

BENCH MARK REFERENCE:

ACS STATION "15-J14", M.S.L.D. ELEVATION = 4955.82, PROJECT BENCH MARK AS SHOWN ON THE PLAN HEREON.

LEGAL DESCRIPTION:

TRACT "A-1", (A REPLAT OF TRACT "A"), IN BLOCK THREE (3), OF THE NORTHERN ADDITION, ALBUQUERQUE, NEW MEXICO; (THIS SUBJECT PROPERTY IS PRESENTLY IN PROCESS OF BEING REPLATTED).

ENGINEER'S CERTIFICATION:

I, LEVI J. VALDEZ, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 5693, LICENSED AND REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT AN ACTUAL ON THE GROUND FIELD SURVEY OF THE GRADES OF THE NEW IMPROVEMENTS SHOWN HEREON VERIFY THAT SAID IMPROVEMENTS WERE CONSTRUCTED IN "SUBSTANTIAL COMPLIANCE" WITH THE APPROVED DRAINAGE PLAN FOR SAID SITE.



PRECIPITATION ZONES

Bernalillo County's four precipitation zones are shown in Figure A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40
4	East of Eubank, North of Interstate 40, boundary of Range 4 East, South of Interstate 40

FIGURE A-1

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unfilled arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE SOUTHWEST INTERSECTION OF SECOND STREET N.W. AND MOUNTAIN ROAD N.W. IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY MAP NO. "J-14-2").

THE SUBJECT SITE, 1.) IS PRESENTLY VACANT UNDEVELOPED PROPE ENCLOSED BY A 100-YEAR FLOODPLAIN (RE: F.E.M.A. FLOODWAY OF 50'), 3.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPE DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPE HAVE FINISH FLOOR ELEVATION OF THE PROPOSED BUILDING TO BE DESIGNED ELEVATION SHOWN HEREON.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANU DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, JA PER THE BERNALILLO COUNTY STORM DRAINAGE ORDINANCE.

SITE AREA: 0.38 ACRE

PRECIPITATION ZONE: TWO (2), TABLE A-1.

PEAK INTENSITY: IN./HR. AT T_c = TWELVE (12) MINUTES, 100-YR LAND TREATMENT METHOD FOR CALCULATION OF " Q_p ", TABLES A-8 & "LAND TREATMENT FACTORS", TABLE A-4.

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.38	X	3.14
Q_p			1.19 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.08	X	3.14
D	0.30	X	4.70
Q_p			1.66 CFS

*** INCREASE = 0.47 CFS

NOTICE TO CONTRACTOR:

- 1.) AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQ BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. COPY OF THIS PLANS MUST BE SUBMITTED AT THE T CATION OF THIS PERMIT.
- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFOR CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR FOR HERON, BE CONSTRUCTED IN ACCORDANCE WITH OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION WORKS CONSTRUCTION - 1985.
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, MUST CONTACT LINE LOCATING SERVICE, (260-1990) OF EXISTING UTILITIES.
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL E VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS (IONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT SOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5.) BACKFILL COMPACTION SHALL BE ACCORDING TO ACI
- 6.) MAINTENANCE OF THESE FACILITIES SHALL BE THE I OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
A.C.E./FIELD		

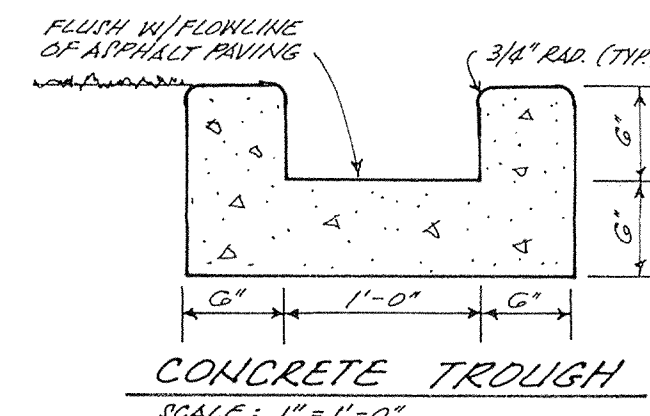
NOTE: ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED UNDER SEPARATE PERMIT.

2" ASPHALTIC CONCRETE SURFACE COURSE, 1000 # STABILITY

8" SUBGRADE COMPACTED @ 95% A.S.T.M. D-1557

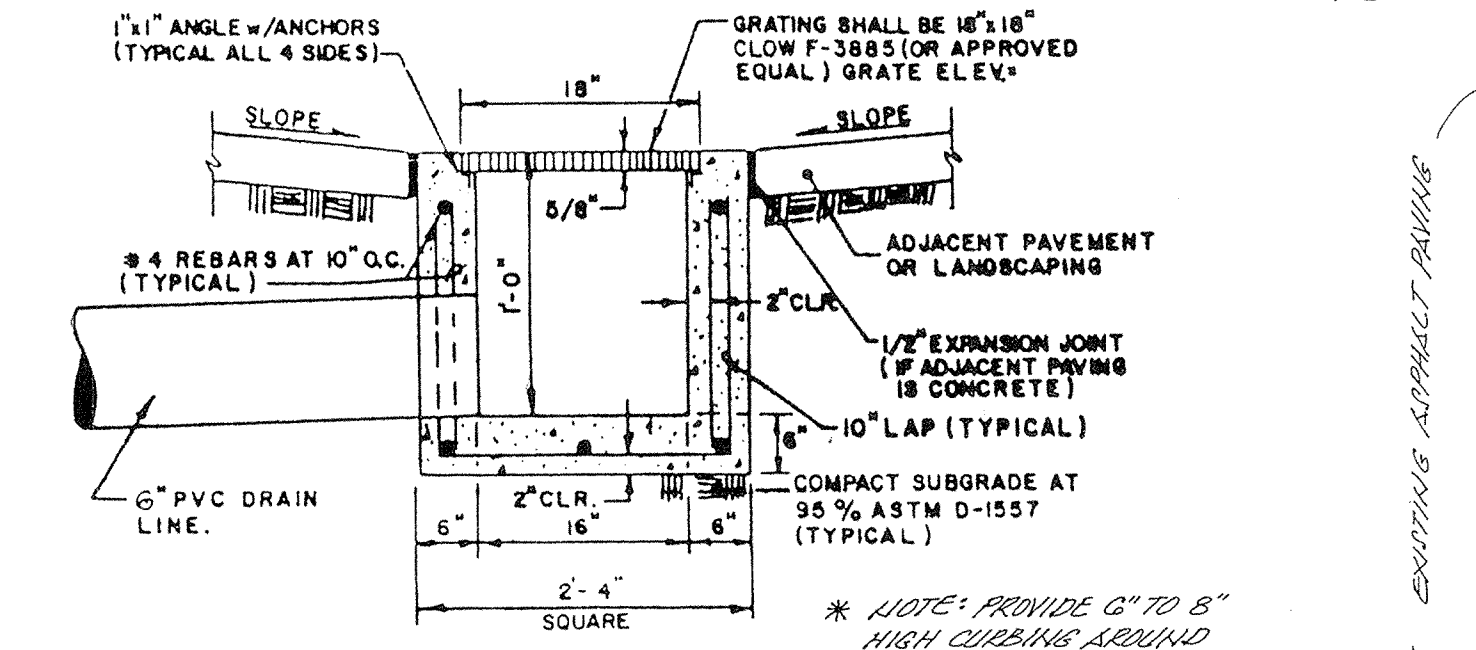
TYPICAL PAVEMENT SECTION

SCALE: 1" = 1'-0"



HEADER CURB DETAIL

SCALE: 1" = 1'-0"



GENERAL NOTES:

- 1.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN SHOWN ON THE PLAN HEREON.
- 2.) TOPOGRAPHY SURVEY INFORMATION PROVIDED BY TORRES SURVEYING COMPANY, ALBUQUERQUE, NEW MEXICO.
- 3.) PROPOSED LANDSCAPED AREAS ARE TO BE PER ARCHITECT'S SITE PLAN.
- 4.) THE PROPOSED DESIGNED ALLEY GRADES ADJACENT TO THE PROPERTY ARE TO BE COMPATIBLE TO THIS GRADING AND DRAINAGE PLAN.

LEGEND:

TOP OF CURB ELEVATION = 70'-55.3'
CURB FLOWLINE ELEVATION = 70'-54.74'
EXISTING OR PROPOSED CONCRETE =
EXISTING SPOT ELEVATION =
PROPOSED SPOT ELEVATION =
EXISTING CONTOUR =
PROPOSED CONTOUR =

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
 - 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
 - 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

- (B) DESIGNATES NEW CONCRETE SIDEWALK
- (A) DESIGNATES LANDSCAPED AREA PER ARCHITECTS SITE PLAN.

12-04-97

ENGINEER'S SEAL

(CERTIFICATION: 11-17-97)

A PROPOSED DRAINAGE PLAN OF TRACT "A" BLOCK THREE (3) NORTHERN ADDITION ALBUQUERQUE, NEW MEXICO

REC NOV 1997