

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 21, 2024

Robert Rayner, RA
R2 Architectural
12024 Paisano Ct. NE
Albuquerque, NM 87112

Re: Dash 4 Canna
1302 Broadway Blvd. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 04-09-24 (J14-D122)
Certification dated 06-07-24

Dear Mr. Rayner,

Based upon the information provided in your submittal received 06-12-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per the approved site plan: The pedestrian pathway from the public sidewalk to the entrance, must be constructed.

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File



**R² architectural
design & consulting**

12024 Paisano Ct. NE
Albuquerque, NM 87112

505-321-3932

R2architectural.com

June 7, 2024

Project: 1302 Broadway Blvd NE

TRAFFIC CERTIFICATION

I, Robert Rayner, Architect, of the firm R² Architectural Design & Consulting, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 4/11/24. I further certify that I have personally visited the project site on 6/7/24 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certificate of occupancy.

Exceptions:

- Concrete walk to Rosemont was not installed as gate will remain locked.

Deficiencies:

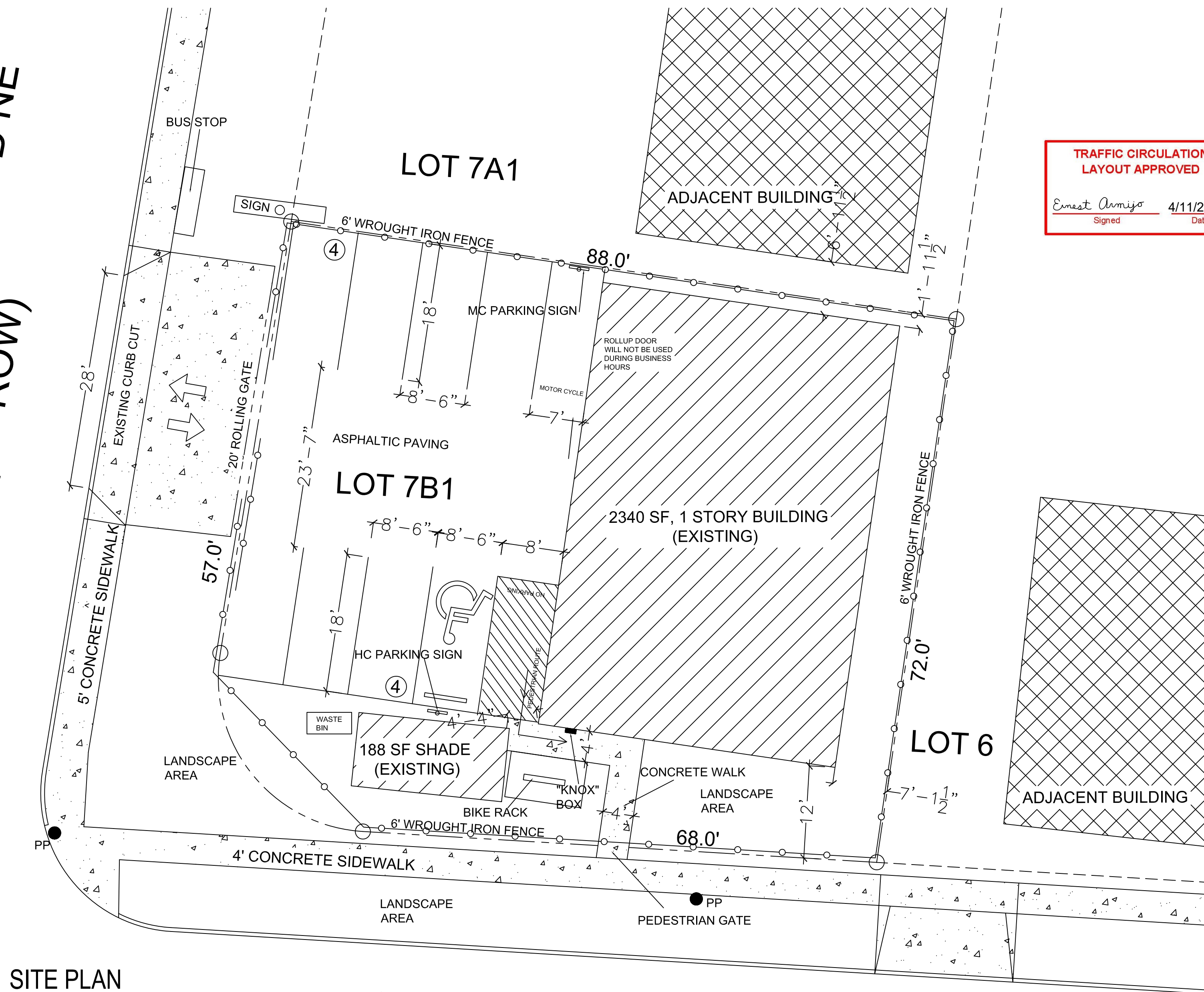
- None

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

A handwritten signature in black ink, appearing to read 'Robert Rayner', is written over a horizontal line.

Robert Rayner, AIA, R2 Architectural Design & Consulting, LLC

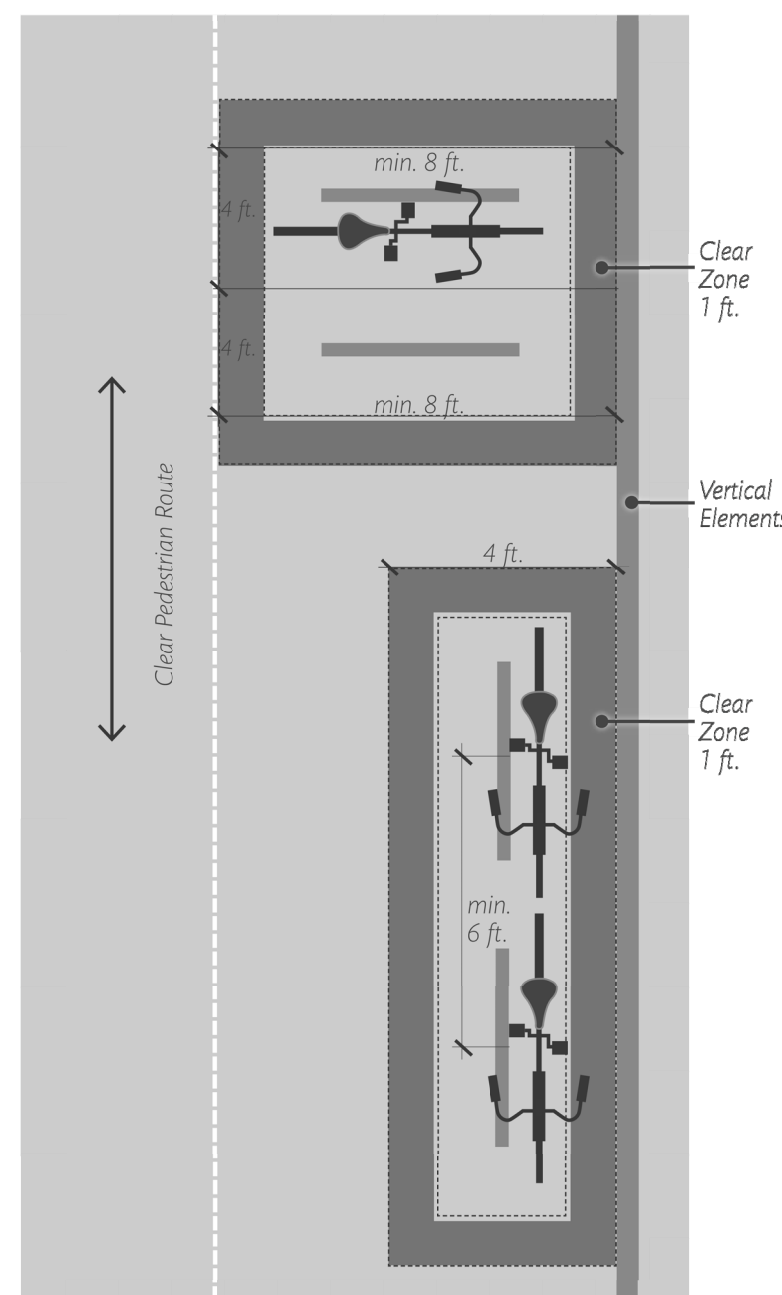
BROADWAY BLVD NE
(68' ROW)



SITE PLAN

ROSEMONT AVE NE
(60' ROW)

NOTE:



BICYCLE RACK LAYOUT OPTIONS

N.T.S.

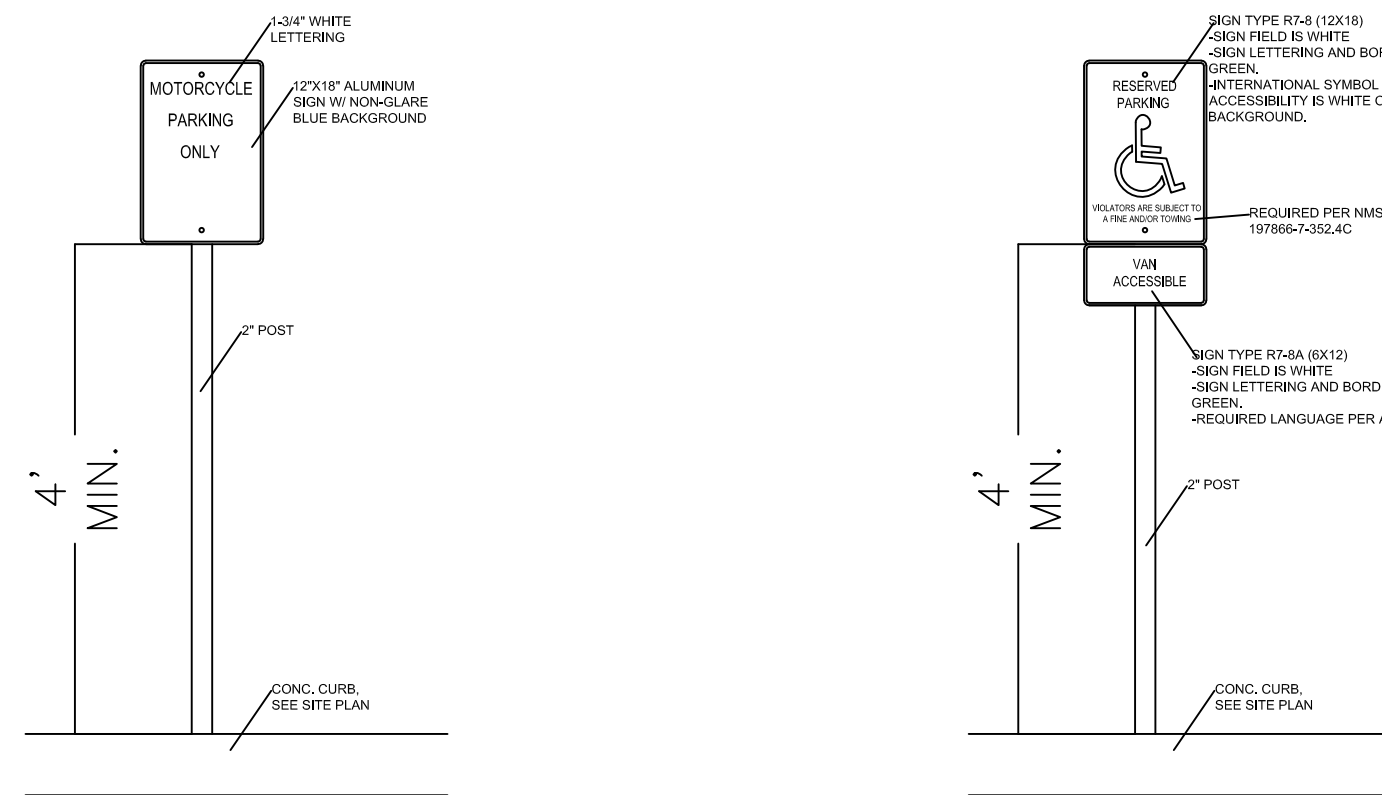
TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arroyo 4/11/2024
Signed Date

SITE PLAN IS EXISTING AND UNCHANGED
WITH THE EXCEPTION OF STRIPING THE
PARKING LOT

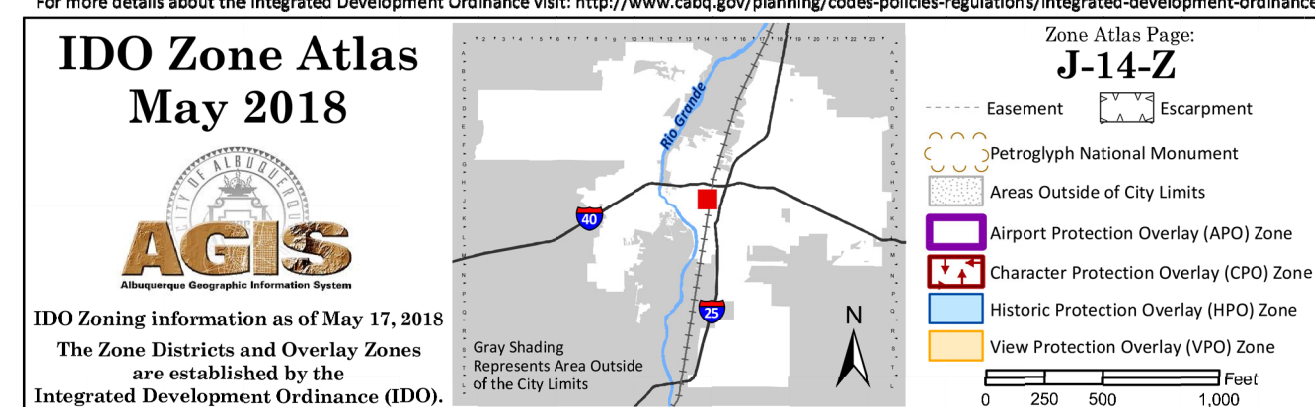
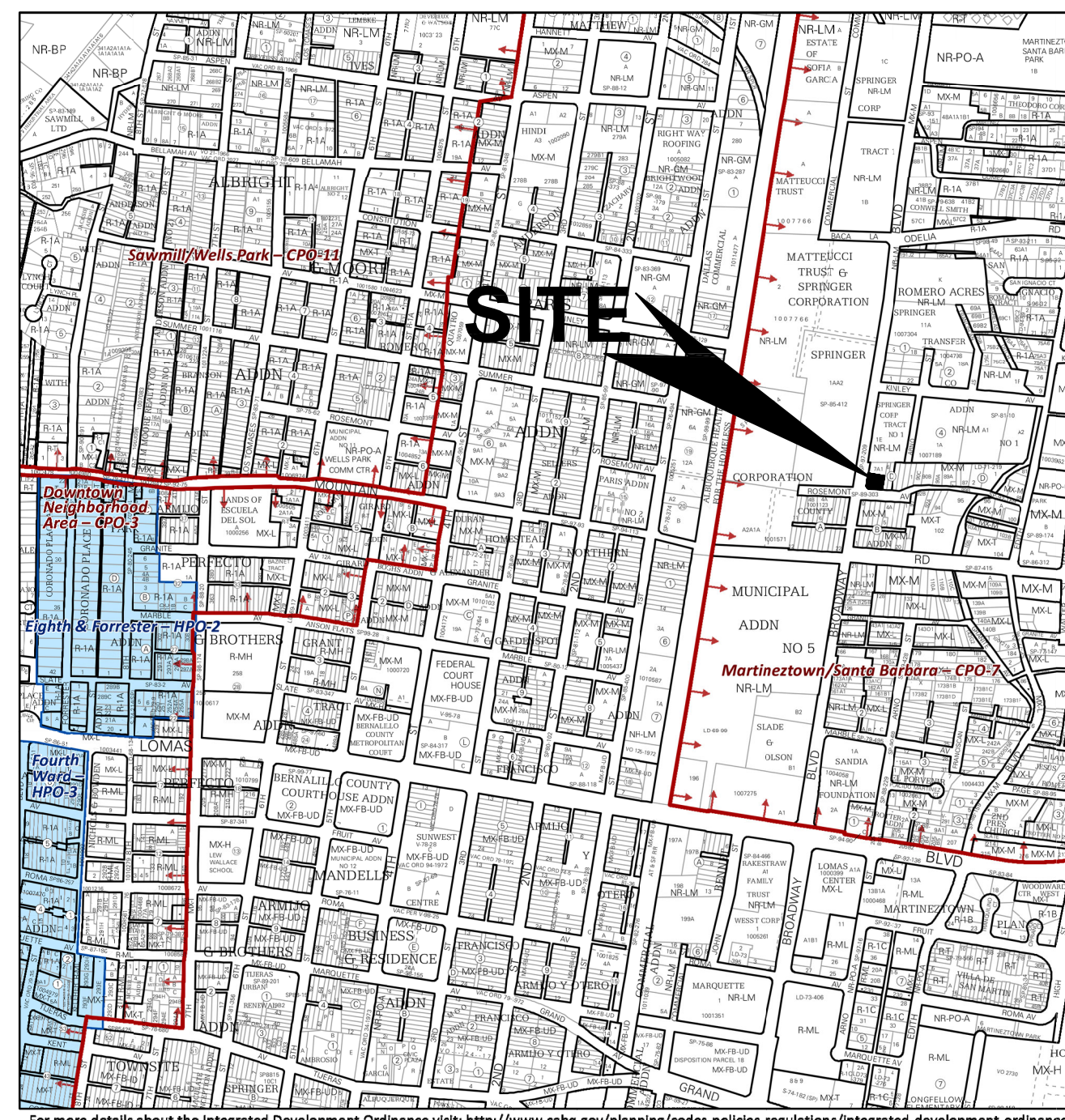
PROPERTY WILL UTILIZE A SOLID WASTE
BIN ON CASTERS AND WILL
BE PUT ROLLED OUT ON COLLECTION DAY

INDEX OF DRAWINGS:
C100 SITE PLAN & SECTIONS
A100 EXISTING FLOOR PLAN
FIRE-2 FIRE FLOOR PLAN



PARKING SIGN DETAILS

N.T.S.



VICINITY MAP

N.T.S.

PROJECT DATA:

PROJECT: DASH 4 CANNA LLC CHANGE OF OCCUPANCY
1302 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102

OWNER: ORBIT INNOVATIONS
1302 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102

ARCHITECT: R2 ARCHITECTURAL DESIGN & CONSULTING LLC
NM REG. #4049
12024 PAISANO CT NE
ALBUQUERQUE, NM 87112
(505) 321-3932

CONTRACTOR: Z CONSTRUCTION
6407 MENAUL BLVD NE
ALBUQUERQUE, NM 87110
NM LIC # 408458

IDO ZONE DIST.: NR-LM

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 UNIFORM MECHANICAL CODE
2015 UNIFORM PLUMBING CODE
2017 NATIONAL ELECTRIC CODE
2015 INTERNATIONAL FIRE CODE

ACCESSIBILITY CODE: ICC/ANSI A 117.1-2015

SEISMIC DESIGN CATEGORY: D

SEISMIC FACTOR: CAT III, (IE) 1.25

BUILDING AREA: 2,340 SF, 1 STORY

CONST. TYPE: V-B NON SPRINKLED

ALLOWABLE AREA: 36,000 SF

BUILDING HEIGHT: 18'-0" - 1 STORY

OCCUPANCY: M - MERCANTILE (CANNABIS RETAIL SALES)

OCCUPANT LOAD: STORAGE STOCK AREA: 513 SF / 300 = 1.71
OFFICE AREA: 179 SF / 150 = 1.79
RETAIL SALES AREA: 1,966 SF / 60 = 18.26
RECEPTION AREA: 184 SF / 60 = 3.06
TOILET/CIRCULATION: 368 SF / 0 = 0.00
TOTAL OCCUPANT LOAD: 25 OCCUPANTS

REQUIRED FIXTURE COUNT: WATER CLOSETS: 1 UNISEX
LAVATORIES: 1 UNISEX
1 SERVICE SINK

PROVIDED FIXTURE COUNT: WATER CLOSETS: 1 UNISEX
LAVATORIES: 1 UNISEX
1 SERVICE SINK

PARKING REQ. (THIS TENANT): RETAIL CANNABIS: 4 SPACE/1,000 SF
TOTAL PARKING REQUIRED= 9 SPACES TO INCLUDE
1 HC ACCESSIBLE SPACE, ONE MOTORCYCLE SPACE
AND A BICYCLE RACK. (WITH A 30% PARKING REDUCTION
DUE TO PROXIMITY TO TRANSIT, RESULTS IN A REQUIREMENT
OF 7 SPACES)

PARKING PROVIDED: 8 SPACES, ONE OF WHICH IS HC ACCESSIBLE, ONE MOTOR
CYCLE SPACE AND A BICYCLE RACK.

PROJECT SUMMARY:

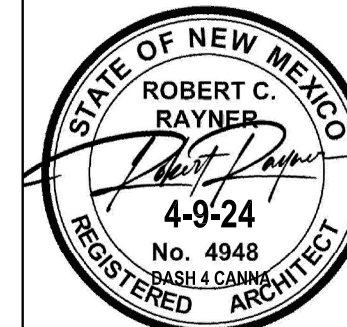
CHANGE OF OCCUPANCY FOR A 2,340 SF BUILDING FROM A HAIR SALON
(BUSINESS OCCUPANCY) TO CANNABIS RETAIL SALE (MERCANTILE OCCUPANCY).
NO WORK WILL BE COMPLETED IN EITHER THE BUILDING OR THE SITE WITH THE
EXCEPTION OF RE-STRIPING THE PARKING LOT. THIS WORK/PERMIT IS
CLASSIFIED AS AN "CHANGE OF USE" IAW THE INTERNATIONAL EXISTING
BUILDING CODE.

LEGAL:

LOT 7B1 BLOCK D PALT OF LOTS 7-A-1 & 7-B-1, BLOCK D COUNTY ADDITION.
CONTAINING 0.1576 ACRES.
UPC: 101405845120510802

NOTE:

- THERE WILL BE NO CHANGES TO THE SITE PLAN WITH THE EXEPTION OF STRIPING THE PARKING LOT.
- LANDSCAPING IS EXISTING AND UNCHANGED.



R² ARCHITECTURAL DESIGN
12024 PAISANO CT NE
ALBUQUERQUE, NEW MEXICO 87112
TEL: 505.321.3932

COMMENTS

NO. DATE

REVISED

RR

RR

DATE: 4/9/2024

SCALE: AS SHOWN

DASH 4 CANNA LLC- CHANGE OF OCCUPANCY
1302 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102

SITE PLAN & PROJECT DATA

-SHEET-

C100

TCL