



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 11, 1996

Tom Blaine, PE
Leedshill-Herkenhoff, Inc
500 Copper Ave. NW
Albuquerque, NM 87103


**RE: LA AMISTAD SENIOR HOUSING (J14-D113) GRADING PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 2-27-96.**

Dear Mr. Blaine:

Based on the information provided on your February 28, 1996
submittal, the above referenced project is approved for Building
Permit.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: La Amistad Senior Housing ZONE ATLAS/DRNG. FILE #: J-14 / 10113
DRB: N/A EPC #: N/A WORK ORDER #: N/A
LEGAL DESCRIPTION: Parcel 13A & 13B Neighborhood Development Program NM A-1
CITY ADDRESS: SE Corner of Lomas Blvd. & Edith Blvd.
ENGINEERING FIRM: Leedshill-Herkenhoff, Inc. CONTACT: Tom Blaine, P.E.
ADDRESS: 500 Copper Ave. N.W., P.O. Box 1217 PHONE: (505) 247-0294
OWNER: Albuquerque Housing Services CONTACT: Sylvia Giomi
ADDRESS: 1840 University SE, Albuquerque, NM PHONE: (505) 764-3960
ARCHITECT: Morrow & Company CONTACT: Elizabeth Reardon
ADDRESS: 210 La Veta NE, Alb., NM 87108 PHONE: (505) 268-2266
SURVEYOR: City of Albuquerque CONTACT: Dan Montano
ADDRESS: Surveying Section PHONE: (505) 768-3612
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 2/28/96

BY: Tom Blaine

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAN APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

16, E 11 V E
FEB 28 1996
COY DIV

G:\DATA\WP\BOILER\COADRAIN.J14



LEEDSHILL - HERKENHOFF, INC.
Copper Square
P.O. Box 1217
Albuquerque, New Mexico 87103

LETTER OF TRANSMITTAL

PROJECT: LA AMISTAD SENIOR HOUSING
(name, address)

LEEDSHILL - HERKENHOFF, INC.
PROJECT NO: 96002.14

TO: CITY OF ALBUQUERQUE
3RD FLOOR HYDROLOGY SECTION
ONE CIVIC PLAZA

DATE: 2/28/96

ATTN: LISA MANWILL

If enclosures are not as noted, please
inform us immediately.

If checked below, please:

- () Acknowledge receipt of enclosures.
() Return enclosures to us.

WE TRANSMIT:

☒ herewith () under separate cover via _____
() in accordance with your request _____

FOR YOUR:

() approval () distribution to parties
☒ review & comment () record
() use _____

THE FOLLOWING:

☒ Drawings () Shop Drawings
() Specifications () Estimates
() Contract Documents () _____
() Change Orders

COPIES	DATE	REV.NO.	DESCRIPTION	ACTION CODE
1	2/27/96		GRADING PLAN - LA AMISTAD GAZEBO	

ACTION CODE
A. Action indicated on item transmitted
B. No action required
C. For signature and return to this office

D. For signature and forwarding as noted below under REMARKS
E. See REMARKS below

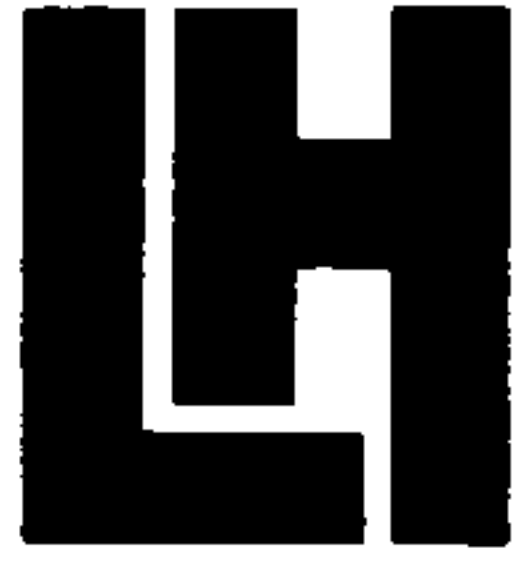
REMARKS _____

COPIES TO: (with enclosures)

_____	<input type="checkbox"/>
_____	<input type="checkbox"/>
_____	<input type="checkbox"/>
_____	<input type="checkbox"/>
_____	<input type="checkbox"/>
_____	<input type="checkbox"/>
_____	<input type="checkbox"/>

BY:

Karm M. Jacobsen



LEEDSHILL-HERKENHOFF, INC.

500 Copper Avenue N.W.

P. O. Box 1217

Albuquerque, New Mexico 87103

(505) 247-0294

235-96002.14-96

February 26, 1996

Ms. Lisa Manwill
PWD/Utility Development/Hydrology Section
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

**RE: LA AMISTAD SENIOR HOUSING
CITY OF ALBUQUERQUE HOUSING SERVICES, ZONE ATLAS NO. J-14**

Leedshill-Herkenhoff, Inc. (LH) has prepared this as a submittal for a Building Permit, as requested in your letter dated February 12, 1996. (Copy attached.) This letter stated that the above referenced project was approved for Grading Permit and Foundation Permit. It was necessary to tie the project elevations to a City of Albuquerque permanent bench mark before a Certificate of Occupancy would be issued.

Please reference the previous submittal for any duplicate information, (Engineer's stamp dated 1-30-96) and the attached drawing for the new bench mark information.

If I can be of further assistance, please feel free to contact me or Tom Blaine at 247-0294.

TOM BLAINE, PE
Project Manager

KAREN M. MENNE'-JACOBSEN
Project Intern

cc: Liz Reardon, Morrow & Company



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 12, 1996

RECEIVED

FEB 14 1996

Tom Blaine, PE
Leedshill-Herkenhoff, Inc
500 Copper Ave. NW
Albuquerque, NM 87103

LEEDSHILL - HERKENHOFF, INC.
ALBUQUERQUE

**RE: LA AMISTAD SENIOR HOUSING (J14-D113) GRADING PLAN FOR
FOUNDATION AND GRADING PERMIT APPROVAL. ENGINEER'S STAMP
DATED 1-30-96.**

Dear Mr. Blaine:

Based on the information provided on your February 12, 1996
submittal, the above referenced project is approved for Grading
Permit and Foundation Permit.

I am assuming that an existing finish floor elevation will be
used as a temporary bench mark and that all finish floor
elevations shown, are correct. Prior to Certificate of Occupancy
an Engineer's Certification will be required. You will need to
show that the project ties into a City of Albuquerque permanent
bench mark.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,

Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 12, 1996

Tom Blaine, PE
Leedshill-Herkenhoff, Inc
500 Copper Ave. NW
Albuquerque, NM 87103

**RE: LA AMISTAD SENIOR HOUSING (J14-D113) GRADING PLAN FOR
FOUNDATION AND GRADING PERMIT APPROVAL. ENGINEER'S STAMP
DATED 1-30-96.**

Dear Mr. Blaine:

Based on the information provided on your February 12, 1996
submittal, the above referenced project is approved for Grading
Permit and Foundation Permit.

I am assuming that an existing finish floor elevation will be
used as a temporary bench mark and that all finish floor
elevations shown, are correct. Prior to Certificate of Occupancy
an Engineer's Certification will be required. You will need to
show that the project ties into a City of Albuquerque permanent
bench mark.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,

Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
CFile

DRAINAGE INFORMATION SHEET

PROJECT TITLE: La Amistad Senior Housing

ZONE ATLAS/DRNG. FILE #: J-14/0113

DRB: N/A EPC #: N/A

WORK ORDER #: N/A

LEGAL DESCRIPTION: Parcel 13A & 13B Neighborhood Development Program NM A-1

CITY ADDRESS: SE Corner of Lomas Blvd. & Edith Blvd.

ENGINEERING FIRM: Leedshill-Herkenhoff, Inc.

CONTACT: Tom Blaine, P.E.

ADDRESS: 500 Copper Ave. N.W., P.O. Box 1217

PHONE: (505) 247-0294

OWNER: Albuquerque Housing Services

CONTACT: Sylvia Giomi

ADDRESS: 1840 University SE, Albuquerque, NM

PHONE: (505) 764-3960

ARCHITECT: Morrow & Company

CONTACT: Elizabeth Reardon

ADDRESS: 210 La Veta NE, Alb., NM 87108

PHONE: (505) 268-2266

SURVEYOR: Barker - Bol & Associates

CONTACT: _____

ADDRESS: 8338B Commanche Rd NE, Abq., NM

PHONE: (505) 296-4886

CONTRACTOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

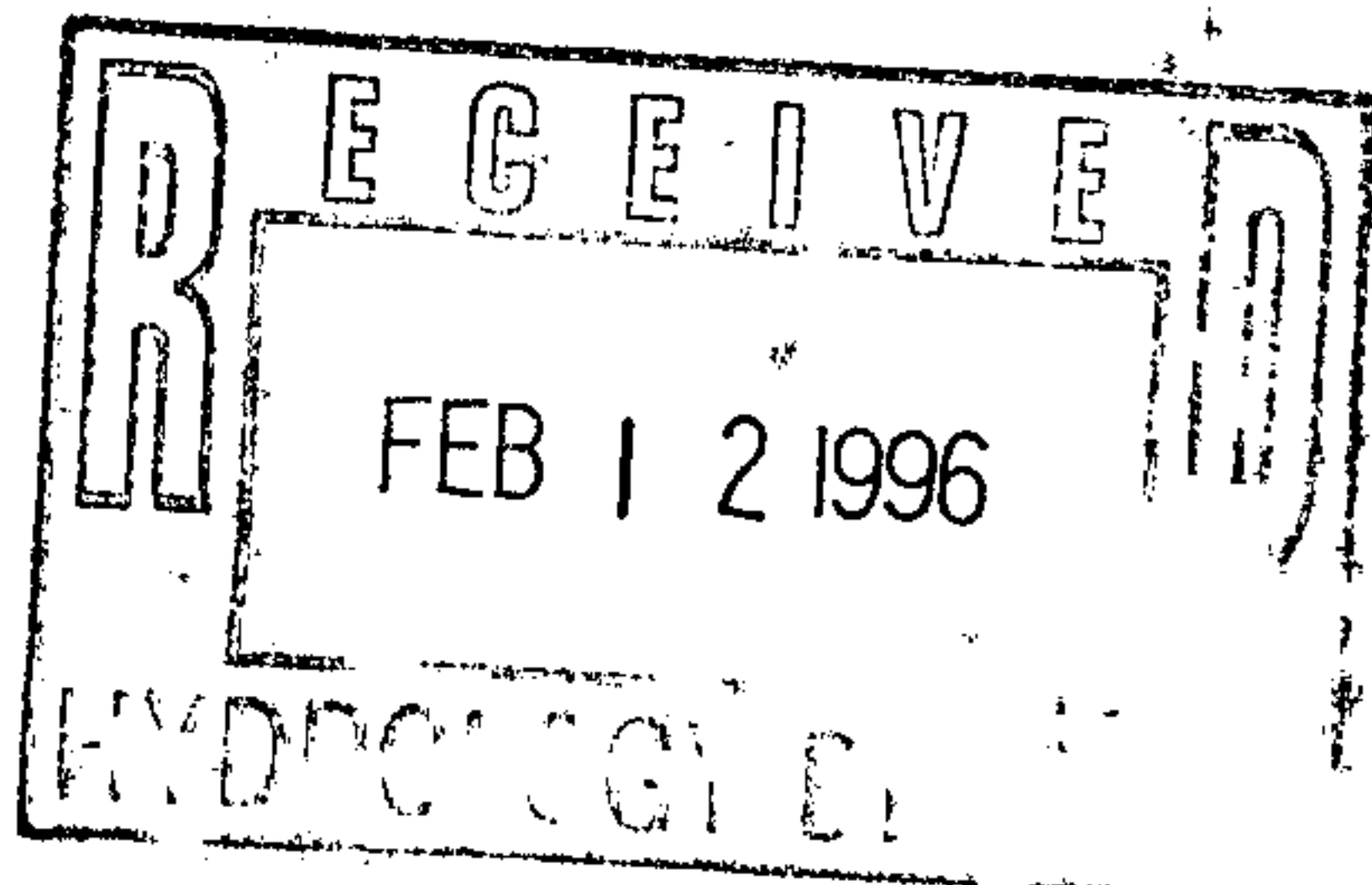
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAN APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 2/12/96

BY: Karen M. Jacobsen - L-H

MORROW AND COMPANY, LTD.

Landscape Architects
210 La Veta NE
ALBUQUERQUE, NEW MEXICO 87108

(505) 268-2266

LETTER OF TRANSMITTAL

TO

Lisa ANN Manwill
Hydrology Dept.
Room 302
City Hall

DATE	<i>2.9.96</i>	JOB NO.	
ATTENTION			
RE:	<i>La Amulad Sr. Nsg</i>		
<i>(714 - D113)</i>			

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

- ☐ Shop drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

COPIES	DATE	NO.	DESCRIPTION
<i>2</i>			<i>Foundation Permit Sets</i>

THESE ARE TRANSMITTED as checked below:

- ☒ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☐ For review and comment ☒ *For signature of approval*
☐ FOR BIDS DUE _____ 19 _____ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS

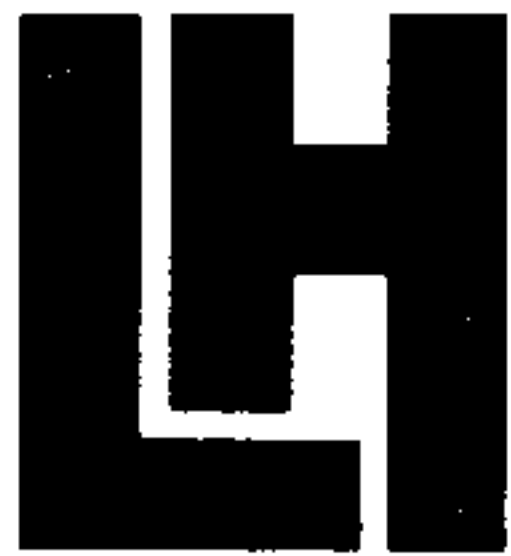
Lisa - These are the plans I disussed
w/ you by phone.
Thanks very much for your help. —

RECEIVED
FEB 12 1996

COPY TO

SIGNED:

Liz Brandon



LEEDSHILL-HERKENHOFF, INC.

500 Copper Avenue N.W.

P. O. Box 1217

Albuquerque, New Mexico 87103

(505) 247-0294

158-96002.14-96

February 12, 1996

Ms. Lisa Manwill
PWD/Utility Development/Hydrology Section
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: LA AMISTAD SENIOR HOUSING
CITY OF ALBUQUERQUE HOUSING SERVICES, ZONE ATLAS NO. J-14**

As per our phone conversation of February 9, 1996, this letter is to inform you of the changes made to Mylar drawing stamped January 30, 1996.

This Mylar drawing is for the above referenced site, and the only changes from the drawing dated January 12, 1996 are that the vicinity map and legal description were added before it was plotted. Morrow & Company needed a fresh copy for their submittal.

LH requests your approval for a Foundation Permit for the above referenced site, and trusts that the information provided meets your needs. If you have any questions please call me, or Tom Blaine at 247-0294.

TOM BLAINE, PE
Project Manager

KAREN M. MENNE'-JACOBSEN
Project Intern

kj/bz

cc: Liz Reardon, Morrow & Co.



LEEDSHILL - HERKENHOFF, INC.
Copper Square
P.O. Box 1217
Albuquerque, New Mexico 87103

LETTER OF TRANSMITTAL

PROJECT: LA AMISTA SENIOR HOUSING
(name, address)

LEEDSHILL - HERKENHOFF, INC.
PROJECT NO: 96002.14

TO: LISA MANWILL
PWD/UTIL-DEVELOPMENT/HYDROLOGY
COA, PO BOX 1293
ATTN: ALBUQUERQUE, NM 87103

DATE: 2/12/96

If enclosures are not as noted, please
inform us immediately.

If checked below, please:
() Acknowledge receipt of enclosures.
() Return enclosures to us.

WE TRANSMIT:

() herewith () under separate cover via _____
(X) in accordance with your request _____

FOR YOUR:

(X) approval () distribution to parties
() review & comment () record
() use _____

THE FOLLOWING:

() Drawings () Shop Drawings
() Specifications () Estimates
() Contract Documents (X) LETTER & DIS.
() Change Orders _____

COPIES	DATE	REV. NO.	DESCRIPTION	ACTION CODE
1	2/12/96		LTR OF EXPL.	
1	2/12/96		DRAINAGE INFO. SHEET	

ACTION CODE A. Action indicated on item transmitted D. For signature and forwarding as noted below under REMARKS
B. No action required E. See REMARKS below
C. For signature and return to this office

REMARKS _____

COPIES TO: (with enclosures)

BY: Karen Jacobsen

DRAINAGE INFORMATION SHEET

PROJECT TITLE: La Amistad Senior Housing ZONE ATLAS/DRNG.FILE #: J-14-7 ¹¹³ ~~U-13~~

DRB #: N/A EPC #: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: Parcel 13-B and 13-A Neighborhood Development Program NM A-1

CITY ADDRESS: SE Corner of Lomas and Edith Blvds.

ENGINEERING FIRM: Leedshill-Herkenhoff, Inc. CONTACT: Tom Blaine, PE

ADDRESS: 500 Copper Ave., NW-P.O. Box 1217 PHONE: (505) 247-0294

OWNER: Albuquerque Housing Services CONTACT: Sylvia Giomi

ADDRESS: 1840 University, SE, Alb., NM PHONE: (505) 764-3960

ARCHITECT: Morrow & Company CONTACT: Liz Reardon

ADDRESS: 210 LaVeta, Alb., NM 87108 PHONE: (505) 268-2266

SURVEYOR: Barker-Bol and Associates CONTACT: _____

ADDRESS: 8338B Comanche Rd NE, Alb. NM 87110 PHONE: (505) 296-4886

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETINGS:

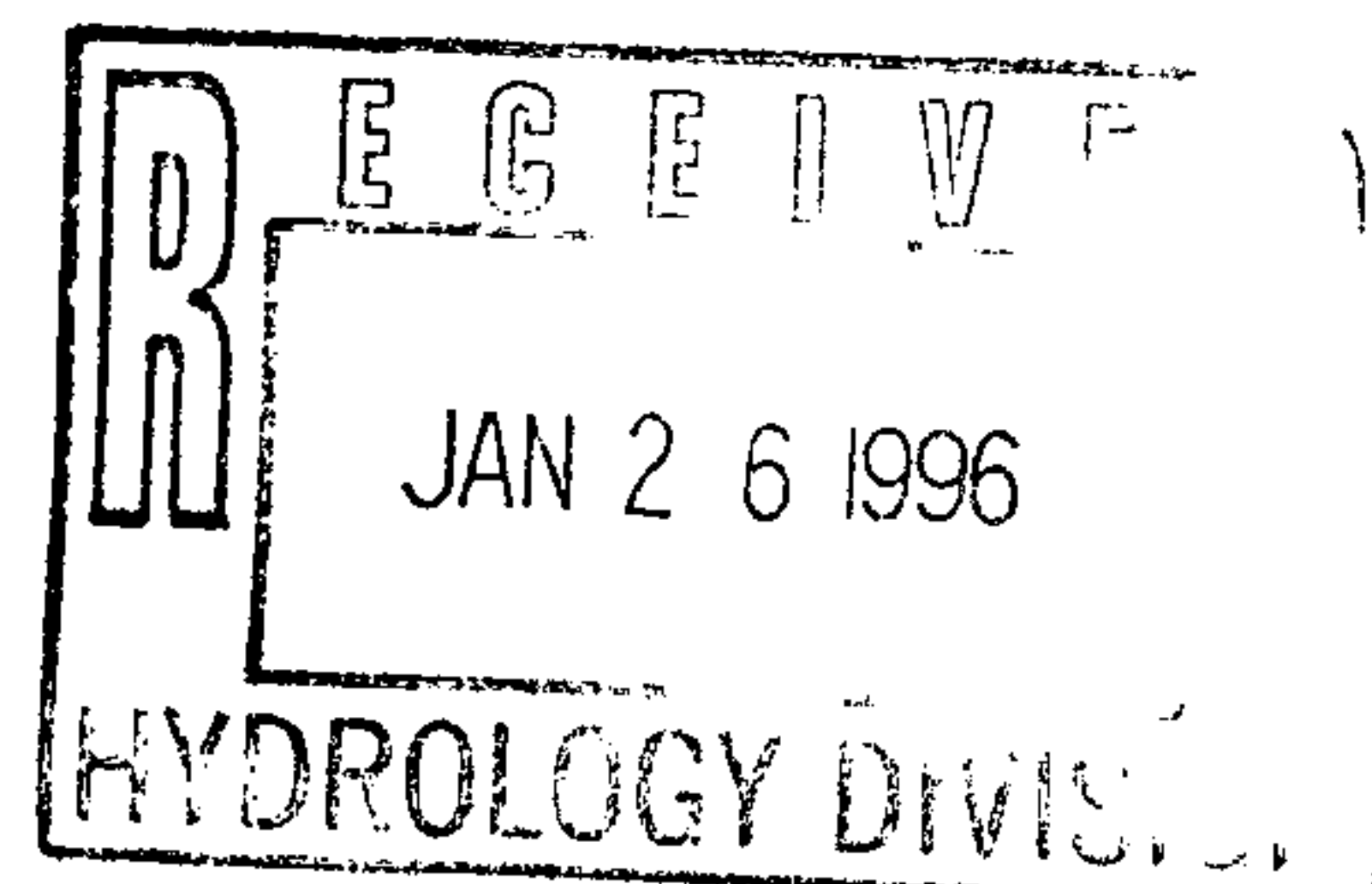
- ☒ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S.DEV. PLAN FOR SUB'D. APPROVAL
☐ S.DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: January 12, 1996

BY: Leedshill-Herkenhoff, Inc.





LEEDSHILL - HERKENHOFF, INC.
Copper Square
P.O. Box 1217
Albuquerque, New Mexico 87103

LETTER OF TRANSMITTAL

PROJECT: LA AMISTAD GAZEBO
(name, address) WHITTIER ELEM. SCHOOL

LEEDSHILL - HERKENHOFF, INC.
PROJECT NO: 96002.12
96002.14

TO: CITY OF ALBUQUERQUE
ONE CIVIC PLAZA 3RD FLR.
ALBUQUERQUE, NM 87103

DATE: 1/12/96

ATTN: LISA MANWILL

If enclosures are not as noted, please
inform us immediately.

If checked below, please:
() Acknowledge receipt of enclosures.
() Return enclosures to us.

WE TRANSMIT:

(X) herewith () under separate cover via _____
() in accordance with your request _____

FOR YOUR:

(X) approval () distribution to parties
(X) review & comment () record
() use _____

THE FOLLOWING:

(X) Drawings () Shop Drawings
() Specifications () Estimates
() Contract Documents (X) REPORT
() Change Orders

COPIES	DATE	REV.NO.	DESCRIPTION	ACTION CODE
1	1/12/96		DRAWING - GRADING PLAN - GAZEBO	
1	1/12/96		GRADING PLAN - SCHOOL	
1	1/12/96		REPORT GAZEBO	
1	1/12/96		REPORT SCHOOL	

ACTION CODE A. Action indicated on item transmitted
B. No action required
C. For signature and return to this office

D. For signature and forwarding as noted below under REMARKS
E. See REMARKS below

REMARKS AS PER OUR PRE-DESIGN MEETING -
HERE ARE DRAWINGS AND REPORTS.

COPIES TO:

(with enclosures)



BY:

Karen M. Jacobsen



LEEDSHILL-HERKENHOFF, INC.

500 Copper Avenue N.W.

P. O. Box 1217

Albuquerque, New Mexico 87103

(505) 247-0294

42-96002.12-96

January 12, 1996

Ms. Lisa Manwill, P.E.
PWD/Utility Development/Hydrology Section
City of Albuquerque
P.O. Box 1293
Albuquerque, N.M. 87103

**RE: LA AMISTAD SENIOR HOUSING
CITY OF ALBUQUERQUE HOUSING SERVICES, ZONE ATLAS NO. J-14**

Leedshill-Herkenhoff, Inc. (LH) has prepared this letter drainage report for the above referenced project site. In accordance with our Pre-Design Conference on January 8, 1996, we are providing the items which need to be submitted to the City for approval of the site grading permit.

Included in this letter, you will find the Drainage Information Sheet, the grading plan for the gazebo at La Amistad Senior Housing, and the drainage calculations performed in accordance with Section 22.2 of the Development Process Manual for the City of Albuquerque.

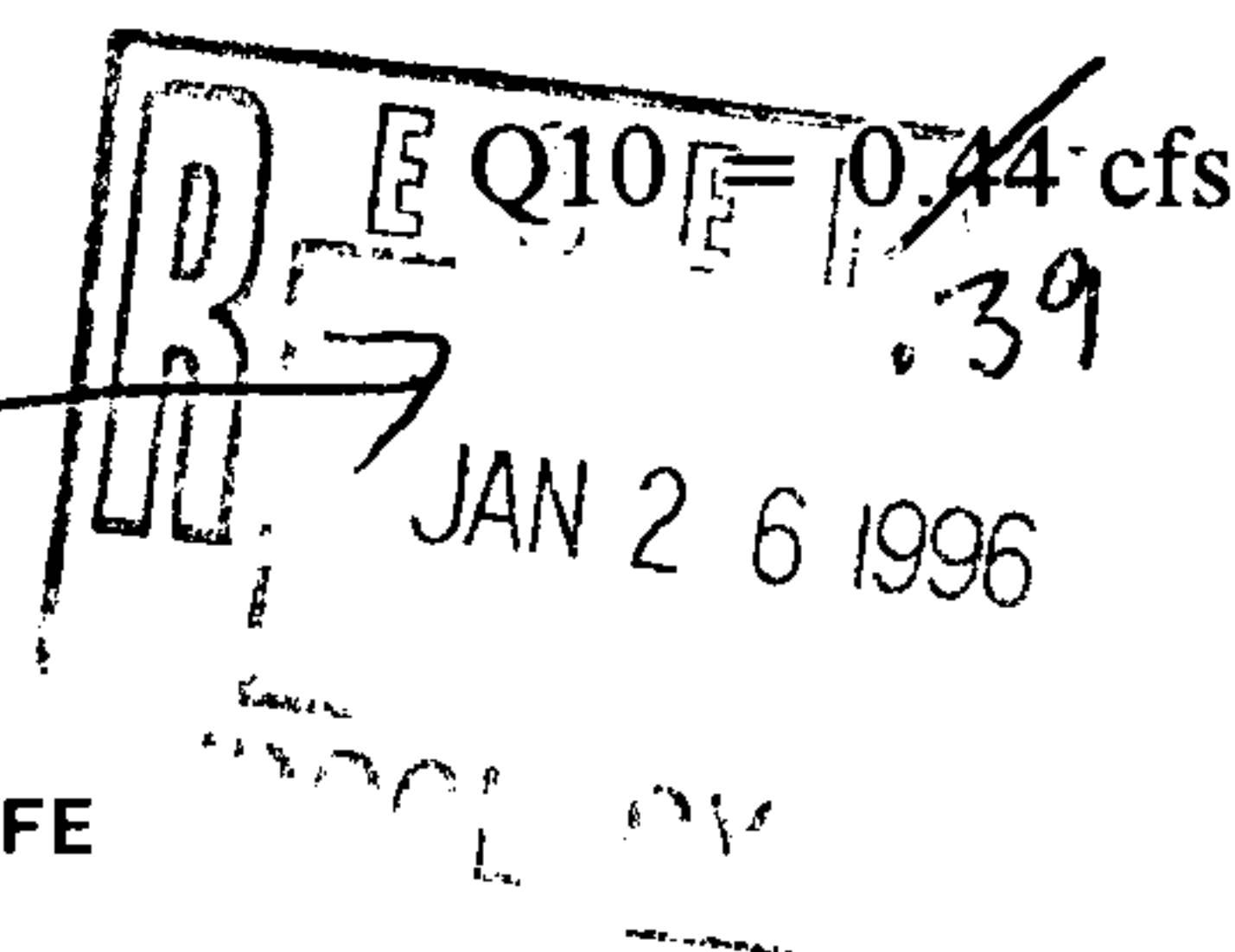
As we discussed, the drainage plan for the Gazebo was coordinated through Morrow & Company, Landscape Architects. We obtained the survey information from them along with their proposed landscaping. As indicated on the plan, the City's Housing Services Department project consists of adding a Gazebo in the common area of the Housing Center. This project will not alter the existing site with respect to peak runoff amounts, drainage patterns or flow direction.

Runoff calculations were performed for the drainage sub-area encompassing the project location for both existing site and the site with the proposed improvements (attached). The results are summarized below:

DATA FROM:	Q100 CALCULATED	Q10 CALCULATED
Existing Conditions	Q100 = 0.31 cfs 0.44	Q10 = 0.27 cfs
Proposed Conditions	Q100 = 0.49 cfs	Q10 = 0.44 cfs 0.39

*This is according to
your calcs on
pg 2 of 7*

ALBUQUERQUE • SAN DIEGO • SANTA FE





Ms. Lisa Manwill, P.E.

January 12, 1996

Page 2

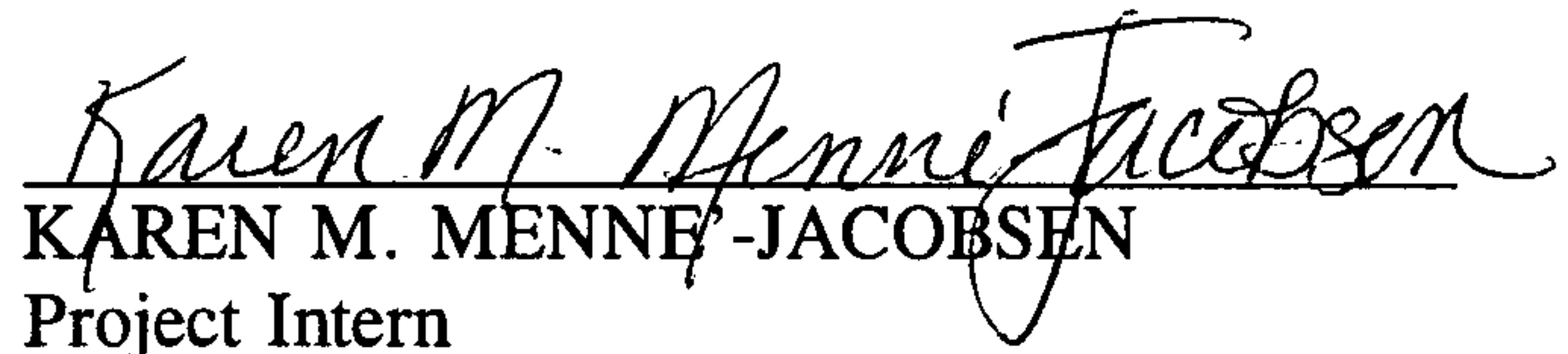
The proposed improvements were calculated to have such small increases in peak discharge that they can be considered to have a negligible effect on the storm drain system.

The site is not located within the 100-year floodplain as indicated on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM), Community Panel 350002 0028c, dated October 14, 1983 (copy attached).

LH requests your approval for a grading permit for the above referenced site, and trust that the information provided meets your needs. If you have any questions please call Tom Blaine or me at 247-0294.



TOM BLAINE
TOM BLAINE, P.E.
Project Manager



KAREN M. MENNE-JACOBSEN
Project Intern

cg

cc: Liz Reardon, Morrow & Co.



LEEDSHILL · HERKENHOFF, INC.

Albuquerque · San Diego · Santa Fe
ENGINEERING COMPUTATIONS

NAME OF PROJECT

LA AMISTAD SENIOR GAZEBO

SHEET NUMBER

1 OF 7

COMPUTED BY:

KJ

CHECKED BY:

JOB NUMBER

96002.14

DATE:

9 JAN 96

CALCULATE ^{NET} CHANGE IN ^{PEAK} RUNOFF FROM
10YR & 100YR STORMS, ACCORDING TO
CITY OF ALBUQUERQUE'S DEVELOPMENT PROCESS
MANUAL, CHAPTER 22.2.

FROM TABLE A-1. PRECIPITATION ZONES

LA AMISTAD AREA (LOMAS & EDITH BLVDS.)

ZONE 2 - BETWEEN THE RIO GRANDE
AND SAN MATEO.

LAND TREATMENT AREAS TAKEN FROM
AUTOCAD DRAWING OF THE SITE

EXISTING CONDITIONS

D - IMPERVIOUS AREA - 3055 SQUARE FEET = 0.07 ACRES

B - LAWN AREA - 2322 SQUARE FEET = 0.05 ACRES

PROPOSED CONDITIONS

D - IMPERVIOUS AREA - 4072 SQUARE FEET = 0.09 ACRES

B - LAWN AREA - 1305 SQUARE FEET = 0.03 ACRES

ALSO FROM COA DPM TABLE A-10, PEAK INTENSITY
AND TABLE A-11, RATIONAL METHOD COEFFICIENT, C

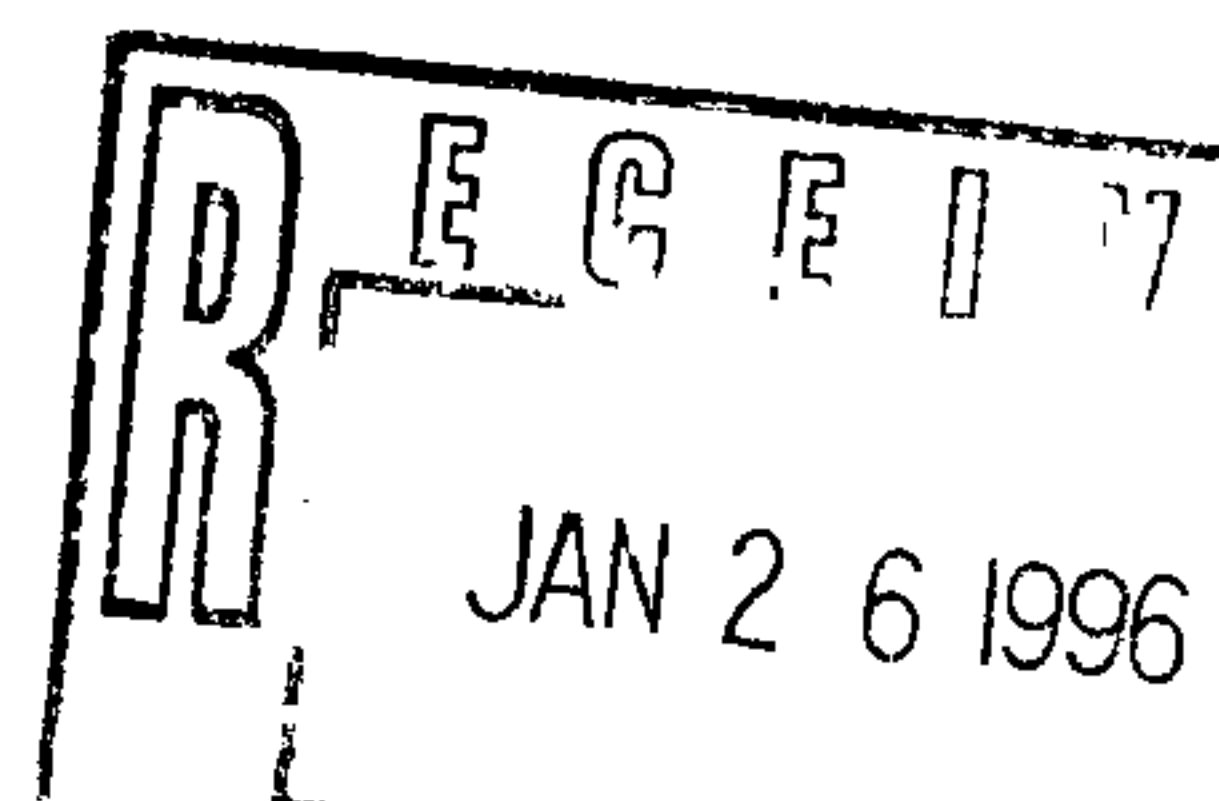
ZONE 2

$$I_{10YR} = 3.41 \text{ IN/HR}$$

$$I_{100YR} = 5.05 \text{ IN/HR}$$

$$C_{D10YR} = 0.92 \quad C_{D100YR} = 0.93$$

$$C_{B10YR} = 0.28 \quad C_{B100YR} = 0.45$$





LEEDSHILL - HERKENHOFF, INC.

Albuquerque • San Diego • Santa Fe
ENGINEERING COMPUTATIONS

NAME OF PROJECT

LA AMISTAD SENIOR GAZEBO

COMPUTED BY:

KJ

CHECKED BY:

JOB NUMBER

9600214

SHEET NUMBER

2 OF 7

DATE:

9 JAN 96

USING THE RATIONAL METHOD TO CALCULATE
PEAK DISCHARGE: $Q = CIA$

EXISTING CONDITIONS:

$$Q_{10} = (0.28)(3.41)(0.05) + (0.92)(3.41)(0.07)$$

$$\underline{Q_{10} = 0.27 \text{ cfs}}$$

$$Q_{100} = (0.45)(5.05)(0.05) + (0.93)(5.05)(0.07)$$

$$\underline{Q_{100} = 0.44 \text{ cfs}}$$

PROPOSED CONDITIONS

$$Q_{10} = (0.28)(3.41)(0.03) + (0.92)(3.41)(0.09)$$

$$\underline{Q_{10} = 0.31 \text{ cfs}}$$

$$Q_{100} = (0.45)(5.05)(0.03) + (0.93)(5.05)(0.09)$$

$$\underline{Q_{100} = 0.49 \text{ cfs}}$$

SUMMARY TABLE

INLET AT DRIVEWAY ON
FRUIT STREET

EXISTING CONDITIONS	$Q_{100} = 0.44 \text{ cfs}$	$Q_{10} = 0.27 \text{ cfs}$
PROPOSED CONDITIONS	$Q_{100} = 0.49 \text{ cfs}$	$Q_{10} = 0.31 \text{ cfs}$



LEEDSHILL · HERKENHOFF, INC.

Albuquerque • San Diego • Santa Fe
ENGINEERING COMPUTATIONS

NAME OF PROJECT

LA AMISTAD SENIOR GAZEBO

COMPUTED BY:

KJ

CHECKED BY:

JOB NUMBER

96002-14

SHEET NUMBER

3 OF 7

DATE:

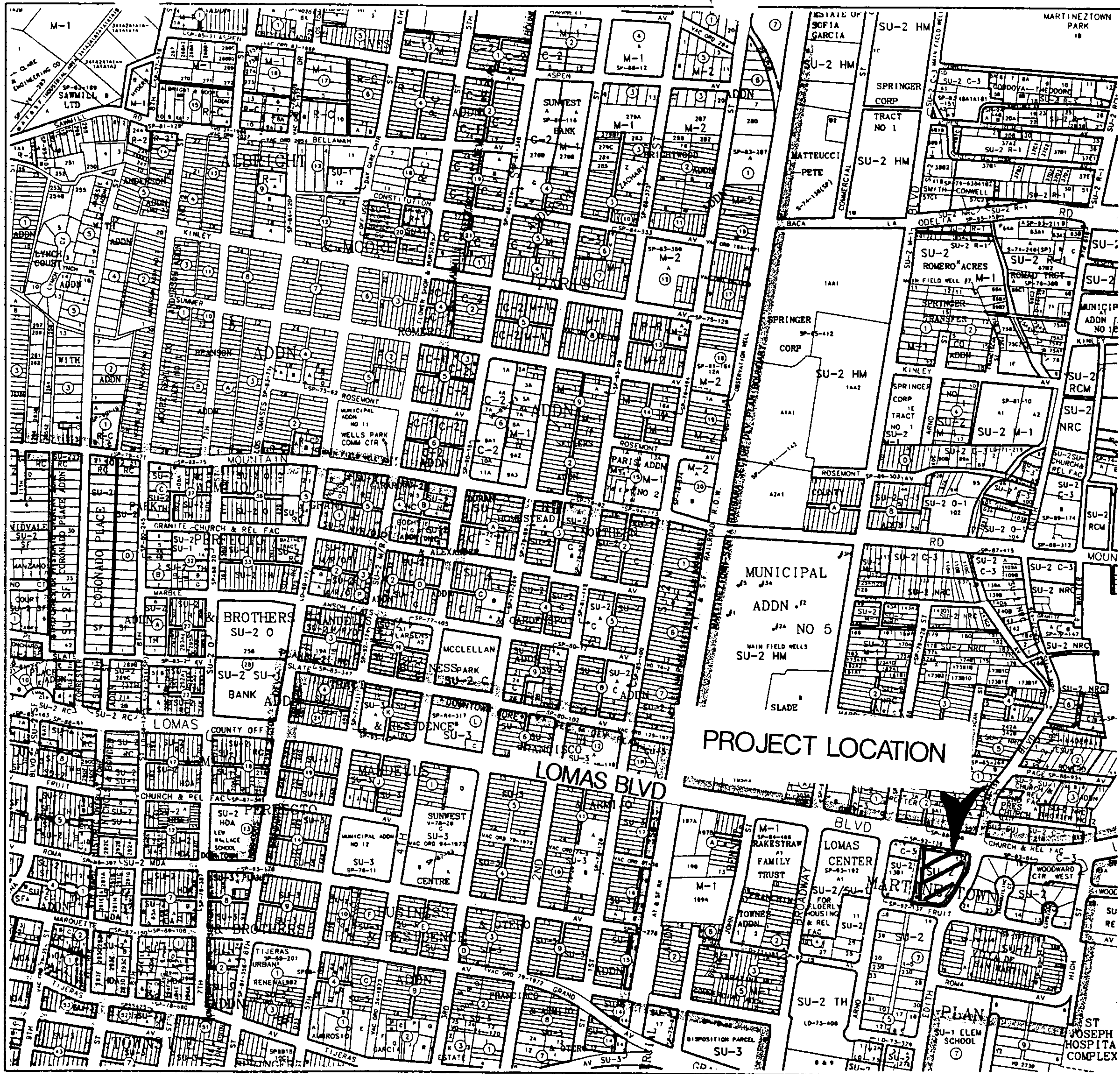
9 JAN 96

IN SUMMARY;

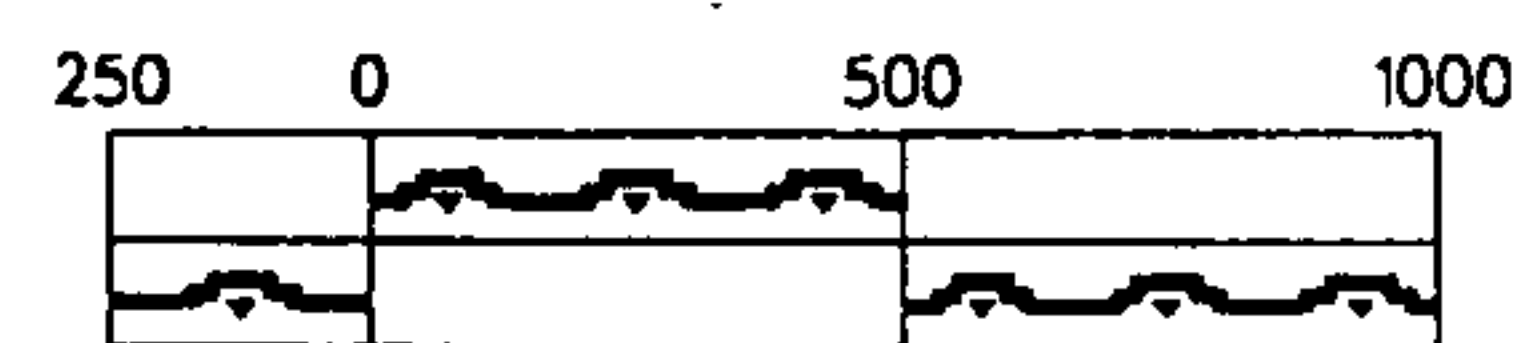
THIS SITE DRAINS TO A STORM INLET IN FRUIT AVE.
(SEE GRADING PLAN FOR LOCATION.)

THE ^{NET} CHANGE IN PEAK DISCHARGE IS
SO SMALL (LESS THAN 0.05 cfs) THAT IT
CAN BE CONSIDERED NEGLIGIBLE.

THE PIPE FOR THIS SECTION OF THE STORM
DRAIN SYSTEM IS 30" DIAMETER, SO IT CAN
HANDLE THE INCREASE IN FLOW.

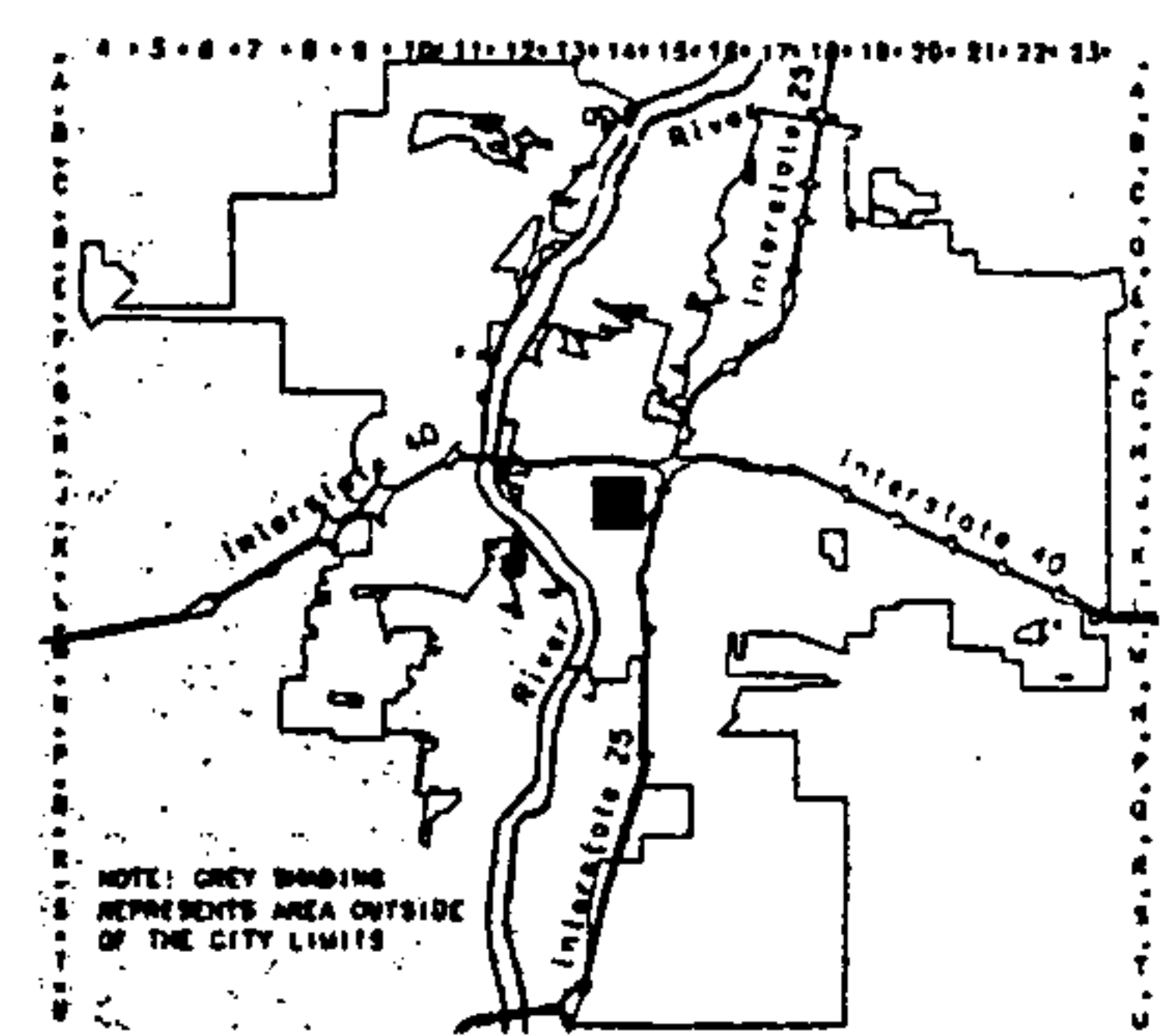


GRAPHIC SCALE IN FEET



CITY OF
Albuquerque
PLANNING DEPARTMENT
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Map Amended through September 01, 1995



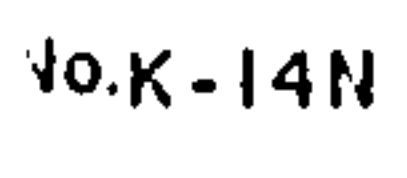
LEGAL DESCRIPTION





TION
RSE
SEC 17

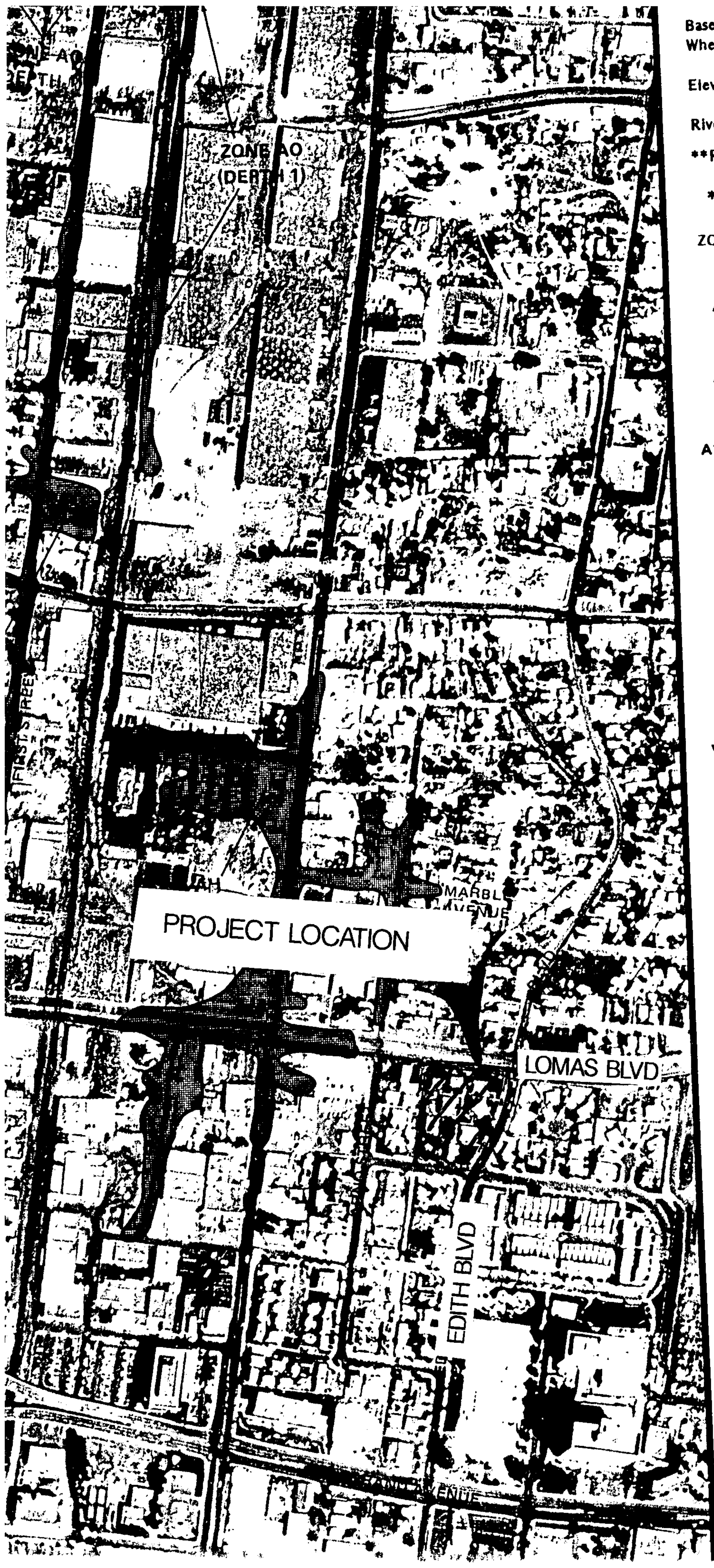
UNIFORM PROPERTY CODE
1-014-058

J-14-Z

SHEET 4 OF 7



LEGEND		NOTES	REVISIONS		MAP GRID	
	STORM SEWER LINE	1. MANHOLE IDENTIFICATION REQUIRES BOTH THE MAP GRID & MANHOLE NO. 2. MANHOLE NUMBERS CARRIED FROM ADJACENT MAPS HAVE THE MAP GRID SHOWN.	DATE	REMARKS	J-14S	
	MANHOLE		1-28-88	26-2930-97		Ln
	MANHOLE NUMBER		1-2-89	26-2936-97		Ln
	STORM INLET		5-17-88	26-2936-97		Ln
	NUMBER, TYPE, GRATES					



Base Flood Elevation In Feet
Where Uniform Within Zone**

Elevation Reference Mark

River Mile

**Referenced to the National Geodetic Vertical Datum of 1929

*EXPLANATION OF ZONE DESIGNATIONS

ZONE	EXPLANATION
A	Areas of 100-year flood; base flood elevations and flood hazard factors not determined.
A0	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; average depths of inundation are shown, but no flood hazard factors are determined.
AH	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevations are shown, but no flood hazard factors are determined.
A1-A30	Areas of 100-year flood; base flood elevations and flood hazard factors determined.
A99	Areas of 100-year flood to be protected by flood protection system under construction; base flood elevations and flood hazard factors not determined.
B	Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood. (Medium shading)
C	Areas of minimal flooding. (No shading)
D	Areas of undetermined, but possible, flood hazards.
V	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors not determined.
V1-V30	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors determined.

NOTES TO USER

Certain areas not in the special flood hazard areas (zones A and V) may be protected by flood control structures.

This map is for flood insurance purposes only; it does not necessarily show all areas subject to flooding in the community or all planimetric features outside special flood hazard areas.

For adjoining map panels, see separately printed Index To Map Panels.

INITIAL IDENTIFICATION:

AUGUST 20, 1976

FLOOD HAZARD BOUNDARY MAP REVISIONS:

FEBRUARY 14, 1978
DECEMBER 4, 1979

FLOOD INSURANCE RATE MAP EFFECTIVE:

OCTOBER 14, 1983

FLOOD INSURANCE RATE MAP REVISIONS:

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 2, 1996

Tom Blaine, PE
Leedshill-Herkenhoff, Inc
500 Copper Ave. NW
Albuquerque, NM 87103

**RE: LA AMISTAD SENIOR HOUSING (J14-D113) GRADING PLAN FOR
GRADING PERMIT APPROVAL. ENGINEER'S STAMP DATED 1-12-96.**


Dear Mr. Blaine:

Based on the information provided on your January 26, 1996
submittal, the above referenced project is approved for Grading
Permit.

I am assuming that an existing finish floor elevation will be
used as a temporary bench mark and that all finish floor elevations
shown are correct. An Engineer's Certification will be required.
You will have to show that the project ties into a City of
Albuquerque permanent bench mark prior to final acceptance.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File