.
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Conceptual Grading & Drainage Plan
for Gateway Apts. J14/D109**

Dear Ms. Calongne:

I'm resubmitting the conceptual grading drainage plan for the Gateway Apartments since the Architect, Dekker/Perich, has made some minor revisions to the site plan since my last submittal. These changes are primarily minor adjustments to the parking lot curb configurations and parking layout in the center court.

Hydrologic computations are unaffected. I'm resubmitting the plan so that it is consistent with the final site development plan.

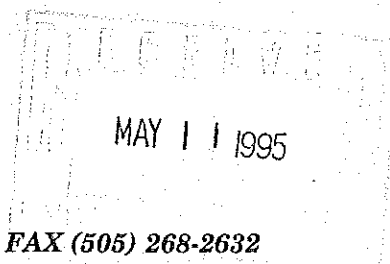
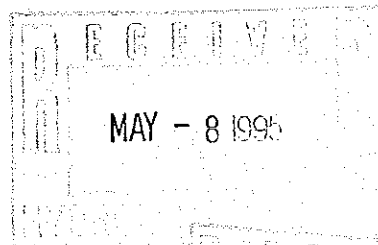
Very truly yours,

Thomas O. Isaacson

TOI/rtl

Attachment

cc: Lori Weber, Dekker/Perich & Associates



DRB Case No.
DRC Project No.:
Date Submitted:

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"

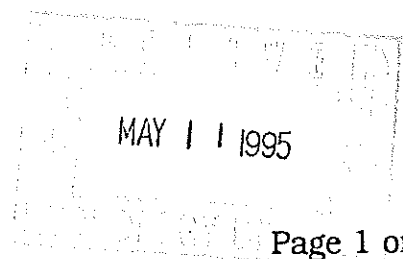
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

GATEWAY APARTMENTS

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

<u>SIZE</u>	<u>IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
PUBLIC IMPROVEMENTS				
8"	Remove Existing Sanitary Sewer	Vacated Fruit Avenue	Broadway Blvd.	Arno Street
6"	Remove Existing Waterline	"	"	"

NOTE: Utility removals not to be financially guaranteed.



Prepared by: Thomas O. Isaacson 5.8.95
Thomas O. Isaacson Date
Isaacson & Arfman, P.A.

Development Review Board Member Approval

Transportation Development	Date
Utility Development	Date
Parks & General Services	Date
City Engineer/AMAFCA	Date
DRB Chairman	Date



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 22, 1995

Tom Isaacson, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

RE: CONCEPTUAL GRADING AND DRAINAGE PLAN FOR GATEWAY
APARTMENTS ON TRACT A-1, LOMAS CENTER (J14/D109),
ENGINEER'S STAMP DATED 3/3/95.

Dear Mr. Isaacson:

Based on the information provided in the above referenced submittal of March 6, 1995, along with the supplemental information provided in January 1995, the conceptual drainage plan is approved for Site Development Plan.

Prior to release of the Building Permit, the final drainage plan must be approved by this office. In order to vacate the existing drainage easement, the plat will have to be approved through the public hearing process.

Please be advised that prior to Certificate of Occupancy release, the Engineer's Certification per the D.P.M. checklist will be required.

If you have any questions, or if I may be of further assistance, please do not hesitate to call.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Gateway Apartments ZONE ATLAS/DRNG. FILE #: J14/A109
 ORB #: _____ EPC #: _____ WORK ORDER #: _____
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 CITY ADDRESS: Southeast Corner of Lomas & Broadway
 ENGINEERING FIRM: Isaacson & Artman CONTACT: Tom Isaacson
 ADDRESS: 128 Monroe NE 87108 PHONE: 268-8828
 OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: Dekker/Perich & Assoc CONTACT: Ron Witherspoon
 ADDRESS: 6501 Americas Parkway NE PHONE: 888-3111
 SURVEYOR: GMA, Inc CONTACT: Rodger Kretz
 ADDRESS: 5700 Harper Dr NE 87109 PHONE: 823-4494
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

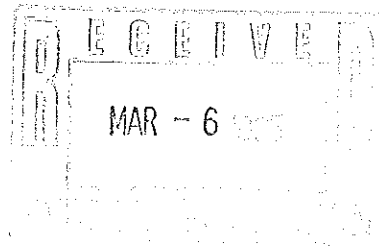
- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
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☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

3/3/95
1/30/95

BY:

Tom Isaacson





ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

March 3, 1995

Ms. Susan M. Calongne, P.E.
City/County Floodplain Administrator
Hydrology Division/PWD
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Gateway Apartments Conceptual Grading & Drainage Plan
J14/D109**

Dear Ms. Calongne:

In response to your review letter dated February 27, 1995 we offer the following comments:

1. *Please show the limits of the existing floodplain on the grading and drainage plan. The property owner should be made aware that he may still be subject to flood insurance requirements even though the finish floor elevation of the proposed building is higher than the base flood elevation.*

The existing floodplain limits have been added to the Conceptual Grading Plan which we are resubmitting. By copy of this letter we are advising the architect, Dekker/Perich & Associates, to inform the property owner of possible flood insurance requirements.

2. *Show both existing and proposed contours for on-site and off-site. Do off-site flows enter the site from the south side?*

We have added existing contours to the Plan. Proposed contours are also shown. There are no off-site flows entering the property from the south side. There is an existing 6-foot high concrete block wall along most of the south side. See the revised Plan for the wall location. This wall, which will remain, blocks off-site flows and directs them to adjoining streets. The remainder of the adjoining south property not protected by this wall has been lowered by removal of a building and does not contribute off-site flows to this property.

MAR - 6

Ms. Susan M. Calongne, P.E.
March 3, 1995
Page 2

3. *Please provide me with a copy of the drainage easement that you are requesting to vacate with this development.*

Attached are copies of the vacation ordinances which create these drainage easements.

4. *Please justify that there is adequate downstream capacity, or explain why free discharge from this site should be allowed.*

Free discharge from this site is justified since the proposed development does not increase the historical runoff and actually reduces flows somewhat. Consequently this development will not affect the downstream capacity of existing drainage facilities. Page 4 of the Supplemental Drainage Information documents (previously submitted) presents the drainage runoff analysis comparisons.

I hope these comments satisfactorily answer your questions regarding drainage concerns for this proposed development.

Very truly yours,



Thomas O. Isaacson

TOI/rtl

pc: Lori Weber, Dekker/Perich & Associates

MAR - 6 1995

O F F I C I A L N O T I C E

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION
P.O. BOX 1293, ALBUQUERQUE, NEW MEXICO 87103

New Mexico Physician's Mutual
c/o Eugene Mares
Albuquerque Surveying
2119 Menaul Blvd. NE
Albuquerque, NM 87107

8. V-86-134 Albuquerque Surveying, agents for New Mexico
DRB-86-696 Physician's Mutual, request Vacation (closing) of
(NE) public right of way for Fruit Ave NE and the
north/south alley adjacent to Blocks 1 & 2,
Balduino Addition and Block 2, Sulzer Addition,
bounded by Lomas Blvd NE, Broadway Blvd NE, Roma
Ave NE, and Arno St NE. (J-14)

At the November 12, 1986, Development Review Board meeting, the Vacation of both the alley and 23 feet of Fruit was approved with the following findings and conditions.

FINDINGS AND CONDITIONS:

1. The public welfare is in no way served by retaining the rights-of-way.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
3. Easements for existing utilities in Fruit Avenue shall be retained.
4. Dedication of 5 feet additional right-of-way on Broadway, south of Lomas, satisfactory to the Traffic Engineer, is required.
5. Disposition of the vacated rights-of-way shall be arranged through the City Real Estate Office.
6. A replat incorporating the vacated rights-of-way shall be incorporated with adjoining properties and additional property dedicated to widen Broadway with the plat to be filed within one year.
7. The alley will have to be closed off with standard curb and gutter and sidewalk, as required for drainage purposes, if the alley intercepts storm waters from Lomas.

RECOMMENDATION TO CITY REAL ESTATE OFFICE:

1. We recommend to the City Real Estate Office that in disposing of the vacated right-of-way that credit be given for the additional right-of-way dedicated on Broadway.

If you wish to appeal this decision, you must do so by November 28, 1986, in the manner described below. A nonrefundable fee of \$40 is required at the time the appeal is filed.

Appeal to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form to the Planning Division within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Claire Koopman

Claire Koopman
Board Secretary

MAR -6

ENVIRONMENTAL PLANNING COMMISSION RESOLUTION

A RESOLUTION VACATING FRUIT AVENUE NE BETWEEN THE EAST RIGHT OF WAY LINE OF THE NORTH-SOUTH ALLEY IN BLOCK 2, BALDUINI ADDITION, AND THE WEST RIGHT OF WAY LINE OF ARNO STREET.

WHEREAS, there has heretofore been dedicated and conveyed to the City of Albuquerque, New Mexico a certain easement for street purposes, more particularly described below; and

WHEREAS, said right of way is not needed for public use except for easements reserved in Section 2 hereof;

NOW, THEREFORE, BE IT ENACTED BY THE ENVIRONMENTAL PLANNING COMMISSION OF THE CITY OF ALBUQUERQUE, NEW MEXICO UNDER SECTION 41 OF CITY COMMISSION ORDINANCE NO. 97-1973, AS AMENDED:

SECTION 1. Fruit Avenue NE between the east right of way line of the north-south alley in Block 2, Balduini Addition as filed in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 1923, and the west right of way line of Arno Street is hereby closed and vacated subject to easements reserved in Section 2 hereof.

SECTION 2. The City hereby reserves the full width of this portion of Fruit Avenue NE as an easement for drainage and public utilities, whether municipally or privately owned, which are necessary for public use and benefit at the present time or in the future.

SECTION 3. Immediately upon the filing of this resolution in the office of the County Clerk of Bernalillo County, New Mexico, the land above-described shall be effectively vacated, and the City of Albuquerque by this resolution disclaims from such date any further interest therein except for easements reserved in Section 2 hereof.

ADOPTED AT A PUBLIC HEARING BY THE ENVIRONMENTAL PLANNING COMMISSION, CITY OF ALBUQUERQUE, NEW MEXICO ON NOVEMBER 20, 1973.

APPROVED:

[Signature]
Authorized Representative of the Planning Director, City of Albuquerque, New Mexico

Subscribed and sworn to before me this 6 day of January, 1975, by S. Phil Garcia, authorized representative of the Planning Director, City of Albuquerque, New Mexico.

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

[Signature]
Notary Public

My Commission Expires:

August 28, 1977

940 JAN 7 1975
At 10 o'clock A.M. Recorded in Vol. 401
of records of said County Folio 466
EMMA GONZALES
..... Clerk & Recorder
[Signature] Deputy Clerk

RECEIVED
MAR - 6 1975

CITY COMMISSION
August 14, 1972
V-72-22

ORDINANCE NO. _____

AN ORDINANCE VACATING FRUIT AVENUE NE BETWEEN THE EAST RIGHT OF WAY LINE OF BROADWAY BOULEVARD AND THE WEST RIGHT OF WAY LINE OF THE NORTH-SOUTH ALLEY IN BLOCK 2, BALDUINI AND SULZER ADDITIONS, AND DECLARING AN EMERGENCY.

WHEREAS, there has heretofore been dedicated and conveyed to the City of Albuquerque, New Mexico, a certain easement for street purposes, more particularly described below, and

WHEREAS, a portion of said right of way is not needed for public use except for easements reserved by Section 2 hereof,

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF ALBUQUERQUE, NEW MEXICO:

(Beginning 55 feet east of the center line)
SECTION 1. Fruit Avenue ~~NE between the east right of way line of Broadway Boulevard and the west right of way line of the north-south alley in Block 2, Balduini Addition as filed in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 1923, and in Block 2, Sulzer Addition as filed in the office of the County Clerk of Bernalillo County, New Mexico on January 29, 1892, is hereby closed and vacated subject to easements reserved by Section 2 hereof.~~

for surface drainage
SECTION 2. The City hereby reserves easements for public utilities, whether municipally or privately owned, which may be necessary for public use and benefit at the present time or in the future.

SECTION 3. Immediately upon the effective date of this ordinance, the land above-described shall be effectively vacated, and the City of Albuquerque by this ordinance disclaims from such date any further interest therein except for easements reserved by Section 2 hereof.

SECTION 4. This ordinance is an emergency measure due to urgent public need and will be effective five days after publication in full in accordance with law.

ADOPTED: _____

Chairman, City Commission, Albuquerque, N.M.

ATTEST:

, City Clerk

MAR - 6

9454

CITY COMMISSION

August 28, 1972

V-72-22

706

ORDINANCE NO. 180-1972

AN ORDINANCE VACATING A PORTION OF FRUIT AVENUE NE EAST OF THE EAST RIGHT OF WAY LINE OF BROADWAY BOULEVARD, AND DECLARING AN EMERGENCY.

WHEREAS, there has heretofore been dedicated and conveyed to the City of Albuquerque, New Mexico, a certain easement for street purposes, more particularly described below, and

WHEREAS, a portion of said right of way is not needed for public use except for easements reserved by Section 2 hereof,

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF ALBUQUERQUE, NEW MEXICO:

SECTION 1. That portion of Fruit Avenue NE lying between a north-south line parallel to and 23 ft. east of the present easterly right of way line of Broadway Boulevard NE and the westerly right of way line of the north-south alley in Block 2, Balduini Addition as filed in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 1923, and in Block 2, Sulzer Addition as filed in the office of the County Clerk of Bernalillo County, New Mexico on January 29, 1892, is hereby closed and vacated subject to easements reserved by Section 2 hereof.

SECTION 2. The City hereby reserves easements for surface drainage and for public utilities, which are now or may hereafter be owned, which may be necessary for public use and benefit, and for use in the future.

SECTION 3. Immediately upon the effective date of this ordinance, the land above-described shall be effectively vacated, and the City of Albuquerque by this ordinance disclaims from such date any further interest therein except for easements reserved by Section 2 hereof.

SECTION 4. This ordinance is an emergency measure due to urgent public need and will be effective five days after publication in full in accordance with law.

ADOPTED: August 28, 1972

Harry E. Ximenes
Chairman, City Commission, Albuquerque, N.M.

ATTEST: Guile Paternal, City Clerk

See draft of ↑
this ordinance
of following page
for legible copy
of Section 2.

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

SEP 14 1972 noon
At 3:00 clock P.M. Recorded in Vol. 277
of records of said County Folio 706
[Signature] Clerk & Recorder
Deputy Clerk



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 27, 1995

Tom Isaacson, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

RE: CONCEPTUAL GRADING AND DRAINAGE PLAN FOR GATEWAY APARTMENTS ON
TRACT A-1, LOMAS CENTER (J14/D109), SUBMITTED FOR SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT APPROVAL, ENGINEER'S STAMP DATED 1/26/95.

Dear Mr. Isaacson:

Prior to approval of the above referenced plan the following comments must be addressed:

1. Please show the limits of the existing floodplain on the grading and drainage plan. The property owner should be made aware that he may still be subject to flood insurance requirements even though the finish floor elevation of the proposed building is higher than the base flood elevation.
2. Show both existing and proposed contours for on-site and off-site. Do off-site flows enter the site from the south side?
3. Please provide me with a copy of the drainage easement that you are requesting to vacate with this development.
4. Please justify that there is adequate downstream capacity, or explain why free discharge from this site should be allowed.

If you should have any questions regarding these comments, please do not hesitate to call me at 768-2650.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Gateway Apartments ZONE ATLAS/DRNG. FILE #: J14/10109
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: Tract A-1, Lomas Center
 CITY ADDRESS: Southeast Corner of Lomas & Broadway
 ENGINEERING FIRM: Isaacson & Artman CONTACT: Tom Isaacson
 ADDRESS: 128 Monroe NE 87108 PHONE: 268-8828
 OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: Dekker/Perich & Assoc CONTACT: Ren Witherspoon
 ADDRESS: 6501 Americas Parkway NE PHONE: 888-3111
 SURVEYOR: GMA, Inc CONTACT: Rodger Kretz
 ADDRESS: 5700 Harper Dr NE 87109 PHONE: 823-4494
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

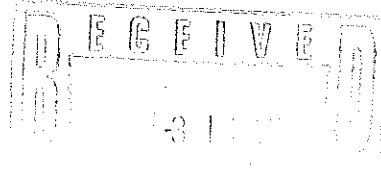
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

1/30/95

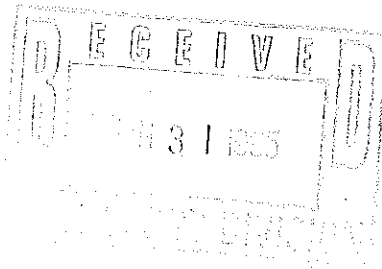
BY:

Tom Isaacson

Gateway Apartments

SUPPLEMENTARY DRAINAGE
INFORMATION

Page	Title
1	Flood Hazard Map
2	Offsite Drainage Map
3	Historic Land Treatment Map
4	Q ₁₀₀ Runoff Calculations
5	Plat Map Showing Drainage Easement Vacation Request



J

- A99 Areas of 100-year flood to be protected by flood protection system under construction; base flood elevations and flood hazard factors not determined.
- B Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood. (Medium shading)
- C Areas of minimal flooding. (No shading)
- D Areas of undetermined, but possible, flood hazards.
- V Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors not determined.
- V1-V30 Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors determined.

NOTES TO USER

Certain areas not in the special flood hazard areas (zones A and V) may be protected by flood control structures.

This map is for flood insurance purposes only; it does not necessarily show all areas subject to flooding in the community or all planimetric features outside special flood hazard areas.

For adjoining map panels, see separately printed Index To Map Panels.

Zone AH Flood Zone (100yr),
Elev = 4954
Bldg Floor Elev = 4957.5

INITIAL IDENTIFICATION:

AUGUST 20, 1978

FLOOD HAZARD BOUNDARY MAP REVISIONS:

DECEMBER 4, 1979

FLOOD INSURANCE RATE MAP EFFECTIVE:

FLOOD HAZARD MAP

SHEET 1 OF 2

1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20
21	22	23	24	25
26	27	28	29	30
31	32	33	34	35
36	37	38	39	40
41	42	43	44	45
46	47	48	49	50

MATCH LINE TO ADJOINING MAP

Refer to the FLOOD INSURANCE RATE MAP EFFECTIVE date shown on this map to determine when actuarial rates apply to structures in the zones where elevations or depths have been established.

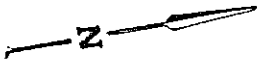
To determine if flood insurance is available in this community, contact your insurance agent, or call the National Flood Insurance Program at (800) 638-6620.



SCALE 1"=500'



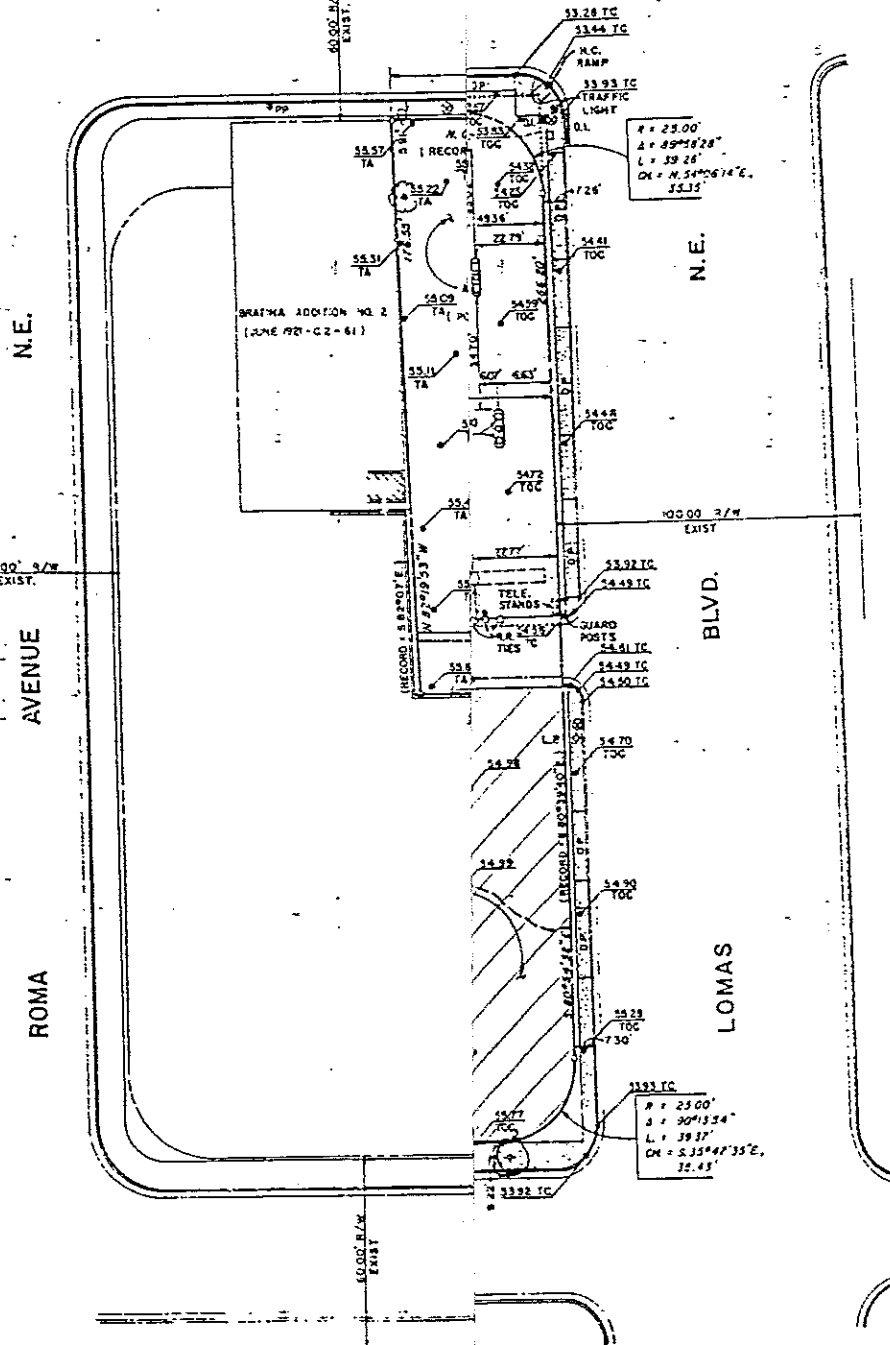
OFFSITE DRAINAGE MAP
Scale: 1" = 200'



SCALE: 1" = 30'

END

- LIGHT POLE
- LIGHT STANDARD
- POWER POLE
- WATER METER
- GAS METER
- MANHOLE
- ANCHOR
- TRAFFIC LIGHTS
- SIGN
- WATER VALVE
- FIRE HYDRANT
- TREE
- CHAINLINK FENCE
- BLOCK WALL
- CURB
- BUILDINGS
- CONCRETE
- DROP INLET
- DRIVE PAD
- PARKING BUMPERS
- TOP OF CONCRETE
- TOP OF ASPHALT
- TOP OF CURB



LEGEND



sewer
dirt areas

SEWAGE TREATMENT

RUNOFF CALCULATIONS FOR Q₁₀₀

Precip.	Q ₁₀₀ Runoff Rates (cfs/ac)			
Zone	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.56	2.28	3.14	4.70
3	1.87	2.60	3.45	5.02
4	2.20	2.92	3.73	5.25

Zone
2

Analysis Point	Areas (ac)				Q ₁₀₀ (cfs)	Remarks
	A _T	A _A	A _B	A _C	A _D	
I	0.80			0.05	0.75	Proposed
II	1.31		0.09	0.08	1.14	"
III	0.24			0.10	0.14	"
IV	0.31		0.02		0.29	"
V	0.65		0.20	0.09	0.36	"
	3.31					14.30
Total Site	3.31			0.69	2.62	14.48 Historic

TRACT A-1
144,121 SQ. FT.
-3.3086 ACRES

TRACT A-1
144,121 SQ. FT.
-3.3086 ACRES

Existing Public Drainage
Easements - Location
Requested this Development

ARNO STREET N.E.

PLAT MAP

Showing existing Drainage

5.

BRATINA ADDITION No.2

FILED: 6/3/21
VOL. 02, FOLIO 61

MARTINEZTOWN PLAN

8221741 W : (8221953 W) 176.16

NO9°07'11"E

09

43

5805279E 3.24

⑤

(NO907-00-E)

203.62.

17.47

120.09'

→

PROPOSED RIGHT OF WAY LINE



VACATED FRUIT AVE.)
N.E (V-73-23)

(N80.36.49

80.36,53 W
(N80)

U
C
L
O
C
A
T
I
O
N

AA 14.07.60C

ARCEL 11
MARTINEZTOWN PLAN
(PHASE 4)
LEEDS: 1/3/75
VOL C10, FOLIO 71

N.E (V-73-23)

S09°23'42"W

1.00W)

315.56

5

250.6

(5805435E)

55.45005

5712-89L
5440-1
247