

DRAINAGE PLAN

The following items concern the Sawmill Infill Housing Project are contained herein:

1. Vicinity Map
2. Grading Plan
3. Flood Map

Existing Conditions:

As shown by the Vicinity Map, the site is located at the Southwest corner of Fifth Street NW and Constitution Avenue NW. At present the site contains 4 vacant platted lots which face onto Fifth Street NW.

According to Flood Insurance Rate Map 350002-0028 the site lies in flood zone "B", with Constitution Avenue NW lying in a 100 year floodzone AO (Depth 1').

Proposed Conditions:

As shown by this plan, the proposed improvements consist of 4 townhouses which are to be replatted into 4 lots facing Constitution Avenue NW. Since Constitution Avenue NW is in a flood zone with one foot depth of flow, the finish floor elevations are required to be one foot above the flood elevations per the City Flood Hazard Ordinance.

In order to assure the Townhouses were floodproofed from the street flooding, finish floor elevations were established as follows:

Finish Floor = Highest curb flowline + 1 foot flow + 1 foot (safety factor)
 elevation at depth (City Flood Ordinance)
 Front Property Corner AO (Depth 1)

The grading plan is designed to swale all roof runoff to the street. The future carparks will not be enclosed so they cannot block these swale flows. The only flows that will be in the backyard are flows from the backyard only, no impervious flows.

Offsite:

As previously mentioned there is the possibility street flows could enter the site, but the finish floors are elevated one foot above this flood elevation. As for offsite flows from the alley they drain North in the alley and into Constitution Boulevard, they do not enter the site. Flows from the South are relatively at the same grade as this site and therefore will not impact this site.

Downstream Capacity:

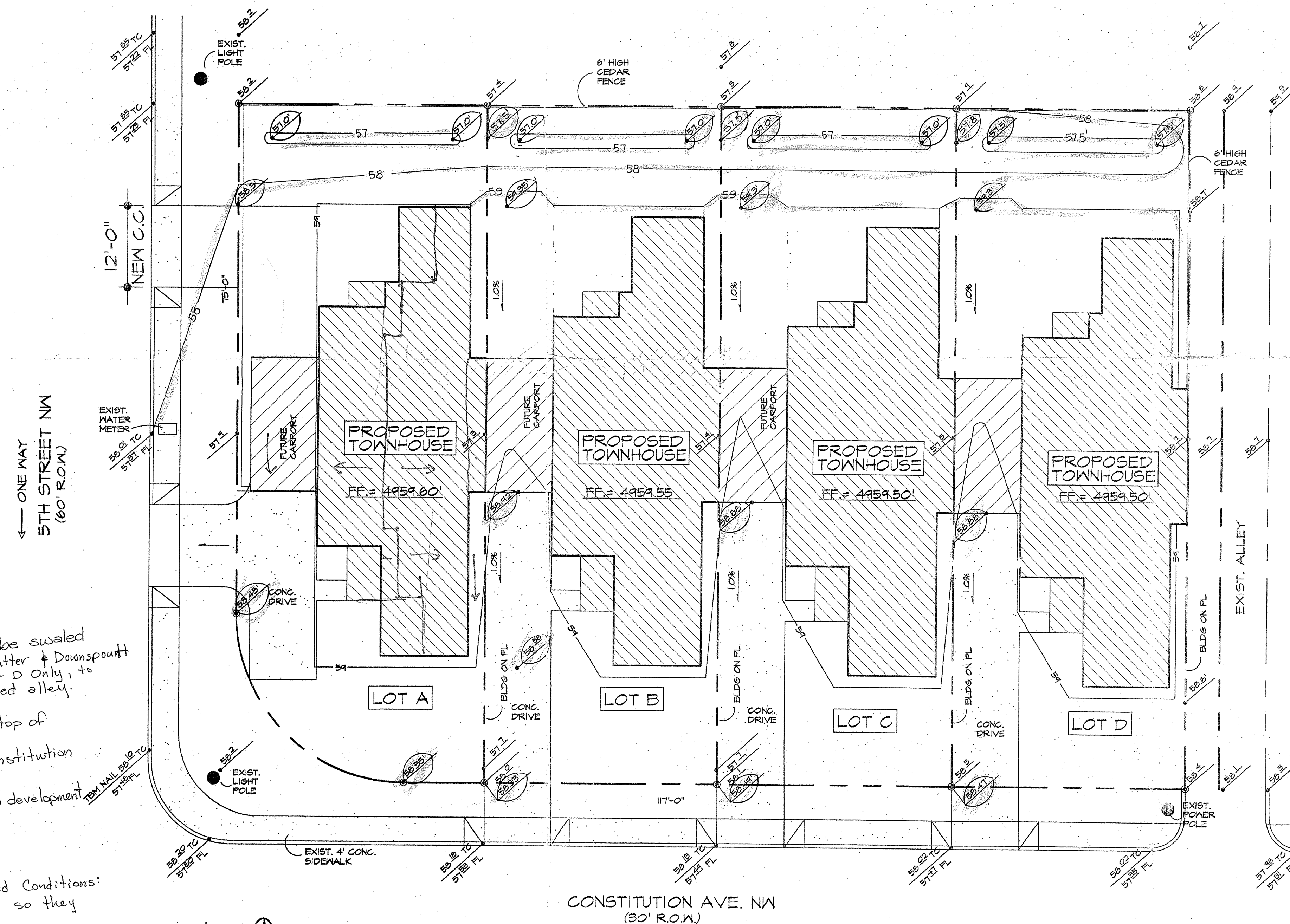
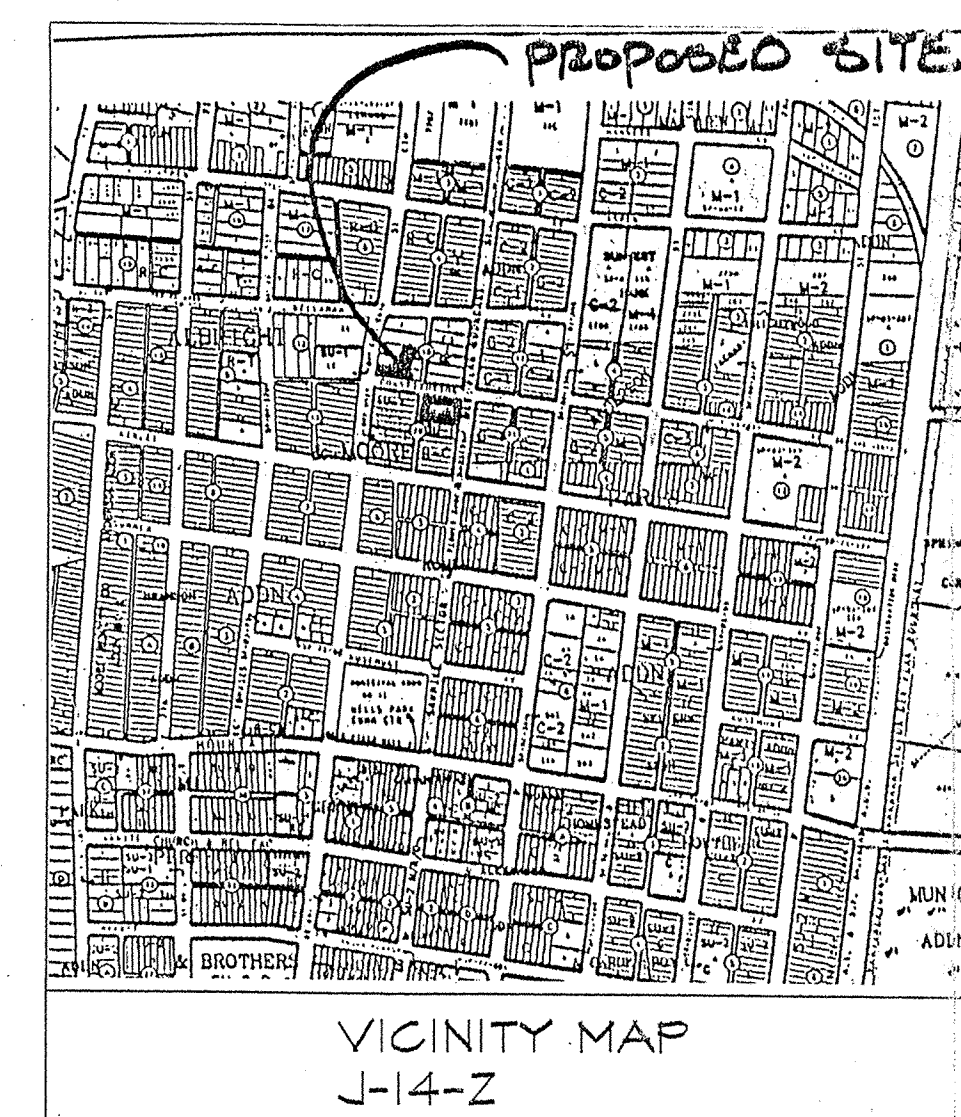
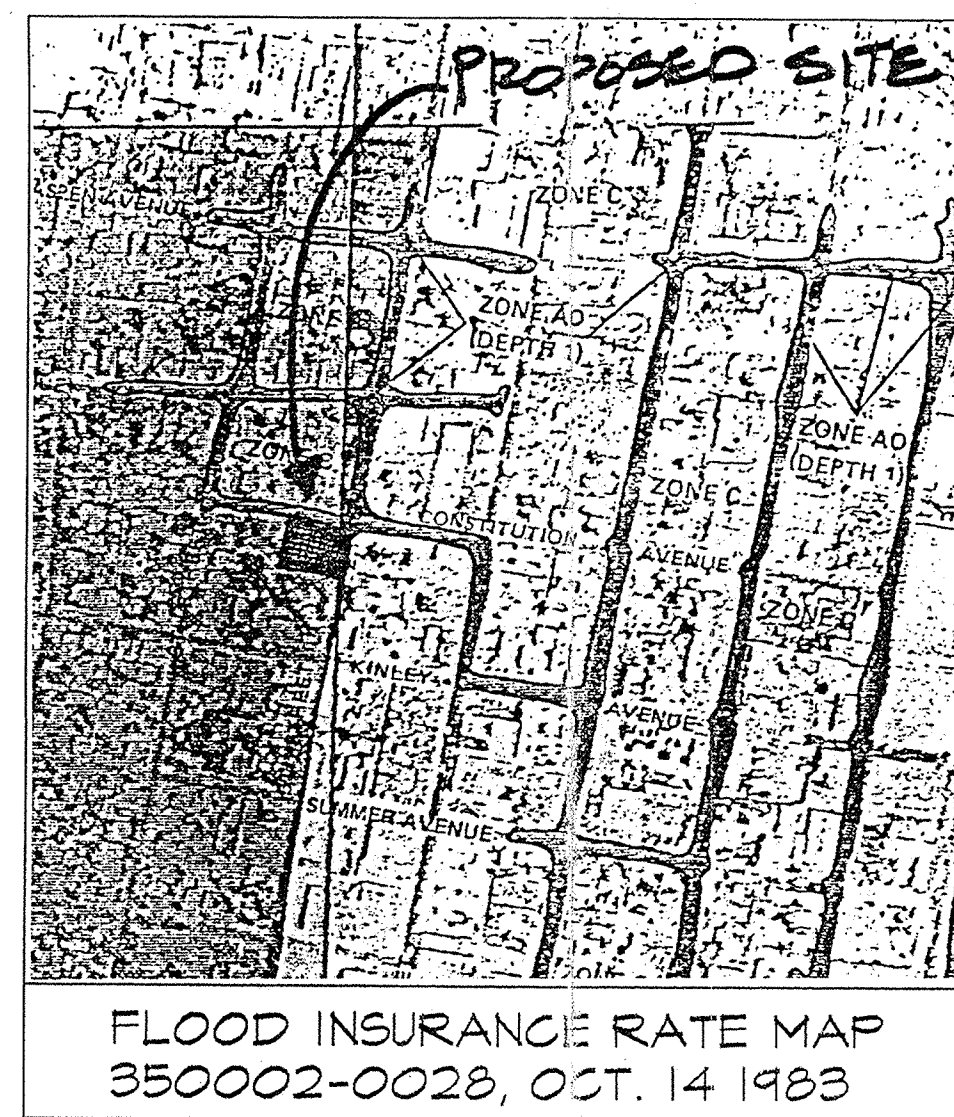
As previously mentioned this site is currently platted with 4 lots facing 5th street. This replat will take the same 4 lots and face them onto Constitution. This replat is not creating additional lots to this area therefore, free discharge should be appropriate. Also this site is in an infill area, within a developed drainage basin, the additional flow from the impervious area should not have a impact to downstream capacity.

Drainage Calculations:

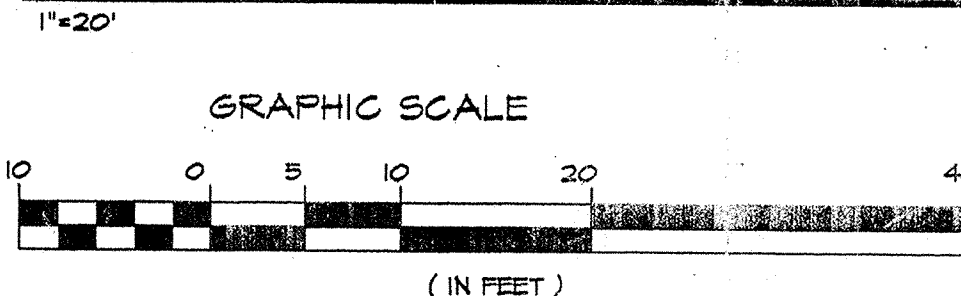
It was decided per the attached pre-design that calculations for flow would not be required from the Neighborhood Housing Project due to their limited funds, and if all impervious flows are directed to the street. The main concern was that the structures be elevated one foot above the 100 - year floodplain that exist in Constitution Avenue. Both of these constraints were met per the attached grading plan.

Response

1. Location & Direction of roof-drains (All roofs are pitched, flows will be swaled to front yard, Added Roof Gutter & Downspout to west side of residence in Lot D Only, to keep flows from entering unpaved alley.)
2. North arrow to the top of the sheet or may point to the left or right not to the bottom (North Arrow now points to the top of sheet)
3. Indicate the street flooding on the plan drawings (Now shown on Constitution Avenue.)
4. Is the existing alley paved? (No it is gravel, flows from development will go to not go to alley)
5. Note: that when the future carparks are constructed, they will not impede the flows from the rear or side yards.
 (Added NOTE - per item A. under Proposed Conditions: The future carparks will not be enclosed so they cannot block these swale flows.)



DRAINAGE & GRADING PLAN



LEGEND

- 58.88' PROPOSED GRADE
- 58.88' TC EXISTING TOP OF CURB
- 57.88' FL EXISTING CURB FLOWLINE

BENCHMARK

- A. ACS - LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF 5TH STREET & CONSTITUTION AVE. AN ACS 1-3/4" ALUMINUM DISK STAMPED 'ACS BM, 24-J14' SET IN TOP OF THE CONCRETE CURB, CENTERED ABOVE A DROP INLET AT THE N.E. QUADRANT OF THE INTERSECTION.
- B. TBM - LOCATED AT THE SOUTHEAST QUADRANT OF THE INTERSECTION OF 5TH STREET & CONSTITUTION AVE. A 5d PENNEY NAIL SET AT THE S.S.W. QUADRANT OF THE INTERSECTION BEHIND THE CURB AT THE POINT OF CURVATURE FOR THE CURB RETURN.

SAWMILL INFILL HOUSING PROJECT LOTS 1 THRU 4, BLOCK 20, ALBRIGHT MOORE ADDT. GRADING/ DRAINAGE PLAN

REVISION DATE	
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DATE	02-08-95
SHEET NUMBER	D-1