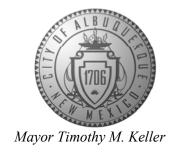
# CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



June 21, 2024

Robert Rayner, RA R2 Architectural 12024 Paisano Ct. NE Albuquerque, NM 87112

Re: Dash 4 Canna

1302 Broadway Blvd. NE

**30-Day Temporary Certificate of Occupancy Transportation Development Final Inspection** Architect's Stamp dated 04-09-24 (J14-D122)

Certification dated 06-07-24

Dear Mr. Rayner,

Based upon the information provided in your submittal received 06-12-24, Transportation Development has no objection to a <u>30-day Temporary Certificate of Occupancy</u> based. This letter serves as a "green tag" from Transportation Development for a <u>30-day Temporary</u> Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

 Per the approved site plan: The pedestrian pathway from the public sidewalk to the entrance, must be constructed.

NM 87103

Once these corrections are complete, email pictures to <a href="mailto:malnajjra@cabq.gov">malnajjra@cabq.gov</a> for release of Final CO.

www.cabq.gov

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar Associate Engineer, Planning Dept. Development Review Services

Ma via: email

C: CO Clerk, File



June 7, 2024

Project: 1302 Broadway Blvd NE

#### TRAFFIC CERTIFICATION

I, Robert Rayner, Architect, of the firm R<sup>2</sup> Architectural Design & Consulting, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 4/11/24. I further certify that I have personally visited the project site on 6/7/24 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certificate of occupancy.

#### Exceptions:

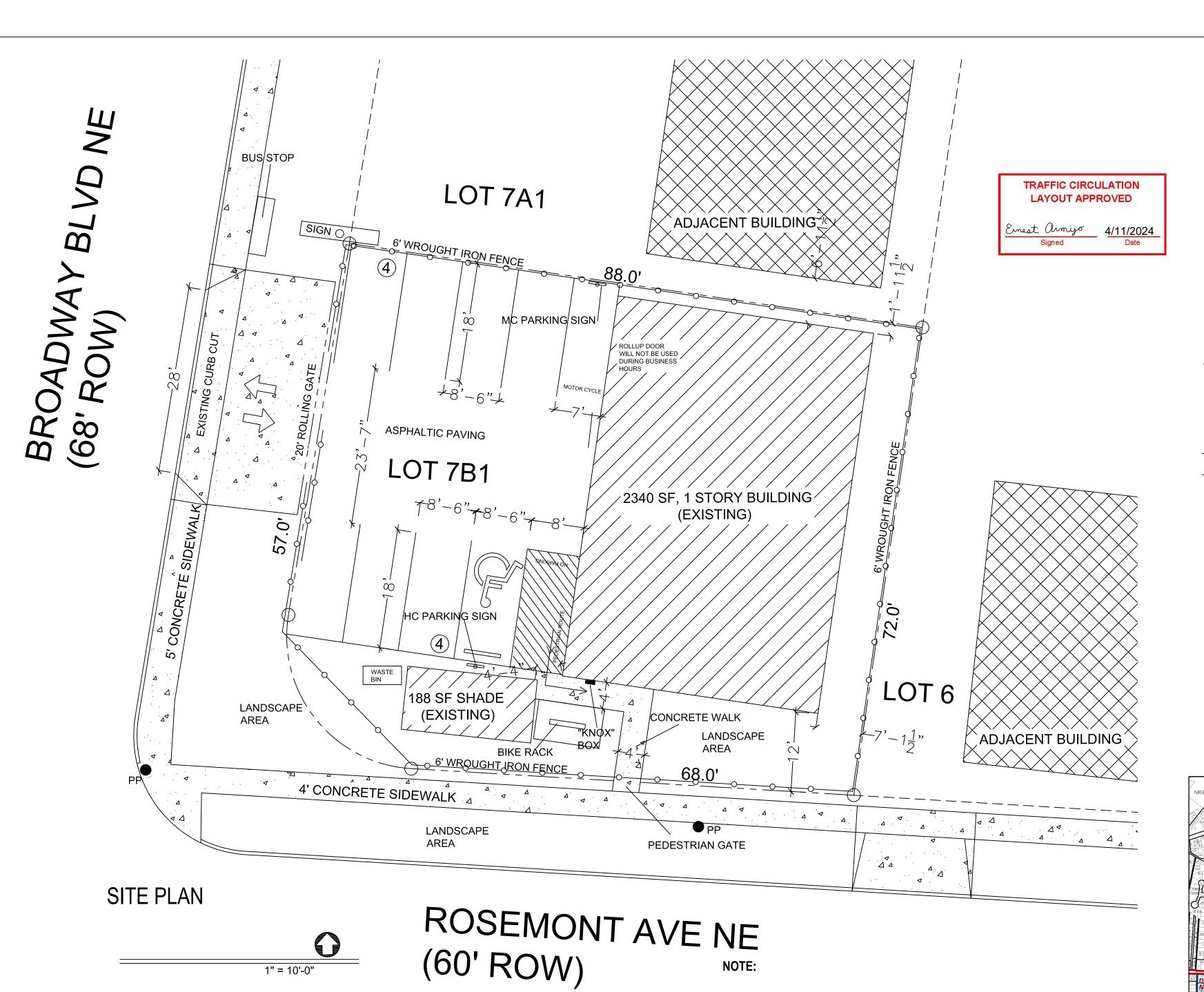
- Concrete walk to Rosemont was not installed as gate will remain locked.

#### Deficiencies:

- None

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Robert Rayner, AIA, R2 Architectural Design & Consulting, LLC



SITE PLAN IS EXISTING AND UNCHANGED WITH THE EXCEPTION OF STRIPING THE PARKING LOT

PROPERTY WILL UTILIZE A SOLID WASTE BIN ON CASTERS AND WILL BE PUT ROLLED OUT ON COLLECTION DAY

All bicycle racks shall be designed according to the following guidelines: The rack shall be a minimum of 30 inches tall and 18 inches wide.

The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed. The rack shall be designed to support the bicycle in an upright position. See

the IDO Section 14-16-5-5(E) for additional information. The rack allows varying bicycle frame sizes and styles to be attached. The user is not required to lift the bicycle onto the bicycle rack.

Each bicycle parking space is accessible without moving another bicycle. Bicycle parking spaces shall be located in a well-lit area, visible from and, where feasible, located within 50 feet of the primary pedestrian entrance it serves. Bicycle rack placement shall meet the following placement requirements.

a. Bicycle parking shall be separated from vehicle parking areas and driveways by a barrier, such as a curb, rail, or bollard, or be located to minimize the possibility of vehicles striking parked bicycles. Bicycle racks shall be placed in a designated area and shall not infringe upon the

width of the required clear pedestrian access route.

Bicycle racks shall not be placed directly in front of entrances or in locations that impede pedestrian flow.

Bicycle racks shall be sturdy and anchored to a concrete pad.

A 1-foot clear zone around the bicycle parking stall shall be provided.

Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

# PROJECT DATA:

OWNER:

PROJECT: DASH 4 CANNA LLC CHANGE OF OCCUPANCY

1302 BROADWAY BLVD NE ALBUQUERQUE, NM 87102

ORBIT INNOVATIONS 1302 BROADWAY BLVD NE ALBUQUERQUE, NM 87102

ARCHITECT: R2 ARCHITECTURAL DESIGN & CONSULTING LLC

NM REG., #4049 12024 PAISANO CT NE ALBUQUERQUE, NM 87112 (505) 321-3932

CONTRACTOR: Z CONSTRUCTION 6407 MENAUL BLVD NE ALBUQUERQUE, NM 87110 NM LIC # 408458

IDO ZONE DIST.:

**BUILDING CODE:** 2015 INTERNATIONAL BUILDING CODE (IBC)

> 2015 INTERNATIONAL EXISTING BUILDING CODE 2015 UNIFORM MECHANICAL CODE 2015 UNIFORM PLUMBING CODE 2017 NATIONAL ELECTRIC CODE 2015 INTERNATIONAL FIRE COE

**ACCESSIBILITY** ICC/ANSI A 117.1-2015 CODE:

**SEISMIC DESIGN CATEGORY:** 

SEISMIC

-SIGN FIELD IS WHITE
-SIGN LETTERING AND BORDER ARE
GREEN.
-REQUIRED LANGUAGE PER ANSI 502.7

FACTOR: CAT III, (IE) 1.25 **BUILDING AREA:** 2,340 SF, 1 STORY

CONST. TYPE: V-B NON SPRINKLED ALLOWABLE AREA: 36,000 SF

BUILDING **HEIGHT:** 

LOAD:

18'-0" - 1 STORY

OCCUPANCY: M - MERCANTILE (CANNABIS RETAIL SALES) OCCUPANT STORAGE STOCK AREA: 513 SF / 300 = 1.71

OFFICE AREA: 179 SF / 150 = 1.79 RETAIL SALES AREA: 1,966 SF / 60 = 18.26 RECEPTION AREA 184 SF /60 = 3.06  $368 \, \text{SF} / 0 = 0.00$ 

TOILET/CIRCULATION: TOTAL OCCUPANT LOAD: 25 OCCUPANTS

1 SERVICE SINK

REQUIRED WATER CLOSETS: 1 UNISEX FIXTURE COUNT: LAVATORIES: 1 UNISEX 1 SERVICE SINK

WATER CLOSETS: 1 UNISEX FIXTURE COUNT: LAVATORIES: 1 UNISEX

RETAIL CANNABIS: 4 SPACE/1,000 SF PARKING REQ.

TOTAL PARKING REQUIRED= 9 SPACES TO INCLUDE (THIS TENANT): 1 HC ACCESSIBLE SPACE, ONE MOTORCYCLE SPACE AND A BICYCLE RACK. (WITH A 30% PARKING REDUCTION DUE TO PROXIMITY TO TRANSIT, RESULTS IN A REQUIREMENT

OF 7 SPACES) PARKING PROVIDED: 8 SPACES, ONE OF WHICH IS HC ACCESSIBLE, ONE MOTOR

CYCLE SPACE AND A BICYCLE RACK.

## PROJECT SUMMARY:

CHANGE OF OCCUPANCY FOR A 2,340 SF BUILDING FROM A HAIR SALON (BUSINESS OCCUPANCY) TO CANNABIS RETAIL SALE (MERCANTILE OCCUPANCY. NO WORK WILL BE COMPLETED IN EITHER THE BUILDING OR THE SITE WITH THE EXCEPTION OF RE-STRIPING THE PARKING LOT. THIS WORK/PERMIT IS CLASSIFIED AS AN "CHANGE OF USE" IAW THE INTERNATIONAL EXISTING BUILDING CODE.

## LEGAL:

LOT 7B1 BLOCK D PALT OF LOTS 7-A-1 & 7-B-1, BLOCK D COUNTY ADDITION. CONTAINING 0.1576 ACRES. UPC: 101405845120510802

1. THERE WILL BE NO CHANGES TO THE SITE PLAN WITH THE EXEPTION OF STRIPING THE PARKING LOT.

2. LANDSCPING IS EXISTING AND UNCHANGED.



INDEX OF DRAWINGS:

FIRE-2 FIRE FLOOR PLAN

PARKING SIGN DETAILS

C100 SITE PLAN & SECTIONS

A100 EXISTING FLOOR PLAN

The Zone Districts and Overlay Zones are established by the egrated Development Ordinance (IDO). VICINITY MAP

BICYCLE RACK LAYOUT OPTIONS

-SHEET-

ARCHITE(

<u>α ш > - α - ο z α</u>

IBY: ED BY:

OF OCCUPANCY

DASH 4 CANNA LLC- CHANGE
1302 BROADWAY BLVD NE
ALBUQUERQUE, NM 87102

DRAWN
CHECKE
DATE: