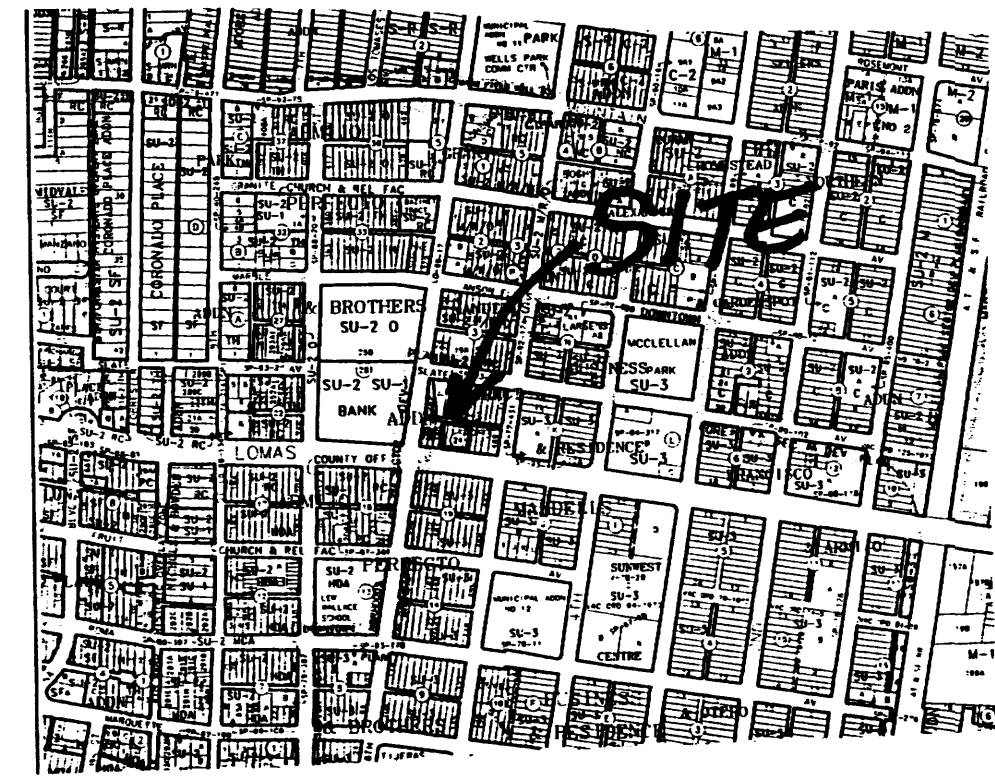
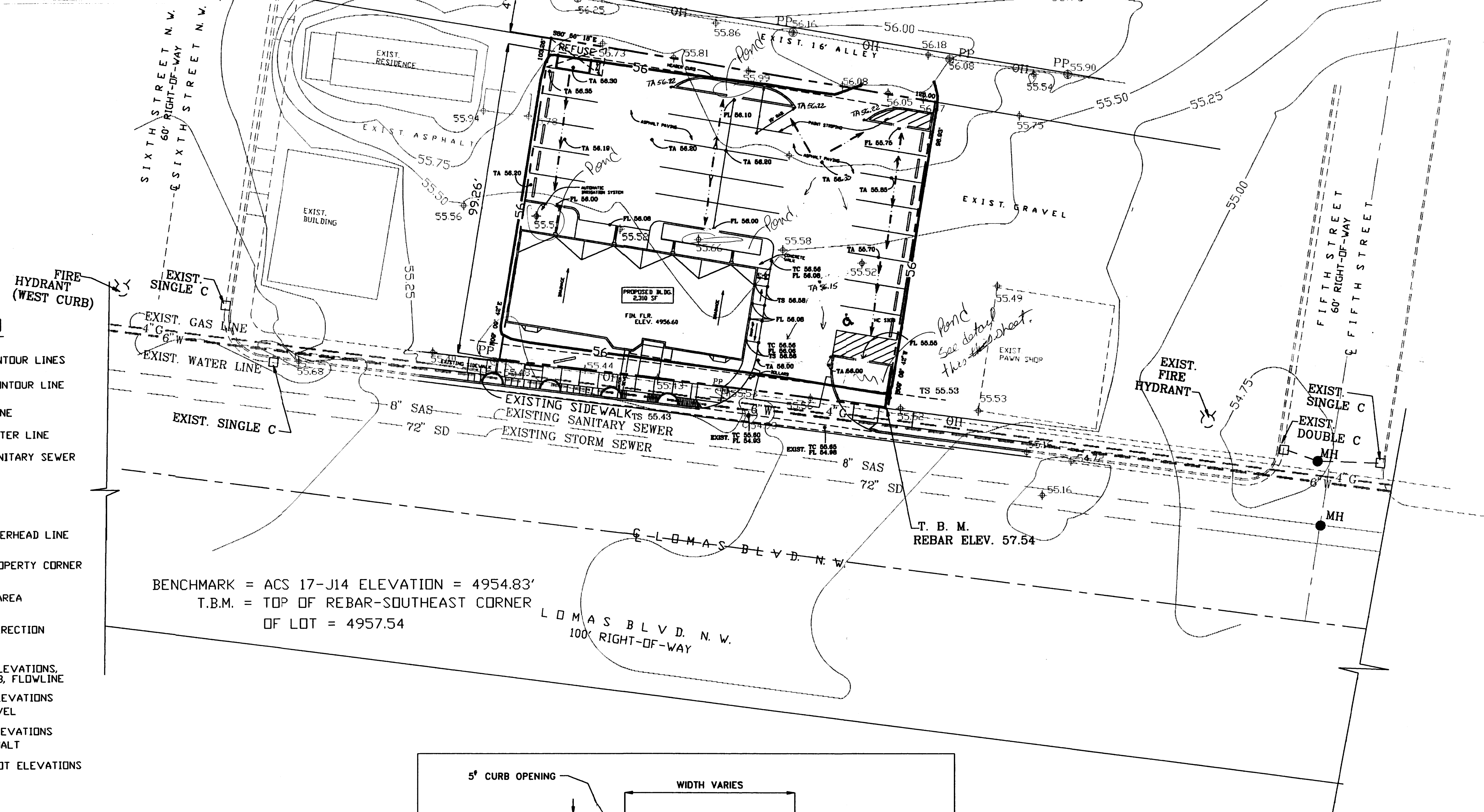


TAPIA LAW OFFICES
PERFECTO ARMIJO ADDITION
LOT 485-A BLOCK 24
REPLAT OF LOTS 481-485, BLOCK 24
LOMAS BLVD. N.W.
ALBUQUERQUE, NEW MEXICO

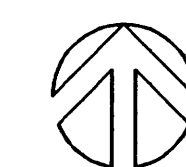
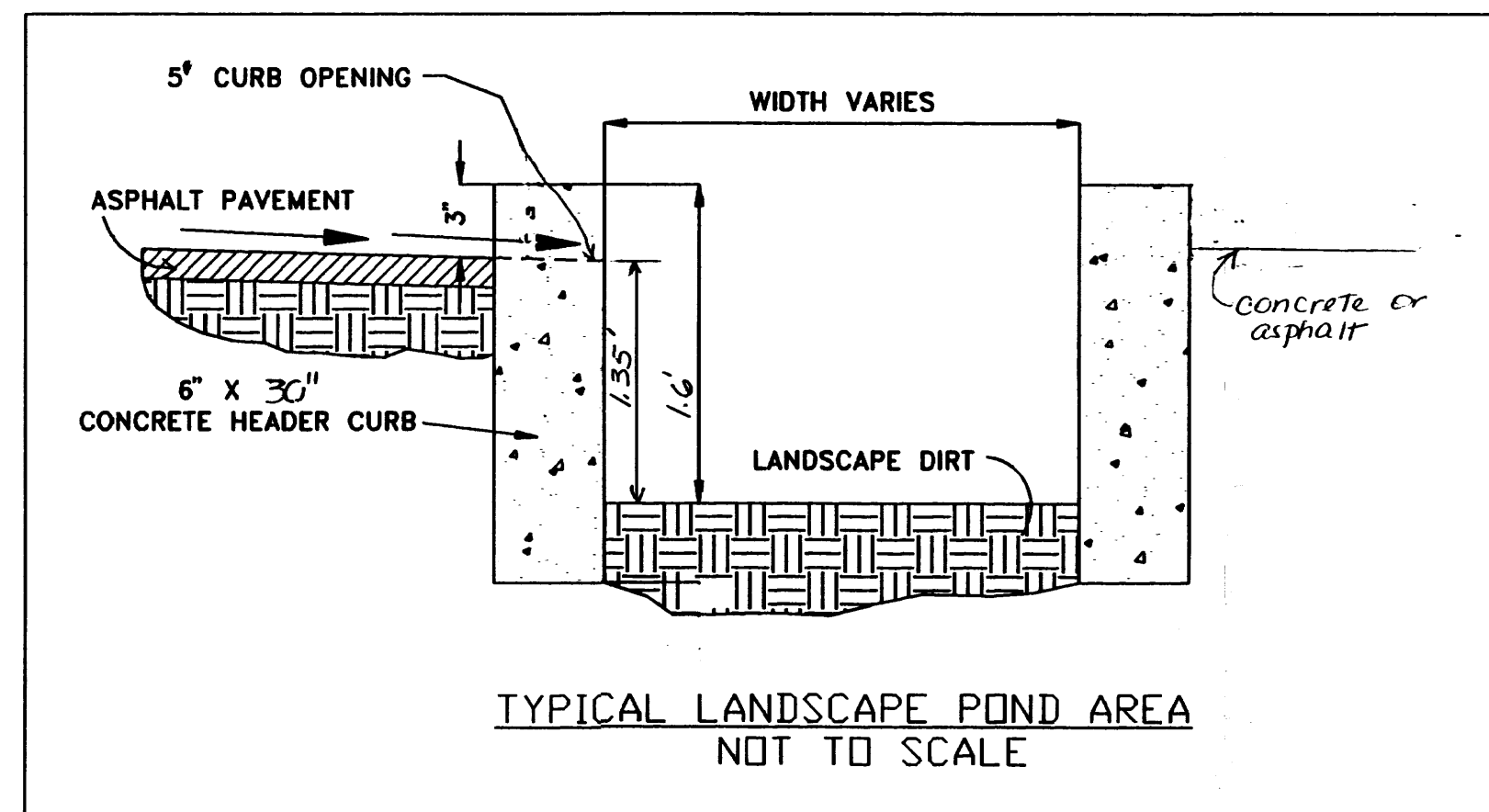


VICINITY MAP J-14 N.T.S.



NOTE:

- THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THIS DRAWING, PRIOR TO ANY EXCAVATIONS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUN-OFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.



GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'-0"

DRAINAGE AND GRADING PLAN FOR
TAPIA LAW OFFICES

LEGAL DESCRIPTION: Lots 481 through 485 Perfecto Armijo Addition (Replat to Lot 485-A)
ADDRESS: Lomas Boulevard NW, between 5th Street and 6th Streets

Zone Atlas J-14

FLOODPLAIN INFORMATION: The property is located in Zone X, areas of minimum flooding, according to the Floodway Boundary and Floodway Map of the City of Albuquerque, New Mexico, Community Panel 35001C0334D, effective September 20, 1996.

EXISTING CONDITIONS: The subject property contains an area of slightly over one-third of an acre. It is a gravel-surfaced parking lot, spaces of which are for hourly rental. It has no landscaping.

The property is bounded on the south by Lomas Blvd. (paved, curb and gutter and landscaped sidewalk); on the west by an improved lot with an office building and asphalted parking area; on the north by an asphalt-paved alley; and to the east by an improved lot with a building and gravel-surfaced parking area.

OFFSITE AND ON-SITE RUN-OFF: The site receives no offsite flows. Due to the lot's flat terrain, the on-site runoff ponds on the property, eventually drains to Lomas Blvd. and ultimately to a single "C" catch basin on the east end of the northeast curb return of Sixth Street and Lomas Blvd.

PROPOSED IMPROVEMENTS: A building with a roof area of approximately 2310 square feet will be built. Asphalted parking lot, concrete walks, and landscaping will be provided.

The project is an addition to an existing developed site within a developed area. Runoff data of existing conditions and developed conditions after improvement will be compared.

CALCULATIONS:

Existing Conditions:
Land Treatment A = 0
Land Treatment B = 0
Land Treatment C = 0.38 Acre
Land Treatment D = 0
TOTAL 0.38 Acre

Proposed Improvement:
Land Treatment A = 0
Land Treatment B = 0
Land Treatment C = 0.03
Land Treatment D = 0.35
TOTAL 0.38 Acre

Zone 2 (From DPM 22.2, page A-1)

Existing Condition,

Peak Discharge, 100-year: C = 3.14, D = 4.70 (DPM 22.2, A-9)

$$Q_{100} = 0.38 \times 3.14 = 1.19 \text{ cfs}$$

Volume of Runoff, Excess Precipitation

$$100\text{-year: } C = 1.13, D = 2.12 \text{ (from DPM 22.2, A-7)}$$

$$V_{100} = 0.38 \times 1.13 \times 43560/12 = 1558 \text{ cf}$$

Proposed Improvement:

Peak Discharge, 100-year
Land Treatment C, 100-year: 3.14 cfs
Land Treatment D, 100-year: 4.70 cfs

$$Q(100) : 0.03 \times 3.14 = 0.09 \text{ cfs}$$

$$0.35 \times 4.70 = 1.65 \text{ cfs}$$

$$\text{composite} = 1.74 \text{ cfs}$$

Volume of Runoff, 100-year:
Excess Precipitation, Land Treatment C

100-year: 1.13 Inch

Excess Precipitation, Land Treatment D

100-year: 2.12 Inches

$$V(100): C = 0.03 \times 1.13 \times 43,560/12 = 123 \text{ cf}$$

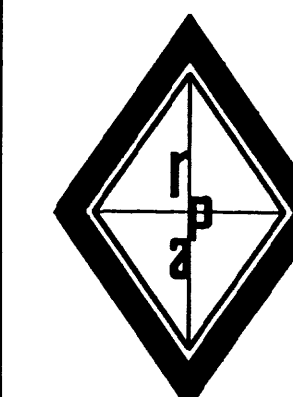
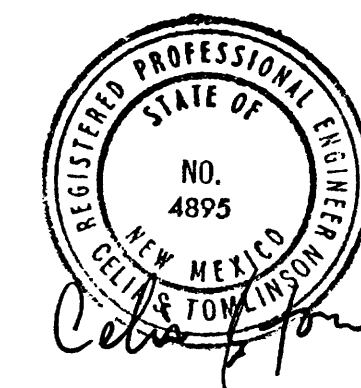
$$D = 0.35 \times 2.12 \times 43,560/12 = 2,693 \text{ cf}$$

$$\text{TOTAL} = 2,816 \text{ cf}$$

Change:
Discharge, $Q_{100} = 1.74 - 1.19 = 0.55 \text{ cfs}$ (Increase)
Runoff Volume, $V_{100} = 2,816 - 1,558 = 1,258 \text{ cf}$ (Increase)
The increase in runoff volume (1,258 cf) will be ponded in the landscape areas. $790 \text{ sf} \times 1.6' = 1,264 \text{ cf} > 1,258 \text{ cf}$.

EROSION CONTROL: Water, if any, from activities during construction and/or from rain will be temporarily ponded on site to prevent the spread of silt.

CONCLUSION: The proposed grading and drainage plan for the subject property will not have any adverse impact on or will be adversely affected by the existing drainage from the surrounding areas.



RHOMBUS P.A., INC.

FACILITIES ENGINEERS & ENVIRONMENTAL CONSULTANTS
2620 San Mateo NE SUITE B
Albuquerque, NM 87110

TEL. (505) 881-6690 FAX (505) 881-6896



VICINITY MAP
NOT TO SCALE

ZONE MAP: J-14-Z

BASIS OF BEARING
 ACS STA. 17-J14
 X = 378903.40
 Y = 1488804.10
 NAD 1927
 GROUND TO GRID FACTOR
 0.9998789
 $\Delta OC = 0' 13' 58''$
 ZONE CENTRAL

TIE
 $N78^{\circ} 20' 59'' W$
 2022.70'

TIE
 $N89^{\circ} 44' 06'' W$
 895.19'

SUBDIVISION DATA

- Case No. DRB-97-52
- Zone Atlas No. J-14-Z
- Gross Subdivision Acreage N/A
- Original Number of Lots 10
- Number of Lots Created 2
- Date of Survey 2/97
- Summary Plat No. N/A
- TALOS LOG 97011610140178

NOTES:

- THE ORIGINAL PLATS ARE PERFECTO ARMIJO AND BROTHERS ADDITION FILED JULY 6, 1989, VOL. C39, FOLIO 104, AND THE GRANT TRACT FILED JANUARY 31, 1906, C-11.
- THE BASIS OF BEARING IS THE BEARING BETWEEN ALBUQUERQUE CONTROL STATIONS 1-J14 AND 23-J14.
- BEARINGS ARE GRID.
- THERE ARE NO BEARINGS AND DISTANCES ON THE PLATS OF RECORD. ALL BEARINGS AND DISTANCES ARE FIELD.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CREATE TWO LOTS OUT OF LOTS 481 THROUGH 489, BLOCK 24:

- LOTS 481-485, OWNED BY LORENZO TAPIA, TO BECOME LOT 485-A.
- LOTS 486-489, OWNED BY RUBY J. SCOTT, TO BECOME LOT 489-A.

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) S S
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
 THIS 11th DAY OF February, 1997

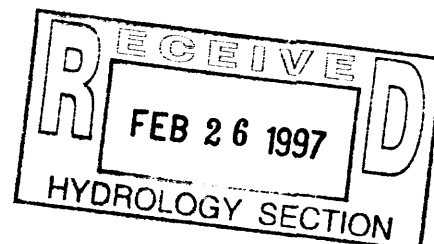
BY LORENZO E. TAPIA AND RUBY J. SCOTT.

MY COMMISSION EXPIRES November 9, 1999
 NOTARY PUBLIC

OWNERS' STATEMENT OF CONSENT

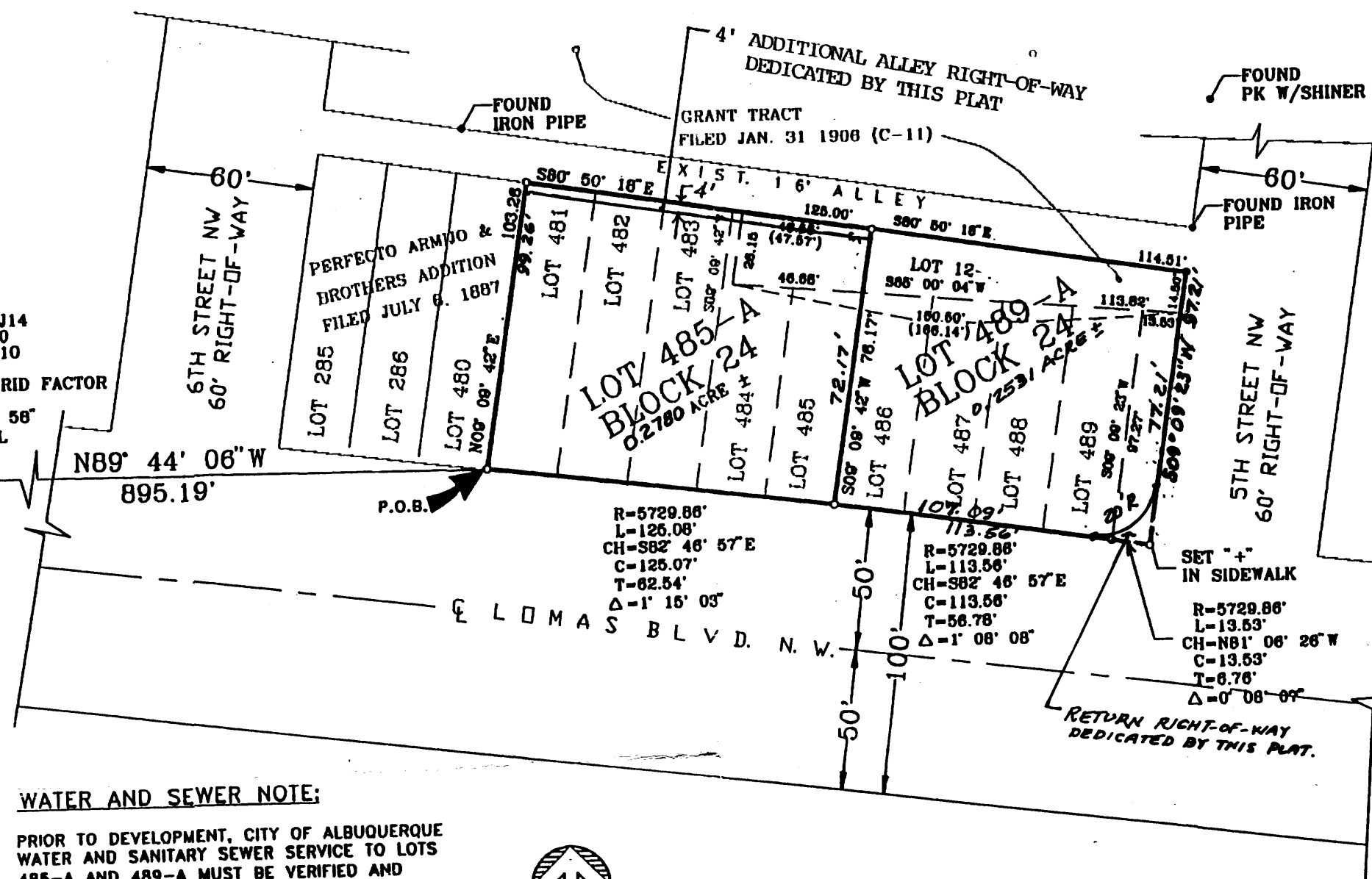
THE PLATTING HEREON DESCRIBED IS IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS.

OWNER OF LOT 485-A: Lorenzo E. Tapia DATE 2-11-97
 OWNER OF LOT 489-A: Ruby J. Scott DATE 2-11-97



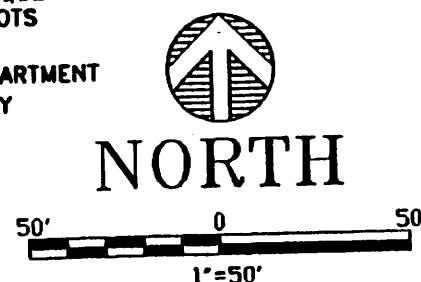
PLAT OF LOT 485-A AND LOT 489-A, BLOCK 24 PERFECTO ARMIJO AND BROTHERS ADDITION

ALBUQUERQUE, NEW MEXICO
FEBRUARY, 1997



WATER AND SEWER NOTE:

PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO LOTS 485-A AND 489-A MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.



LEGEND

- SET #5 REBAR W/PLASTIC CAP #12247
- FOUND EVIDENCE (AS NOTED)
- NOT FOUND
- NOT SET

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #: 101405815515233905

PROPERTY OWNER OF RECORD: LORENZO E. TAPIA

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #: 101405816515133907

PROPERTY OWNER OF RECORD: RUBY J. SCOTT

BERNALILLO COUNTY TREASURER'S OFFICE:

CITY/COUNTY APPROVALS:

Property Management: [Signature] Date 02-18-97
 City Surveyor: [Signature] Date 2-18-97
 City Engineer: _____ Date _____
 A.M.A.F.C.A.: _____ Date _____
 Traffic Engineer: [Signature] Date 2-18-97
 Parks and Recreation: _____ Date _____
 City Planning: _____ Date _____

FREE CONSENT OF THE ALLEY RIGHT-OF-WAY DEDICATION:

THE DEDICATION OF THE FOUR (4) FEET ADDITIONAL ALLEY RIGHT-OF-WAY IS WITH THE FREE CONSENT OF THE UNDERSIGNED OWNER.

Lorenzo E. Tapia DATE Feb 14, 1997

LEGAL DESCRIPTION

A PARCEL OF LAND IN SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, ALBUQUERQUE, NEW MEXICO, COMPRISING LOTS 481 THROUGH 489 IN BLOCK 24 OF THE PERFECTO ARMIJO AND BROTHERS ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 8, 1887, D-118, AND LOT 12 IN BLOCK 4 OF THE GRANT TRACT ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON JANUARY 31, 1906 C-111; THE SAME PARCEL OF LAND DESCRIBED IN QUITCLAIM DEED C-111; THE SAME PARCEL OF LAND DESCRIBED IN WARRANTY DEED FILED MAY 22, 1972 VOLUME D919, FOLIO 82; WARRANTY DEED FILED AUGUST 19, 1975, VOLUME D988, FOLIO 350; AND WARRANTY DEED FILED FEBRUARY 11, 1976 DOCUMENT NUMBER 8986A-540; ALL FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF LOMAS BOULEVARD NW, SAME POINT BEING THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, WHENCE THE ALBUQUERQUE CONTROL STATION "17-J14" BEARS $N 89^{\circ} 44' 06'' W$, A DISTANCE OF 895.19 FEET;

THENCE DEPARTING FROM THE NORTH RIGHT-OF-WAY LINE OF LOMAS BOULEVARD NW, $N 09^{\circ} 09' 42'' E$, A DISTANCE OF 103.28 FEET TO THE NORTHWEST CORNER OF PARCEL HEREIN DESCRIBED;

THENCE $S 80^{\circ} 50' 18'' E$, A DISTANCE OF 239.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF FIFTH STREET NW, SAME POINT BEING THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED;

THENCE ALONG THE WEST RIGHT-OF-WAY OF FIFTH STREET NW, $S 09^{\circ} 09' 23'' W$, A DISTANCE OF 97.21 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF LOMAS BOULEVARD NW, SAID POINT BEING THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED;

THENCE, ALONG A CURVE ON THE NORTH RIGHT-OF-WAY LINE OF LOMAS BOULEVARD NW, SAID CURVE HAVING A RADIUS OF 5,729.86 FEET, A TANGENT OF 6.76 FEET, ARC LENGTH OF 13.53 FEET, $\Delta = 0^{\circ} 08' 01''$ CHORD BEARING $N 81^{\circ} 06' 26'' W$, 13.53' TO A POINT;

THENCE, ALONG A CURVE ON THE NORTH RIGHT-OF-WAY LINE OF LOMAS BOULEVARD NW, SAID CURVE HAVING A RADIUS OF 5,729.86 FEET, A TANGENT OF 58.78 FEET, ARC LENGTH OF 113.56 FEET, $\Delta = 1^{\circ} 15' 03''$ CHORD BEARING $N 82^{\circ} 46' 57'' W$, 113.56' TO A POINT;

THENCE ALONG A CURVE ON THE NORTH RIGHT-OF-WAY LINE OF LOMAS BOULEVARD NW HAVING A RADIUS OF 5,729.86 FEET, ARC LENGTH OF 125.08 FEET, TANGENT OF 62.54 FEET, $\Delta = 1^{\circ} 15' 03''$ CHORD BEARING $N 82^{\circ} 46' 57'' W$, 125.07' TO THE POINT OF BEGINNING.

CONTAINING 0.5446 ACRES, MORE OR LESS.

SURVEYOR'S CERTIFICATION:

I, JOHN L. MIERS, A DULY QUALIFIED LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF A SURVEY CONDUCTED UNDER MY SUPERVISION; THAT SAID PLAT SHOWS ACCURATE DIMENSIONS AND LAND AREAS, ALL EASEMENTS OF PUBLIC RECORD OR MADE KNOWN TO ME BY THE LAND OWNER, UTILITY COMPANIES OR AGENCIES EXPRESSING AN INTEREST; THAT THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; AND THAT THE SURVEY IS TRUE AND CORRECT.

JOHN L. MIERS, NMPLS 12447

DATE



INDEXING INFORMATION FOR

COUNTY OF BERNALILLO
SECTION 17, RANGE 3 EAST,
TOWNSHIP 10 NORTH
OWNERS: TAPIA, SCOTT

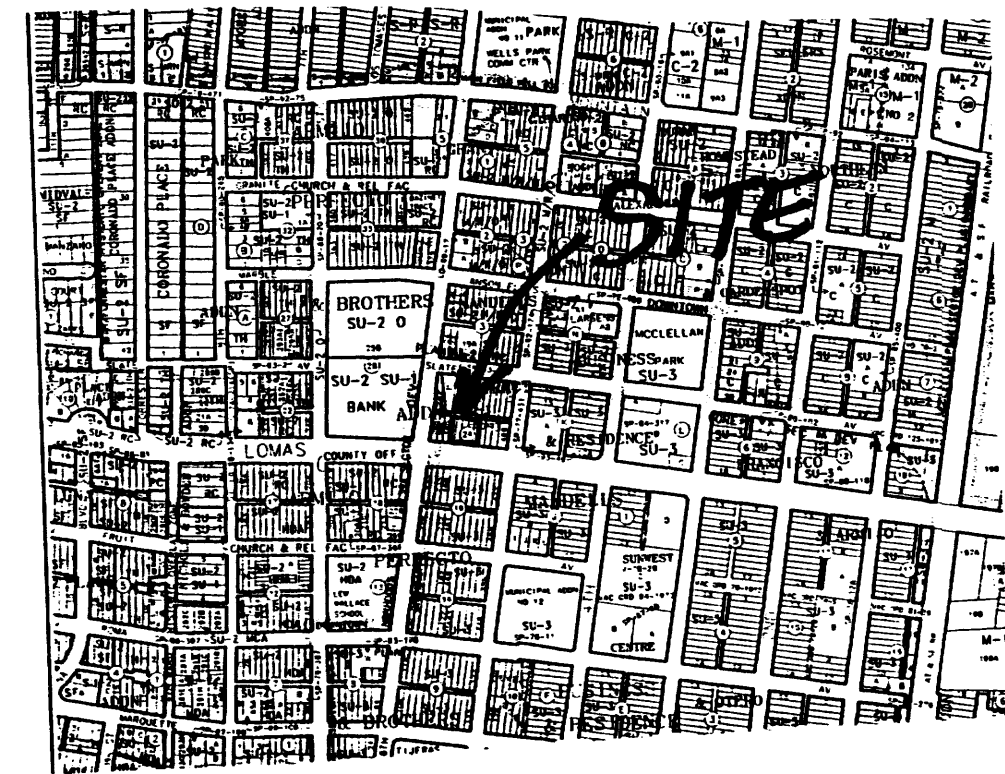
SUBDIVISION: PERFECTO ARMIJO AND BROTHERS ADDITION

RHOMBUS

2620 SAN MATEO BLVD. NE SUITE B
ALBUQUERQUE, NEW MEXICO 87110

TEL: (505) 881-6690 FAX: (505) 881-6896

**TAPIA LAW OFFICES
PERFECTO ARMIJO ADDITION
LOT 485-A BLOCK 24
REPLAT OF LOTS 481-485, BLOCK 24
LOMAS BLVD. N.W.
ALBUQUERQUE, NEW MEXICO**



VICINITY MAP J-14 N.I.S.

FIRE
HYDRANT
(WEST CURB)

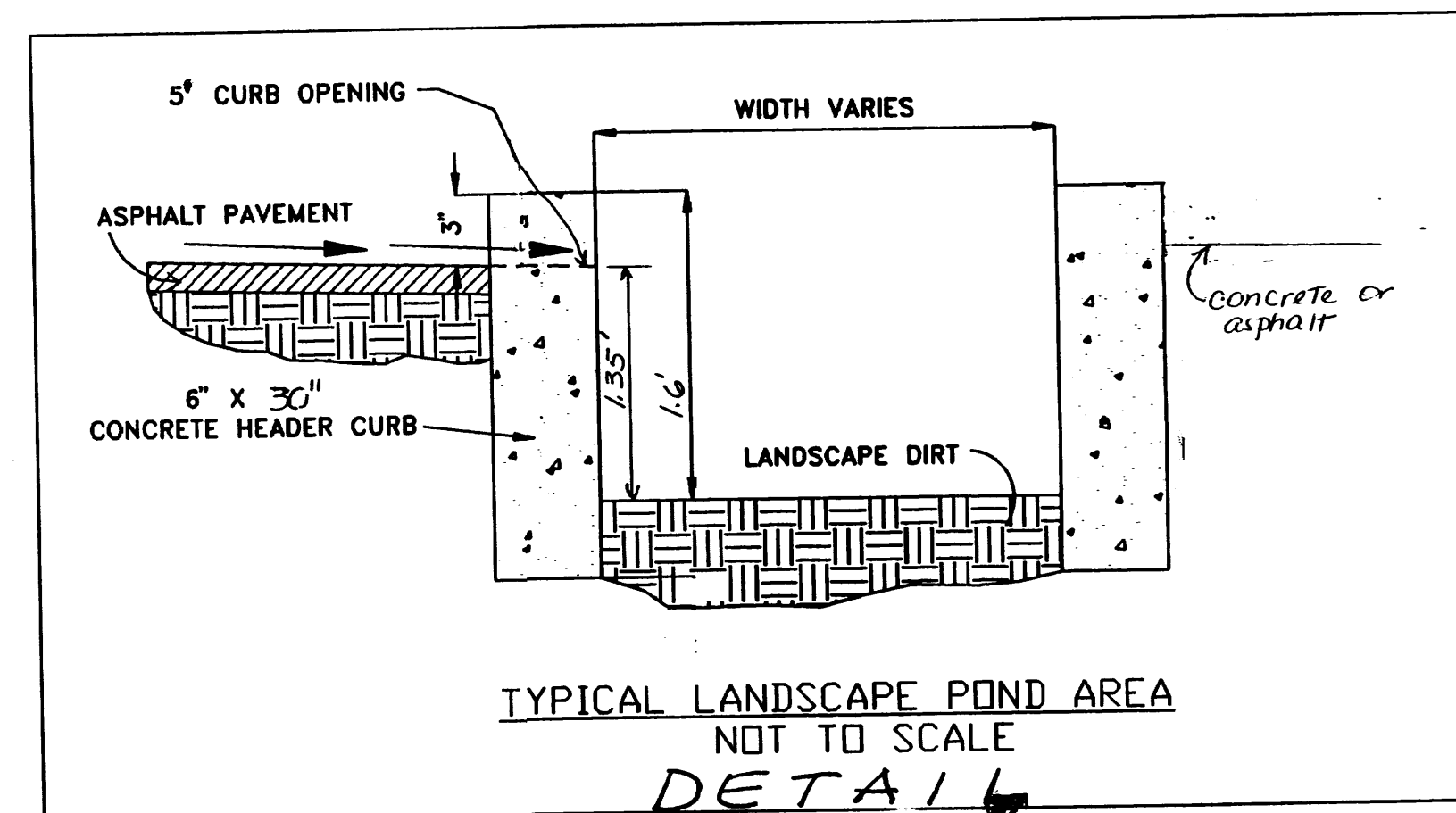
LEGEND

- 51.50 — EXISTING CONTOUR LINES
- 56 — PROPOSED CONTOUR LINE
- — — — — PROPERTY LINE
- W — EXISTING WATER LINE
- SAS — EXISTING SANITARY SEWER
- MH MANHOLE
- ⊙ PP POWER POLE
- OH — EXISTING OVERHEAD LINE
- — — — — EXISTING PROPERTY CORNER
- ⊙ ⊙ ⊙ LANDSCAPE AREA
- — — — — PROPOSED DIRECTION OF FLOW
- TC 57.50 PROPOSED ELEVATIONS, TOP OF CURB, FLOWLINE
- PL 57.00 PROPOSED ELEVATIONS, TOP OF GRAVEL
- TG 57.50 PROPOSED ELEVATIONS, TOP OF ASPHALT
- TA 57.50 PROPOSED ELEVATIONS, TOP OF ASPHALT
- ⊕ 56.16 EXISTING SPOT ELEVATIONS

NOTE:

1. THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY.
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3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING RUN-OFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

BENCHMARK = ACS 17-J14 ELEVATION = 4954.83'
T.B.M. = TOP OF REBAR-SOUTHEAST CORNER
OF LOT = 4957.54



GRADING AND DRAINAGE PLAN
SCALE: 1" = 20'-0"

**DRAINAGE AND GRADING PLAN FOR
TAPIA LAW OFFICES**

LEGAL DESCRIPTION: Lots 481 through 485 Perfecto Armijo Addition (Replat to Lot 485-A)
ADDRESS: Lomas Boulevard NW, between 5th Street and 6th Streets
Zone Atlas J-14

FLOODPLAIN INFORMATION: The property is located in Zone X, areas of minimum flooding, according to the Floodway Boundary and Floodway Map of the City of Albuquerque, New Mexico, Community Panel 35001C0334D, effective September 20, 1996.

EXISTING CONDITIONS: The subject property contains an area of slightly over one-third of an acre. It is a gravel-surfaced parking lot, spaces of which are for hourly rental. It has no landscaping.

The property is bounded on the south by Lomas Blvd. (paved, curb and gutter and landscaped sidewalk); on the west by an improved lot with an office building and asphalted parking area; on the north by an asphalt-paved alley; and to the east by an improved lot with a building and gravel-surfaced parking area.

OFFSITE AND ON-SITE RUN-OFF: The site receives no offsite flows. Due to the lot's flat terrain, the on-site runoff ponds on the property, eventually drains to Lomas Blvd. and ultimately to a single 'C' catch basin on the east end of the northeast curb return of Sixth Street and Lomas Blvd.

PROPOSED IMPROVEMENTS: A building with a roof area of approximately 2310 square feet will be built. Asphalted parking lot, concrete walks, and landscaping will be provided.

The project is an addition to an existing developed site within a developed area. Runoff data of existing conditions and developed conditions after improvement will be compared.

CALCULATIONS:

Existing Conditions:
Land Treatment A = 0
Land Treatment B = 0
Land Treatment C = 0.38 Acre
Land Treatment D = 0
TOTAL 0.38 Acre

Proposed Improvement:
Land Treatment A = 0
Land Treatment B = 0
Land Treatment C = 0.03
Land Treatment D = 0.35
TOTAL 0.38 Acre

Zone 2 (From DPM 22.2, page A-1)

Existing Condition,

Peak Discharge, 100-year: C = 3.14, D = 4.70 (DPM 22.2, A-9)

Q100 = 0.38 x 3.14 = 1.19 cfs

Volume of Runoff, Excess Precipitation

100-year: C = 1.13, D = 2.12 (from DPM 22.2, A-7)
V100 = 0.38 x 1.13 x 43560/12 = 1558 cf

Proposed Improvement:

Peak Discharge, 100-year:
Land Treatment C, 100-year: 3.14 cfs
Land Treatment D, 100-year: 4.70 cfs

Q(100) : 0.03 x 3.14 = 0.09 cfs
0.35 x 4.70 = 1.65 cfs
composite = 1.74 cfs

Volume of Runoff, 100-year:
Excess Precipitation, Land Treatment C
100-year: 1.13 inch

Excess Precipitation, Land Treatment D
100-year: 2.12 inches

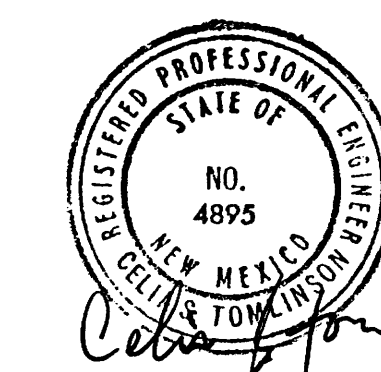
V(100): C = 0.03 x 1.13 x 43,560/12 = 123 cf
D = 0.35 x 2.12 x 43,560/12 = 2,693 cf
TOTAL = 2,816 cf

Change:
Discharge, Q100 = 1.74 - 1.19 = 0.55 cfs (increase)
Runoff Volume, V100 = 2,816 - 1,558 = 1,258 cf (increase)
The increase in runoff volume (1,258 cf) will be ponded in the landscape areas. 790 sf x 1.6" = 1,264 cf > 1,258 cf.

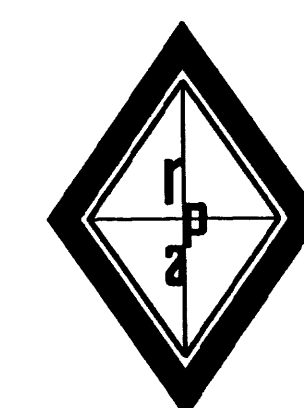
EROSION CONTROL: Water, if any, from activities during construction and/or from rain will be temporarily ponded on site to prevent the spread of silt.

CONCLUSION: The proposed grading and drainage plan for the subject property will not have any adverse impact on or will be adversely affected by the existing drainage from the surrounding areas.

###



3/7/97
2/25/97



RHOMBUS P.A., INC.

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2620 San Mateo NE SUITE B
Albuquerque, NM 87110

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TAPIA LAW OFFICES
 PERFECTO ARMIJO ADDITION
 LOT 485-A BLOCK 24 REPLAT OF LOTS 481-485, BLOCK 24
 LOMAS BLVD. N.W.
 ALBUQUERQUE, NEW MEXICO

DRAINAGE AND GRADING PLAN FOR
 TAPIA LAW OFFICES
 LEGAL DESCRIPTION: Lots 481 through 485 Perfecto Armijo Addition
 (Replated to Lot 485-A)
 ADDRESS: Lomas Boulevard NW, between 5th Street and 6th Streets
 Zone Atlas J-14

FLOODPLAIN INFORMATION: The property is located in Zone X, areas of minimum flooding, according to the Floodway Boundary and Floodway Map of the City of Albuquerque, New Mexico, Community Panel 35001C0334D, effective September 20, 1996.

EXISTING CONDITIONS: The subject property contains slightly over one-third of an acre. It is a gravel-surfaced lot used for rental parking. It has no landscaping.

The property is bounded on the south by Lomas Blvd. (paved, curb and gutter and landscaped sidewalk); on the west by an improved lot with an office building and asphalted parking area; on the north by an asphalt-paved alley; and to the east by an improved lot with a pawn shop building and gravel-surfaced parking area.

OFFSITE RUN-OFF: The site receives no offsite flows.

PROPOSED IMPROVEMENTS: A building with a roof area of approximately 2310 square feet will be built. Asphalted parking lot, concrete walks, and landscaping will be provided.

The project is an addition to an existing developed site within a developed neighborhood. Runoff of existing condition and runoff after improvements will be compared.

CALCULATIONS:

Existing Conditions:
 Land Treatment A = 0
 Land Treatment B = 0
 Land Treatment C = 0.38 Acre
 Land Treatment D = 0
 TOTAL 0.38 Acre

Proposed Improvement:
 Land Treatment A = 0
 Land Treatment B = 0
 Land Treatment C = 0.03
 Land Treatment D = 0.35
 TOTAL 0.38 Acre

Zone 2 (From DPM 22.2, page A-1)

Existing Condition,

Peak Discharge, 100-year: C = 3.14, D = 4.70 (DPM 22.2, A-9)
 $Q_{100} = 0.38 \times 3.14 = 1.19$ cfs

Volume of Runoff, Excess Precipitation
 100-year: C = 1.13, D = 2.12 (from DPM 22.2, A-7)
 $V_{100} = 0.38 \times 1.13 \times 43560/12 = 1558$ cf

Proposed Improvement:

Peak Discharge, 100-year
 Land Treatment C, 100-year: 3.14 cfs
 Land Treatment D, 100-year: 4.70 cfs

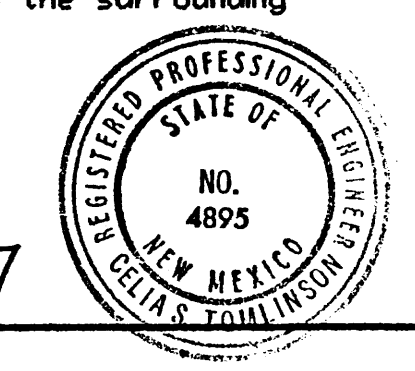
$Q(100\text{-year}) = 0.03 \times 3.14 = 0.09$ cfs
 $0.35 \times 4.70 = 1.65$ cfs
 composite = 1.74 cfs

Volume of Runoff, 100-year:
 Excess Precipitation, Land Treatment C
 100-year: 1.13 inch
 Excess Precipitation, Land Treatment D
 100-year: 2.12 inches
 $V(100\text{-year}) = C = 0.03 \times 1.13 \times 43560/12 = 123$ cfs
 $D = 0.35 \times 2.12 \times 43560/12 = 2693$ cfs
 TOTAL = 2816 cfs

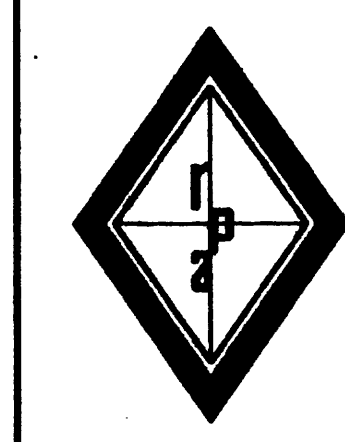
Change: Discharge, $Q_{100} = 1.74 - 1.19 = 0.55$ cfs (increase)
 Change: Runoff Volume, $V_{100} = 2816 - 1558 = 1258$ cf (increase)

EROSION CONTROL: Water, if any, from activities during construction and/or from rain will be temporarily ponded on site to prevent the spread of silt.

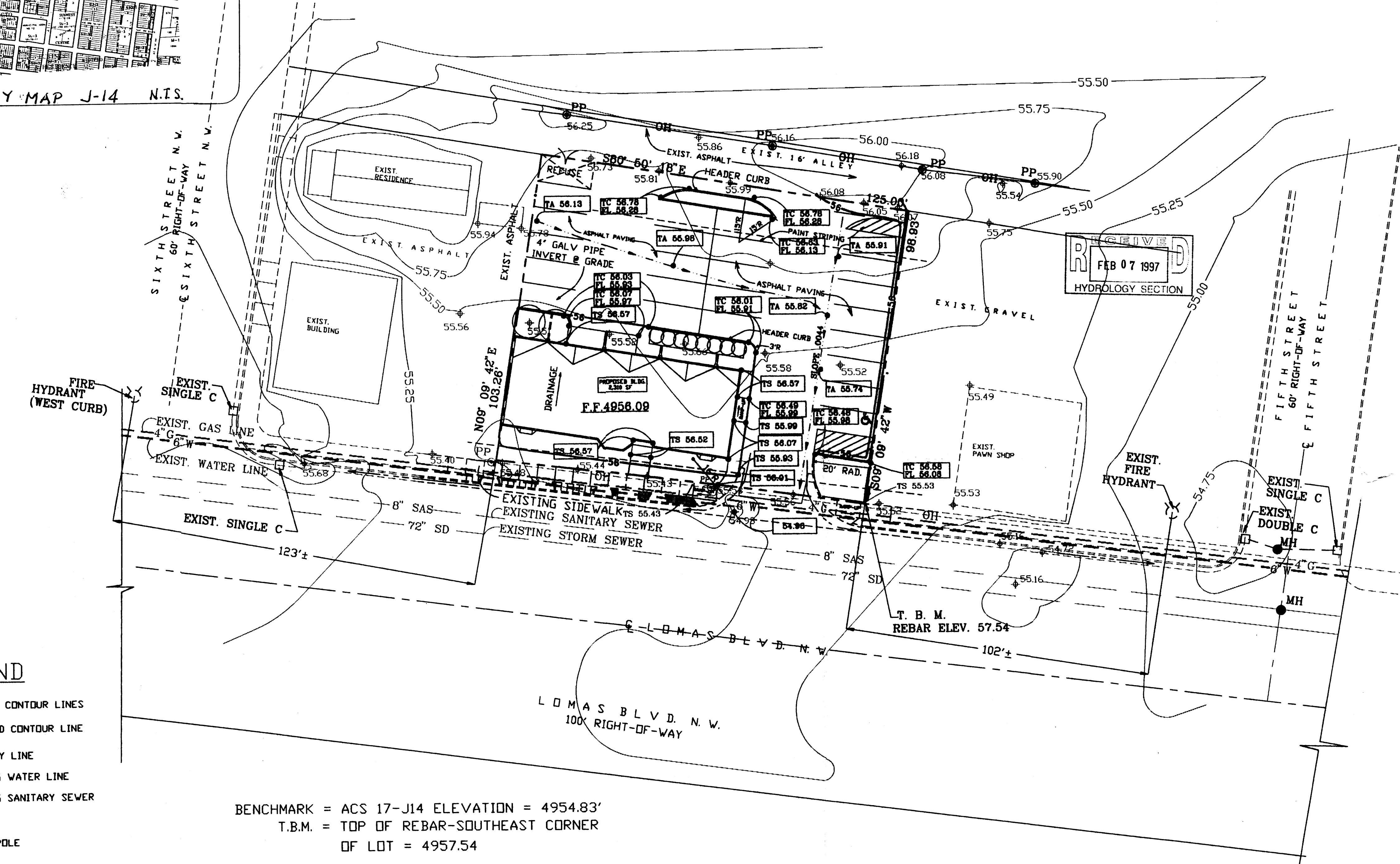
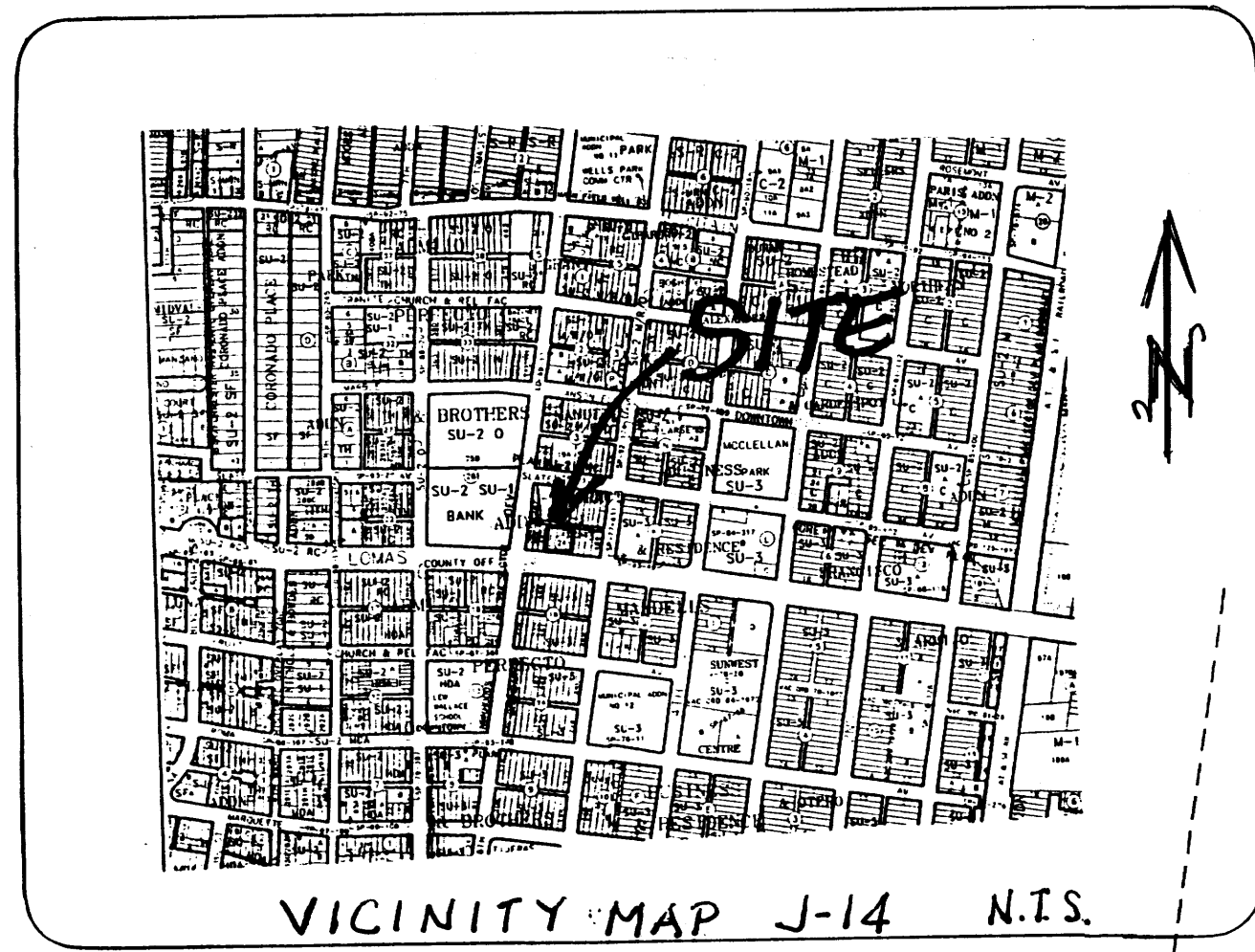
CONCLUSION: During a 100-year storm, there will be negligible change in the peak discharge as a result of the the proposed impervious areas. The proposed grading and drainage plan for the subject property will not have any adverse impact on or will be adversely affected by the existing drainage from the surrounding areas.



Celia S. Tullman, P.E. 2/4/97



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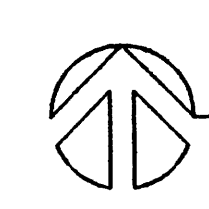
LEGEND

- 51.50- EXISTING CONTOUR LINES
- 56- PROPOSED CONTOUR LINE
- - - - - PROPERTY LINE
- W - EXISTING WATER LINE
- SAS - EXISTING SANITARY SEWER
- MH MANHOLE
- PP POWER POLE
- OH - EXISTING OVERHEAD LINE
- - - - - EXISTING PROPERTY CORNER
- LANDSCAPE AREA
- - - - - PROPOSED DIRECTION OF FLOW
- TC 57.50
PL 57.00 PROPOSED ELEVATIONS, TOP OF CURB, FLOWLINE
- TG 57.50 PROPOSED ELEVATIONS TOP OF GRAVEL
- TA 57.50 PROPOSED ELEVATIONS TOP OF ASPHALT
- + 56.16 EXISTING SPOT ELEVATIONS

BENCHMARK = ACS 17-J14 ELEVATION = 4954.83'
 T.B.M. = TOP OF REBAR-SOUTHEAST CORNER
 OF LOT = 4957.54

NOTE:

1. THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY.
2. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THIS DRAWING, PRIOR TO ANY EXCAVATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING RUN-OFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.



GRADING AND DRAINAGE PLAN
 SCALE: 1" = 20'-0"

DRAWN BY: TAPIA, LOMAS/1/97